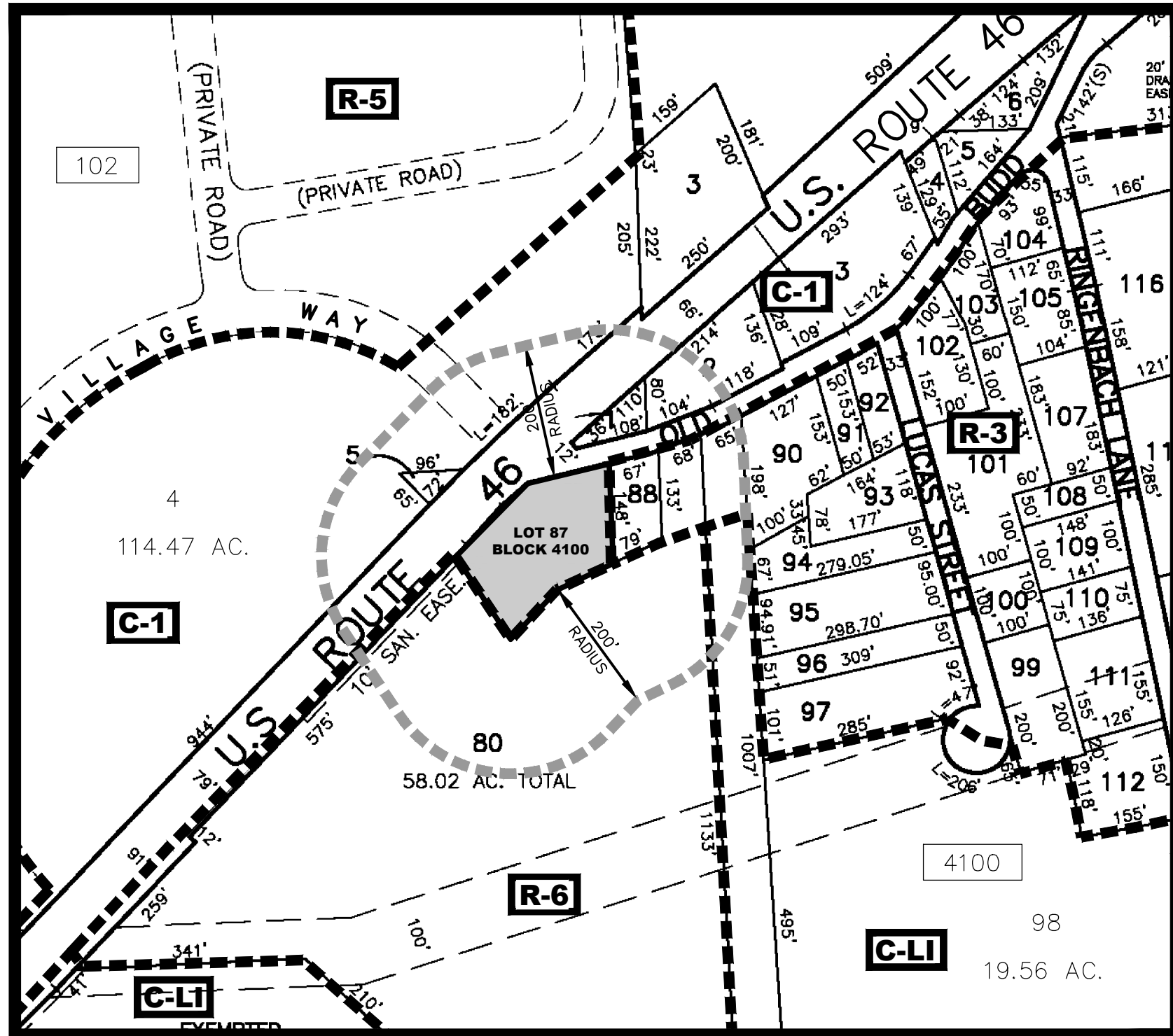
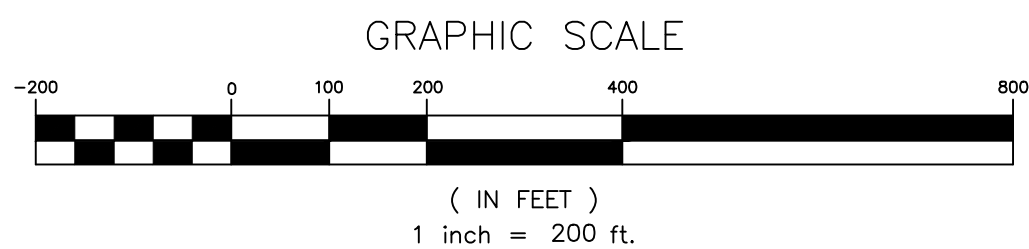


PRELIMINARY & FINAL SITE PLANS FOR LOT 87 BLOCK 4100 "#67 US ROUTE 46" 'KHAN MARKET'

SITUATED IN :
THE TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY



KEY MAP



PREPARED BY :

CIVIL ENGINEERING INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716

GENERAL NOTES

- 1.) APPLICANT: TARIQ MAJEED 1 CINDY ROAD PINE BROOK, NJ 07058 OWNER: ESSCALA REALTY LLC 10 FOREST RD BUDD LAKE, NJ 07828 973-960-3501 973-970-5466
- 2.) THE SUBJECT PROPERTY IS KNOWN AS LOT 87 BLOCK 4100 AS SHOWN ON SHEET 41.02 OF THE TOWNSHIP OF MOUNT OLIVE TAX MAPS. LOT 87 BLOCK 4100 CONTAINS 37,083 S.F. OR 0.851 AC.
- 3.) LOT DIMENSIONS (METES AND BOUNDS), AND BUILDING LOCATION PER SURVEY PREPARED BY JAMES P. DEADY SURVEYOR, LLC, JOHN C. RITT, NJPLS No. 43241, DATED 2/23/17.
- 4.) TOPOGRAPHY & ADDITIONAL LOCATIONS PERFORMED BY CIVIL ENGINEERING INC., ON 8/27/21. BENCHMARK ELEVATION TAKEN FROM CATCH BASIN IN VILLAGE GREEN SHOPPING CENTER, TOP OF GRATE 924.70 (SEE PLAN, SHEET 2), PER ORIGINAL VILLAGE GREEN SHOPPING CENTER SITE PLAN BY RICHARD JESKE, INC. DATED 12/18/80, LAST REVISED 8/31/81, DATUM PER NAVD83.
- 5.) WATER IS SUPPLIED TO THE SUBJECT PROPERTY BY AN EXISTING ON SITE WELL LOCATED IN A MANHOLE ON THE EAST SIDE OF THE BUILDING.
- 6.) ELECTRICAL, TELEPHONE & CABLE SERVICE IS PROVIDED BY EXISTING OVERHEAD CONNECTIONS TO A UTILITY POLE LOCATED WITHIN THE ADJACENT NJ STATE HIGHWAY ROUTE 46 R.O.W.
- 7.) SANITARY SEWER SERVICE IS PROVIDED BY AN EXISTING CONNECTION TO A SANITARY MAIN LOCATED WITHIN THE OLD BUDD LAKE ROAD RIGHT OF WAY.
- 8.) WETLANDS LOCATIONS PER MAP ENTITLED 'SITE PLAN FOR MOUNT OLIVE MEWS, SHEET 5 OF 36' BY SIMOFF ENGINEERING ASSOCIATES, HAL SIMOFF, NJPE #28278, DATED 1/22/07, LAST REVISED 2/8/16, NJDEP LETTER OF INTERPRETATION, LINE VERIFICATION, FILE NO. 1427-02-0018.3 (FWW 140001), DATED SEPTEMBER 19, 2014. WETLANDS DEEMED INTERMEDIATE VALUE, SUBJECT TO A 50' TRANSITION AREA BUFFER.
- 9.) PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER #34035300048, DATED MAY 15, 1985, THE SUBJECT PROPERTY IS NOT WITHIN ANY KNOWN FLOOD ZONE.
- 10.) ALL CONSTRUCTION AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, AND MUNICIPAL REQUIREMENTS.
- 11.) ALL MATERIALS ACCUMULATED BY GRUBBING OR EXCAVATION SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE TOWNSHIP ENGINEER.
- 12.) CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION.
- 13.) CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA), "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING SAFETY, "CONSTRUCTION SAFETY CODE", AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE".
- 14.) ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL, AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOSS TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- 15.) BUILDING/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE ACCEPTS RESPONSIBILITY FOR BUILDING ELEVATIONS SHOWN ON APPROVED ENGINEERING DESIGN PLANS. IF CHANGES ARE REQUESTED ONCE EXCAVATION HAS BEGUN, THE SITE DESIGN ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE ENGINEER ACCEPTS NO LIABILITY FOR ANY LOSS TIME OR ADDITIONAL EXPENSE DUE TO ELEVATION CHANGES OCCURRING FROM FIELD MODIFICATIONS.

PROPOSAL

THE SUBJECT PROPERTY IS A DEVELOPED LOT WHICH IS LOCATED WITHIN THE C-1 COMMERCIAL BUSINESS ZONE, AT THE CORNER OF ROUTE 46 EAST AND OLD BUDD LAKE ROAD. THE PROPERTY IS NOW VACANT, BUT WAS MOST RECENTLY USED AS A NON-CONFORMING, DUAL USE RESIDENTIAL APARTMENT AND COMMERCIAL RETAIL STORE. THE SITE CONTAINS A SINGLE, ONE AND A HALF STORY FRAME & MASONRY STRUCTURE (5,455 S.F. FOOTPRINT), WITH A PAVED PARKING LOT (20,440 S.F.) THAT WRAPS AROUND THE BUILDING. THE LOT HAS TWO ACCESS POINTS FROM STATE HIGHWAY 46, AND A SINGLE ACCESS POINT TO OLD BUDD LAKE ROAD. THE PROPERTY WAS FORMERLY THE SITE OF 'SWEET DREAMZZZ BEDDING & FURNITURE', A RETAIL FURNITURE STORE. PRIOR TO THAT, THE SITE WAS THE LOCATION OF 'CHEROKEE TRADING POST' FOR OVER 70 YEARS, A RETAIL STORE OFFERING VARIOUS WESTERN & SOUTHWESTERN THEMED GOODS AND APPAREL. A SINGLE BEDROOM APARTMENT IS ALSO LOCATED ON THE SITE, ON THE NORTHEASTERN END OF THE BUILDING, UTILIZING BOTH THE FIRST AND SECOND FLOORS.

THE LOT IS CURRENTLY SERVED BY AN EXISTING ON SITE WELL FOR WATER SERVICE AND AN EXISTING CONNECTION TO THE PUBLIC SANITARY SEWER SYSTEM FOR SANITARY SEWERAGE. ELECTRIC, TELEPHONE AND CABLE TV ARE PROVIDED BY AN OVERHEAD CONNECTION TO A UTILITY POLE LOCATED ADJACENT TO THE PROPERTY WITHIN THE STATE HIGHWAY ROUTE 46 RIGHT OF WAY.

THE OWNER WISHES TO REDEVELOP THE PROPERTY AS A GROCERY & CONVENIENCE STORE ('KHAN MARKET'), OFFERING PACKAGED AND FRESHLY PREPARED GOODS, AND OFFERING SOME ETHNIC BASED SPECIALTY ITEMS. THE EXISTING BUILDING WILL BE REMODELED EXTENSIVELY AND THE OVERALL FOOTPRINT WILL BE ENLARGED, WITH NO CHANGE TO LOCATION.

THESE PROPOSED RENOVATIONS INCLUDE:

- THE EXISTING FRONT THREE ENTRANCES TO THE BUILDING WILL BE REMOVED AND A NEW MAIN ENTRANCE IS PROPOSED;
- A SECOND FRONT ENTRANCE (FOR EMPLOYEES ONLY) WILL BE ADDED;
- THE EXISTING REAR ENTRANCE TO THE APARTMENT WILL BE REMOVED;
- THE SECOND FLOOR AND APARTMENT WILL BOTH BE ELIMINATED;
- A PORTION OF THE FRONT OF THE BUILDING WILL BE REMOVED AND REPLACED WITH A CONCRETE APRON AND OVERHANG;
- A PORTION OF THE REAR BASEMENT WALL WILL BE EXPANDED APPROXIMATELY 4 FT. & TWO NEW ENTRANCES ARE PLANNED;
- THE TWO BASEMENT ENTRANCES WILL BE REMOVED, AND TWO NEW BASEMENT ENTRANCES ARE PROPOSED;
- A LOADING DOCK ADDITION WILL BE CONSTRUCTED REAR FOR SMALL VEHICLE DELIVERIES (< 20' VEHICLE LENGTH).

THE EXISTING WATER AND SEWER CONNECTIONS TO THE BUILDING WILL REMAIN UNCHANGED AND THE EXISTING OVERHEAD UTILITY CONNECTION WILL BE MOVED AS NECESSARY. THE EXISTING PARKING LOT WILL BE RECONFIGURED WITH SECTIONS OF NEW PAVEMENT AND OVERLAYS, AND RESTRIPTED, NEW SIGNAGE IS PROPOSED ALONG WITH SITE LIGHTING AND LANDSCAPING. ALL STORMWATER RUNOFF CURRENTLY FLOWS SOUTHEAST TO THE REAR OF THE BUILDING OFFSITE TOWARDS LOT 80 INTO A WOODED AREA. AS THE PROPOSED IMPROVEMENTS WILL REDUCE THE OVERALL IMPERVIOUS COVERAGE AND RUNOFF, THE EXISTING DRAINAGE PATTERNS WILL REMAIN AND NO OTHER STORM WATER MANAGEMENT IS PROPOSED.

BUSINESS NOTES

THE BUSINESS ('KHAN MARKET') WILL OPERATE FROM FROM 10:00 AM TO 7 PM, 7 DAYS A WEEK AND HAVE 4 FULL TIME EMPLOYEES. THE BUSINESS WILL RECEIVE DELIVERIES APPROXIMATELY TWICE A WEEK FROM SMALLER VEHICLES (<20') AND APPROXIMATELY ONCE A MONTH FROM LARGER, 'SU' SIZED (30') VEHICLES. THE MARKET WILL SELL VARIOUS GROCERIES AND ALSO OFFER SOME ETHNIC SPECIALTY ITEMS, BOTH FRESHLY PREPARED AND PACKAGED. THE STORE WILL OFFER CUSTOMERS LIMITED SEATING (4 TABLES AND 8 CHAIRS (MAX.)). THE BASEMENT OF THE BUILDING WILL BE UTILIZED FOR STORAGE FOR THE GROCERY STORE, USING SHELVES, COOLERS AND REFRIGERATORS. LASTLY, THE MARKET WILL OFFER DELIVERY SERVICE TO CUSTOMERS UTILIZING A SINGLE PASSENGER SIZED VEHICLE.

ZONE REQUIREMENTS

THE PROPERTY IS LOCATED IN THE C-1 COMMERCIAL ZONE AND IS SUBJECT TO THE FOLLOWING:

| LOT: | REQUIRED | EXISTING | PROPOSED |
|----------------------------|----------|-------------------------------|-----------|
| MINIMUM LOT AREA | 1 AC. | 0.851 AC.* | NO CHANGE |
| MINIMUM LOT WIDTH | 200 FT. | 243.385 FT. | NO CHANGE |
| MINIMUM LOT DEPTH | 150 FT. | 146.10 FT.* | NO CHANGE |
| MAXIMUM LOT COVERAGE | 60% | 70.949% | 69.27% |
| MAXIMUM FLOOR AREA RATIO | 0.4 | 0.25 | 0.27 |
| MAXIMUM BUILDING COVERAGE | 30% | 14.39% | 14.85% |
| PRINCIPAL STRUCTURE | REQUIRED | EXISTING | PROPOSED |
| MINIMUM FRONT YARD SETBACK | 75 FT. | 36.84 FT.*(RT.46)/ | 40.8 FT.* |
| | | 21.09 FT.*(OLD BUDD LAKE RD.) | NO CHANGE |
| MINIMUM SIDE YARD SETBACK | 25 FT. | 71.13 FT. (L) | 71.9 FT. |
| | | 30.32 FT. (R) | NO CHANGE |
| MINIMUM REAR YARD SETBACK | 20 FT. | 69.15 FT. | 65.9 FT. |
| MAXIMUM BUILDING HEIGHT | 30 FT. | 31.10 FT.* | 21.81 FT. |

* EXISTING NON-CONFORMING CONDITION
★ PROPOSED VARIANCE CONDITION

EXISTING NON-CONFORMING CONDITIONS

| LOT: | REQUIRED | EXISTING |
|----------------------------|----------|-------------------------------|
| MINIMUM LOT AREA | 1 AC. | 0.851 AC.* |
| MINIMUM LOT DEPTH | 150 FT. | 146.10 FT.* |
| MAXIMUM LOT COVERAGE | 60% | 70.949% |
| PRINCIPAL STRUCTURE | REQUIRED | EXISTING |
| MINIMUM FRONT YARD SETBACK | 75 FT. | 36.84 FT.*(RT.46)/ |
| | | 21.09 FT.*(OLD BUDD LAKE RD.) |
| MAXIMUM BUILDING HEIGHT | 30 FT. | 31.10 FT.* |

PROPOSED VARIANCES

| PRINCIPAL STRUCTURE | REQUIRED | PROPOSED |
|----------------------------|----------|-----------|
| MINIMUM FRONT YARD SETBACK | 75 FT. | 40.8 FT.* |

PROPOSED WAIVER CONDITIONS

ENVIRONMENTAL IMPACT REPORT (NONE PROPOSED)

PROPOSED EXEMPTIONS

- LOADING SPACE (10' X 60' REQUIRED, 12' X 28' PROPOSED)
- PARKING SPACE SIZE - 9' X 18' (9' X 20' OR 10' X 18' REQUIRED PER ORDINANCE) - 19 SPACES PROPOSED AT 9' X 18'
- PARKING WITHIN THE FRONT SETBACK
- PARKING SPACES REQUIRED - 37 REQUIRED, 32 PROPOSED
- CURBING
- STORMWATER MANAGEMENT

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE NJ HIGHLANDS ACT 'PLANNING' AREA. THERE ARE CURRENTLY NO LAWS RESTRICTING IMPROVEMENT PROJECTS IN THE 'PLANNING' ZONE, AND THEREFORE THIS APPLICATION IS EXEMPT FROM ANY NJDEP HIGHLANDS RULES OR REGULATIONS.

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF LOT 87 BLOCK 4100

| BLOCK | LOT | PROPERTY OWNER | BLOCK | LOT | PROPERTY OWNER |
|-------|-------|---|-------|-----|--|
| 102 | 4_001 | SDK VILLAGE GREEN LLC SDK 1124 E RIDGEWOOD AVE #101 RIDGEWOOD, NJ 07450 | 4100 | 87 | ESSCALA REALTY LLC 1 CEDAR RIDGE DR CHESTER, NJ 07930 |
| 102 | 4_002 | SDK VILLAGE GREEN LLC SDK 1124 E RIDGEWOOD AVE #101 RIDGEWOOD, NJ 07450 | 4100 | 88 | KRANTIL, ROHAN/SHILPA 1 CEDAR RIDGE DR CHESTER, NJ 07930 |
| 102 | 4_003 | OPM REAL PROPERTIES LLC 98 ROUTE 46 BUDD LAKE, NJ 07828 | 4100 | 89 | MT OLIVE TOWNSHIP PO BOX 450 BUDD LAKE, NJ 07828 |
| 102 | 5 | TYPINSKI, BARBARA E. 100 VALLEY RD OXFORD, NJ 07863 | 4100 | 90 | COLON, RAYMOND F. & MAYRA I. 42 OLD BUDD LAKE RD BUDD LAKE, NJ 07828 |
| 102 | 5_B01 | TYPINSKI, BARBARA E. 100 VALLEY RD OXFORD, NJ 07863 | 4100 | 94 | MODAFFERI, NAOMI 8 LUCAS ST BUDD LAKE, NJ 07828 |
| 4100 | 80 | MFC MOUNTAIN RIDGE ESTATES LLC 9 WESTERN DR COLTS NECK, NJ 07722 | 4101 | 1 | DEPT OF TRANSPORTATION 1035 PARKWAY AVE TRENTON, NJ 08625 |
| 4100 | 80.01 | MFC MOUNTAIN RIDGE ESTATES LLC 9 WESTERN DR COLTS NECK, NJ 07722 | 4101 | 2 | LEKA LLC 140 CEDAR LAKE RD BLAIRSTOWN, NJ 07829 |

UTILITIES

| | | |
|--|---|---|
| BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY PO BOX 450 HACKETTSTOWN, NJ 07840 | MT. OLIVE TWP. WATER & SEWER DEPT PO BOX 450 CHERRY HILL, NJ 07828 | NEW JERSEY-AMERICAN WATER CO. INC PO BOX 5827 CHERRY HILL, NJ 08034 |
| R. ALBANESE NEW JERSEY NATURAL GAS 1415 WYCKOFF ROAD WALL, NJ 07719 | N.J. DEPT OF TRANSPORTATION 1035 PARKWAY DR, CN 600 TRENTON, NJ 08625 | APPLIED WASTEWATER MGMT 2 CLERICO LN HILLSBOROUGH, NJ 08844 |
| BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP 1470 POORHOUSE ROAD DOWNTONING, PA 19335 | PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T68 NEWARK, NJ 07102 | |

SHEET INDEX

| | |
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| SITE LAYOUT PLAN..... | SHEET 4 |
| GRADING & UTILITY PLAN..... | SHEET 5 |
| SOIL EROSION PLAN & DETAILS..... | SHEET 6 |
| LIGHTING PLAN..... | SHEET 7 |
| LANDSCAPING PLAN..... | SHEET 8 |
| CONSTRUCTION DETAILS PLAN..... | SHEET 9 |

BOARD APPROVAL BOX:

| | |
|-----------|------|
| CHAIRMAN | DATE |
| ENGINEER | DATE |
| SECRETARY | DATE |

OWNER'S SIGNATURE

| | |
|------|------|
| NAME | DATE |
|------|------|

SHEET 1 OF 9

COVER SHEET

FOR:

LOT 87 BLOCK 4100
"#67 US ROUTE 46"
'KHAN MARKET'

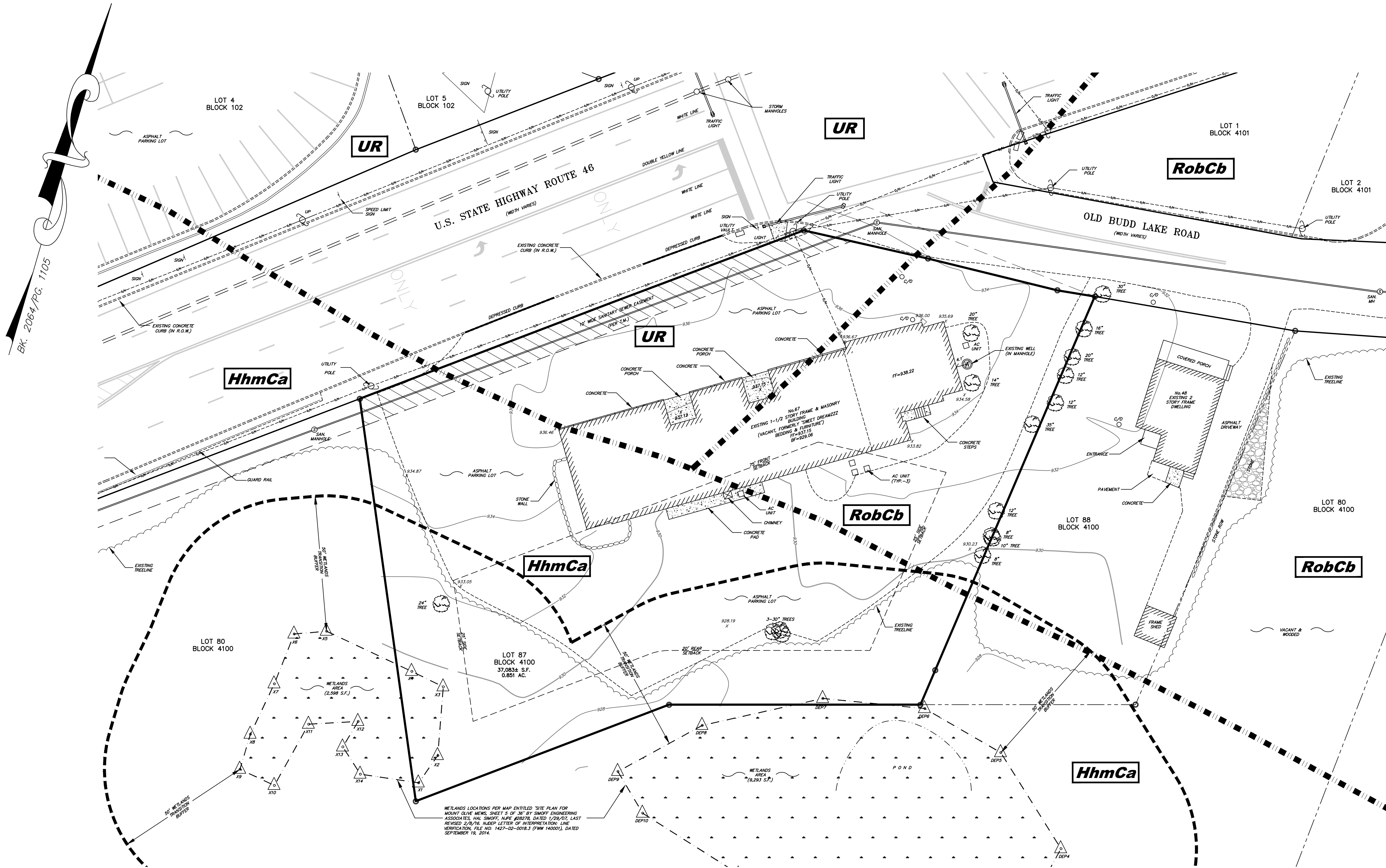
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

| | | | |
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| Checked By: | JG | Date: | 1/14/22 |
| Drawn By: | WBB | Project No: | 6884 |

CIVIL ENGINEERING, INC.
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N.J. - C of A #24GA2792000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

U:\6884 - Kramt-Moises-Mt. Olive Vars\Site Plan\6884-3 Environmental Planning\PS Civil\env.ctb



SOIL CATEGORIES:

APPROX. SOIL BOUNDARY LINE PER USDA WEB SOIL SURVEY

HhmCa HIBERNIA LOAM, 3 TO 15 PERCENT SLOPES, STONY

RobCb ROCKAWAY SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY

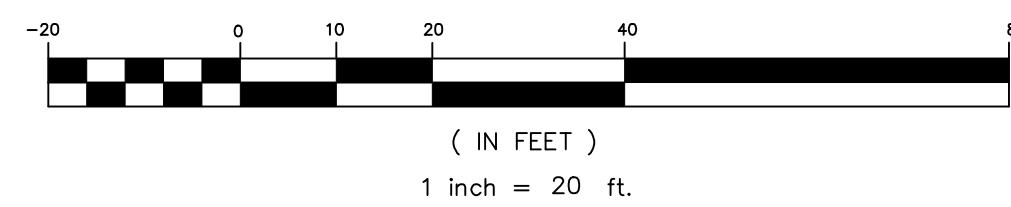
UR URBAN LAND

SLOPES

THERE ARE NO SLOPES EQUAL TO OR GREATER THAN 25% ON THE SUBJECT PROPERTY

ENVIRONMENTAL PLAN

GRAPHIC SCALE



LEGEND:

| | | | | | |
|--|----------------------------------|--|-------------------------|--|-----------------------|
| | SUBJECT PROPERTY LINE (OUTBOUND) | | EXISTING WETLANDS | | EXISTING SIGN |
| | ADJACENT PROPERTY LINES | | EXISTING GRAVEL | | EXISTING TREE |
| | EXISTING R.O.W. | | EXISTING GUARD RAIL | | EXISTING B-INLET |
| | INDEX CONTOUR | | EXISTING GAS LINE | | EXISTING SURVEY IRON |
| | INTERIOR CONTOUR | | EXISTING SANITARY SEWER | | EXISTING UTILITY POLE |
| | EXISTING BUILDING | | EXISTING STONE | | EXISTING SANITARY MH |
| | EXISTING PAVEMENT | | EXISTING TREELINE | | EXISTING STORM MH |
| | EXISTING OVERHEAD UTILITY LINE | | EXISTING SPOT GRADE | | EXISTING WELL |
| | EXISTING STORM SEWER | | EXISTING TRAFFIC LIGHT | | WETLANDS FLAG |
| | EXISTING CURB | | | | |

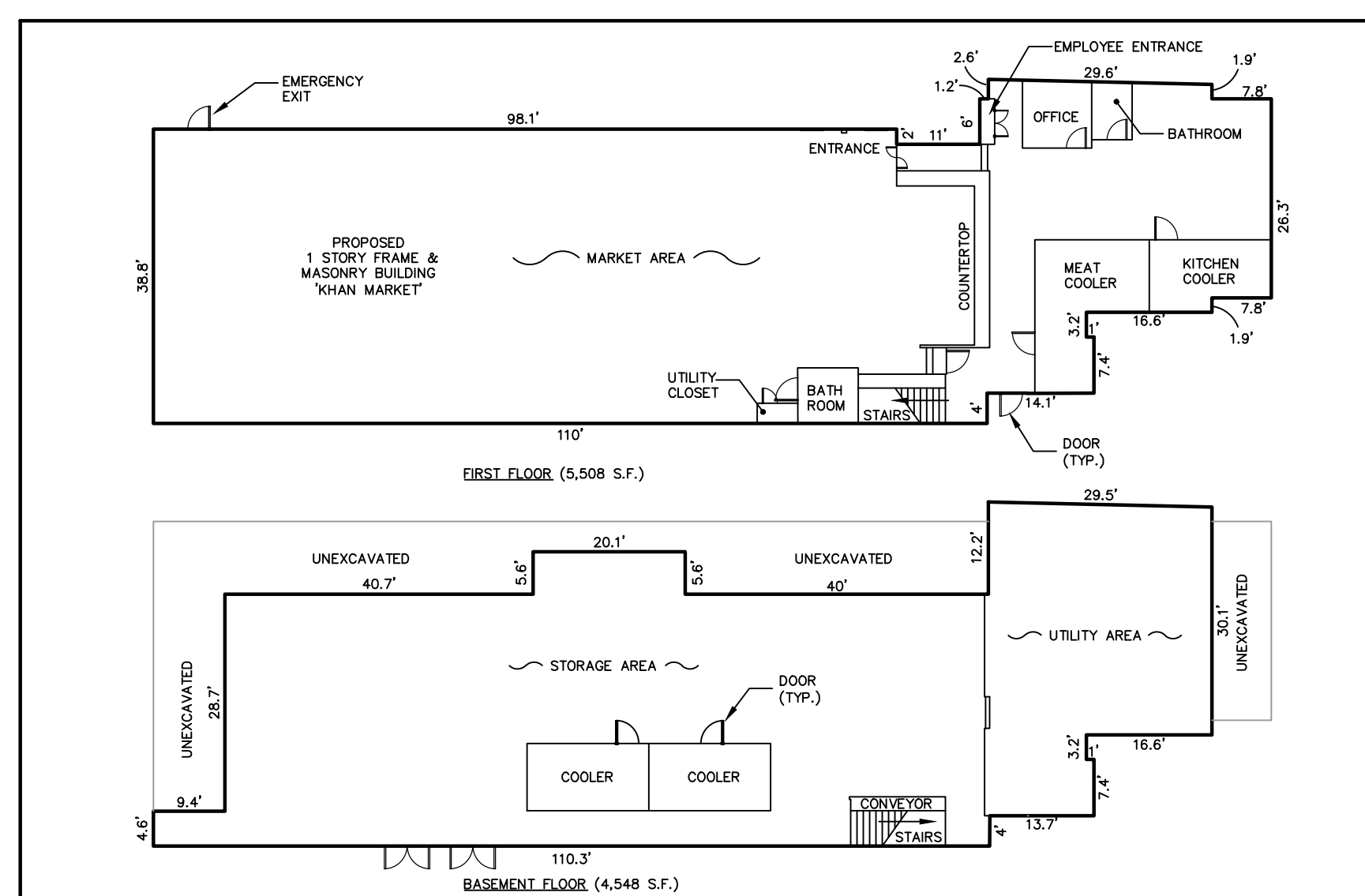
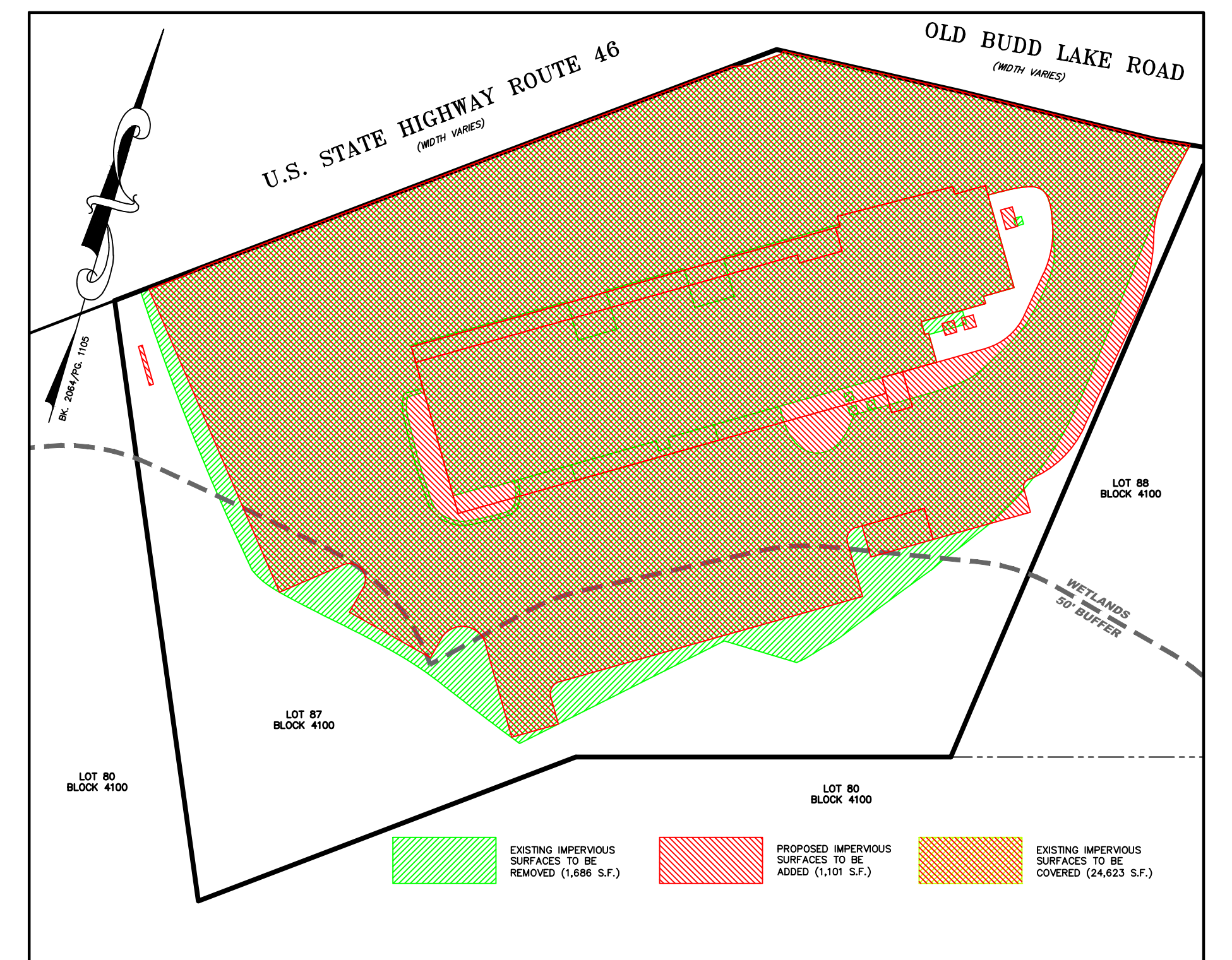
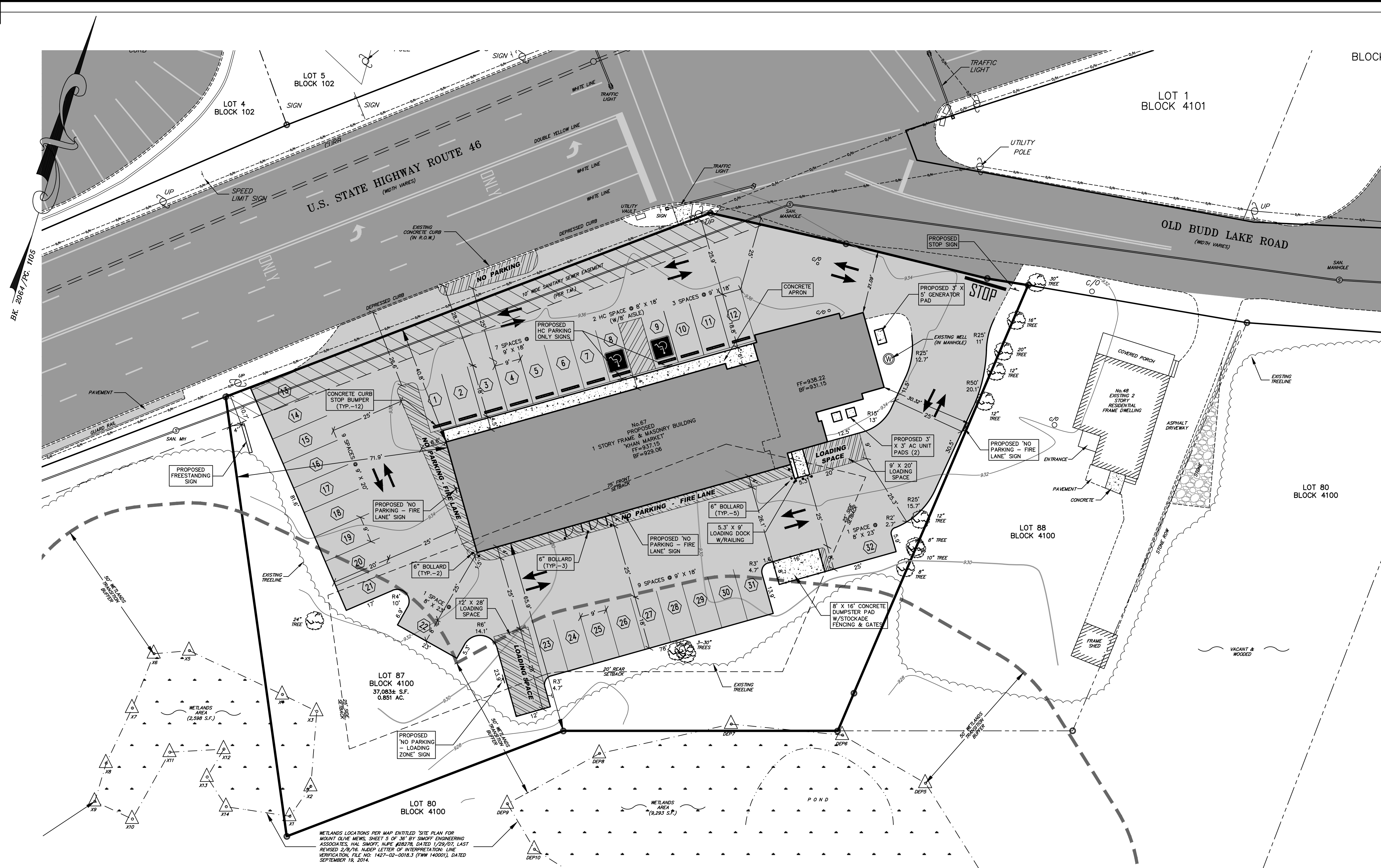
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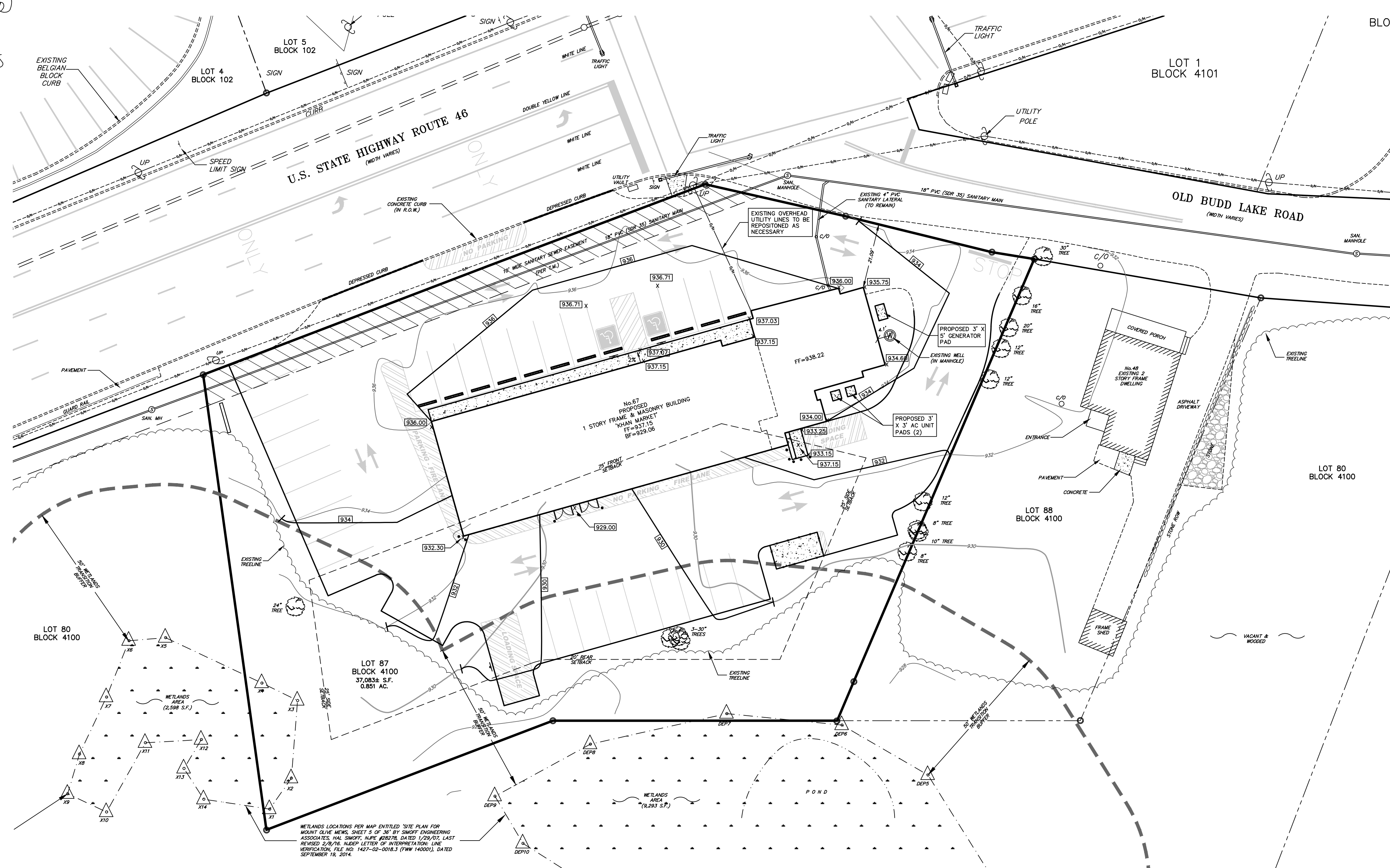
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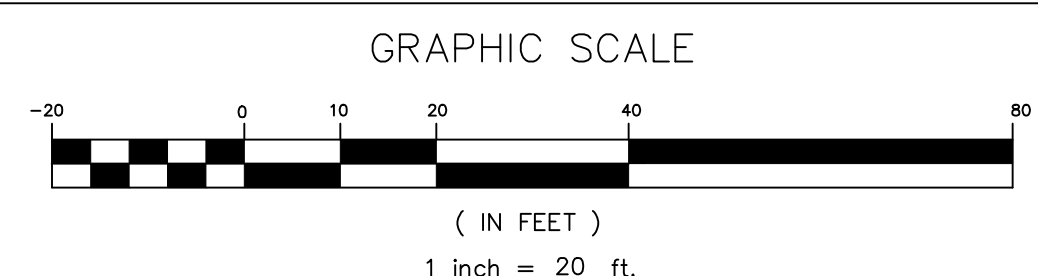
Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884

SHEET 3 OF 9





PROPOSED GRADING & UTILITY PLAN



| LEGEND: | | | |
|---------|----------------------------------|--|--------------------------|
| | SUBJECT PROPERTY LINE (OUTBOUND) | | EXISTING EASEMENT |
| | ADJACENT PROPERTY LINES | | EXISTING WETLANDS |
| | EXISTING R.O.W. | | EXISTING WETLANDS BUFFER |
| | INDEX CONTOUR | | EXISTING GRAVEL |
| | INTERIOR CONTOUR | | EXISTING GUARD RAIL |
| | PROPOSED CONTOUR | | PROPOSED RAILING |
| | EXISTING BUILDING | | PROPOSED STOCKADE FENCE |
| | PROPOSED BUILDING FOOTPRINT | | EXISTING SANITARY SEWER |
| | EXISTING PAVEMENT | | EXISTING GRAVEL |
| | PROPOSED PAVEMENT | | PROPOSED CONCRETE |
| | EXISTING OVERHEAD UTILITY LINE | | EXISTING TREELINE |
| | EXISTING STORM SEWER | | EXISTING TRAFFIC LIGHT |
| | EXISTING CURB | | |

- UTILITY NOTES:**
- 1.) CONTRACTOR TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - 2.) WATER TO BE PROVIDED BY THE EXISTING WELL.
 - 3.) SANITARY SEWER TO BE PROVIDED BY THE EXISTING CONNECTION TO THE PUBLIC SANITARY SEWER SYSTEM LOCATED IN OLD BUDD LAKE RD.
 - 4.) ELECTRIC, CATV & PHONE TO BE PROVIDED BY A PROPOSED OVERHEAD CONNECTION TO AN EXISTING UTILITY POLE LOCATED WITHIN THE ADJACENT RIGHT OF WAY.
 - 5.) REFUSE PICKUP (TRASH & RECYCLABLES) TO BE CONTRACTED BY A PRIVATE HAULER.

- PROPOSED BUILDING HEIGHT CALCULATION**
- THE VERTICAL DISTANCE MEASURED TO THE HIGHEST POINT OF THE BUILDING FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION.
- 1.) AVERAGE GRADE = $\frac{935.60 + 936.67 + 935.60 + 934.10 + 933.30 + 931.80}{6} = 934.51$
 - 2.) FIRST FLOOR ELEVATION = 937.15
 - 3.) FIRST FLOOR TO MAXIMUM ROOF PEAK = 19.17 FT.
 - 4.) PEAK ELEVATION = 956.32
 - 5.) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE
= $956.32 - 934.51 = 21.81$ FT.

U:\6884 - Kramt-Moises-Mt Olive\Site Plan\6884-5 Grading & Utility Plan.dwg PS: Civil\m.ctb

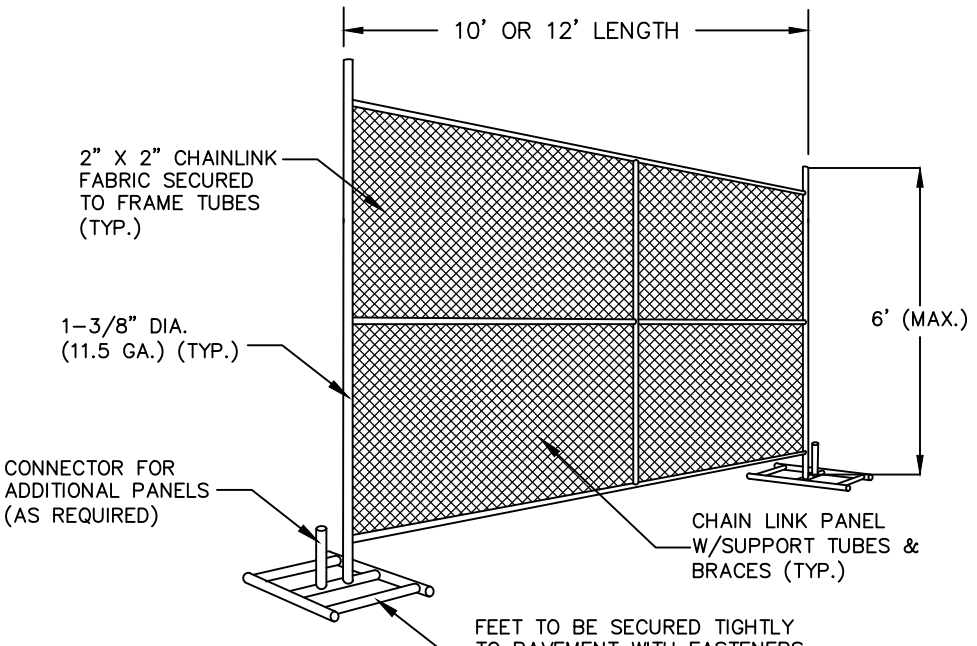
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

| | | | |
|---|-------------|-------------|---------|
| SHEET 5 OF 9 | | | |
| PROPOSED GRADING & UTILITY PLAN FOR: LOT 87 BLOCK 4100 "KHAN MARKET" TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY | | | |
| Rev. No. | Description | By | Date |
| CIVIL ENGINEERING, INC. | | | |
| 1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000 | | | |
| Checked By: | JG | Date: | 1/14/22 |
| Drawn By: | WBB | Project No: | 6884 |

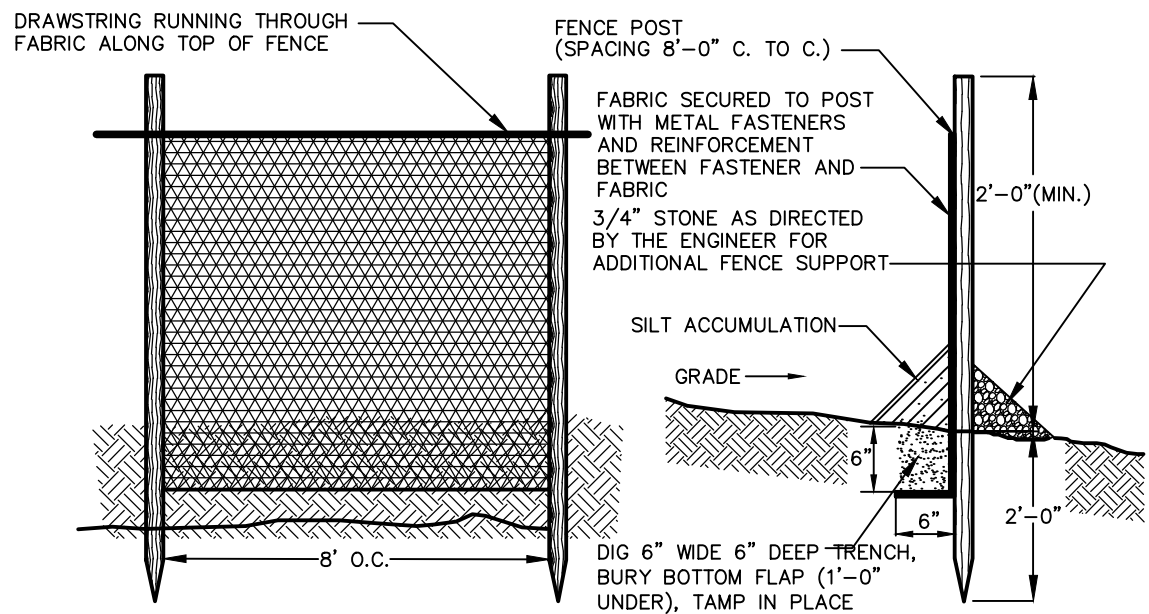
MORRIS COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
 - PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
 - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
 - TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
 - PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 - ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED & MAINTAINED DAILY.
 - STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT TOE OF SLOPE.
 - A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR CHART AND DIMENSIONS.
 - ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
 - PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 - BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
 - ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
 - ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
 - ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION, ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
 - THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
 - THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
 - TOPSOIL STOCKPILE PROTECTION**
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

- TEMPORARY STABILIZATION SPECIFICATIONS**
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT 1 LB/1,000 SF AND ANNUAL RYEGRASS AT 1 LB/1,000 SF.
 - MULCH STOCKPILE WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS**
 - APPLY TOPSOIL TO A DEPTH OF 5" (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F. AND WORK FOUR INCHES (4") INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY HARD FESCUE AT 2.7 LBS/1,000 SF, CREEPING RED FESCUE 0.7 LBS/1,000 SF, AND PERENNIAL RYEGRASS AT 0.25 LBS/1,000 SF.
 - MULCH WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.



TEMPORARY FENCE DETAIL (N.T.S.)



SILT FENCE DETAIL (N.T.S.)

| DUST CONTROL MATERIALS | | | |
|-----------------------------------|---|----------------|----------------|
| MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GAL/ACRE |
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD. | | |
| POLYACRYLAMIDE (PAM) - DRY SPREAD | | | |
| AGGULATED SOY BEAN SOAP STICK | NONE | COARSE SPRAY | 1200 |

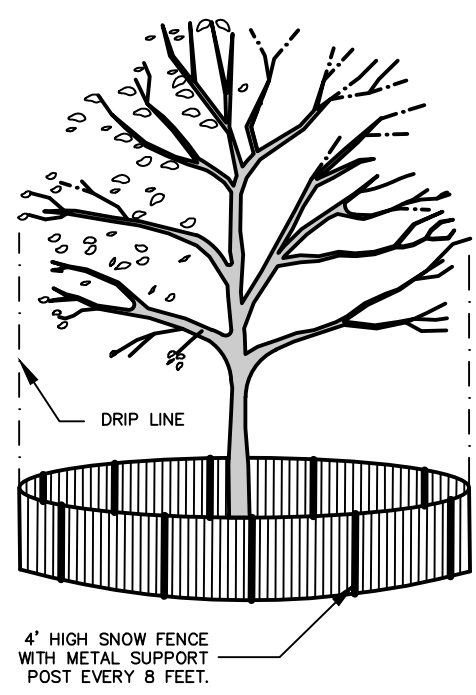
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

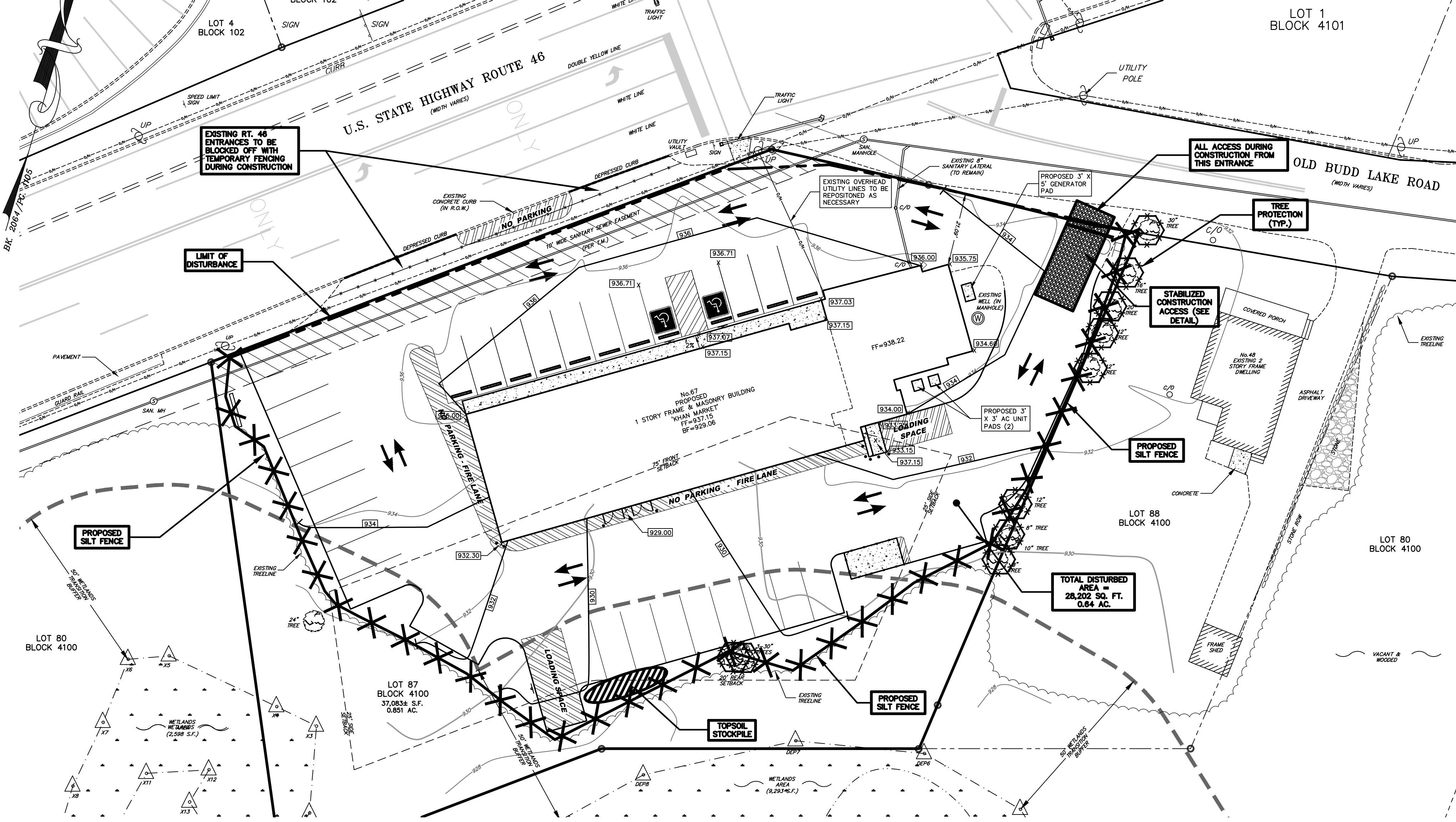
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



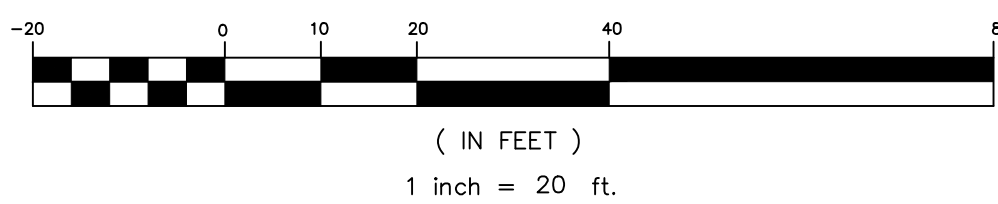
TREE PROTECTION DETAIL (N.T.S.)

- NOTES:**
- BOX TREES WITHIN 25 FT OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING BARRIER SHOULD BE INSTALLED AT THE DRIP LINE OF A TREE OR BEYOND.
 - BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
 - FEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES.
 - DAMAGED TRUNKS OR EXPOSED ROOTS SHALL HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A FORESTER OR CERTIFIED TREE EXPERT.
 - TREE LIMB REMOVAL, WHEN NECESSARY WILL BE DONE TO AS NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH AS CLOSE AS POSSIBLE TO THE BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. REMOVAL OF A "V" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.
 - TREE PROTECTION (SEE DETAIL) TO BE USED AROUND ALL TREES TO REMAIN WITHIN LIMIT OF DISTURBANCE.



PROPOSED SOIL EROSION & SEDIMENT CONTROL PLAN

GRAPHIC SCALE

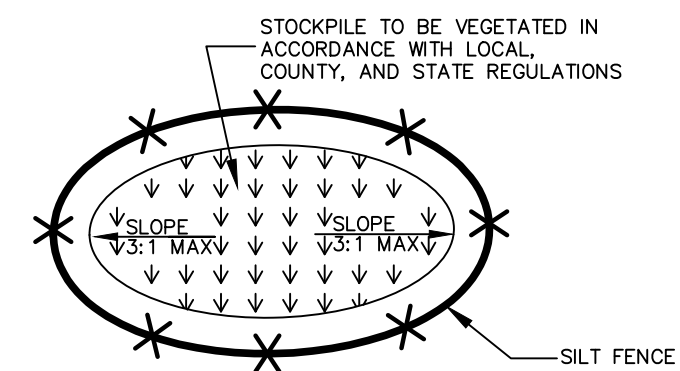


LEGEND:

| | | |
|----------------------------------|--------------------------|-----------------------|
| SUBJECT PROPERTY LINE (OUTBOUND) | EXISTING EASEMENT | EXISTING SPOT GRADE |
| ADJACENT PROPERTY LINES | EXISTING WETLANDS | PROPOSED SPOT GRADE |
| EXISTING R.O.W. | EXISTING WETLANDS BUFFER | EXISTING TREE |
| INDEX CONTOUR | EXISTING GRAVEL | EXISTING SURVEY IRON |
| INTERIOR CONTOUR | EXISTING GUARD RAIL | EXISTING UTILITY POLE |
| PROPOSED CONTOUR | PROPOSED RAILING | EXISTING UTILITY POLE |
| EXISTING BUILDING | PROPOSED STOCKADE FENCE | EXISTING SANITARY MH |
| PROPOSED BUILDING FOOTPRINT | EXISTING SANITARY SEWER | EXISTING STORM MH |
| EXISTING PAVEMENT | EXISTING GRAVEL | EXISTING WELL |
| PROPOSED PAVEMENT | PROPOSED CONCRETE | EXISTING SIGN |
| EXISTING OVERHEAD UTILITY LINE | EXISTING TREELINE | PROPOSED SIGN |
| EXISTING STORM SEWER | EXISTING TRAFFIC LIGHT | WETLANDS FLAG |
| EXISTING CURB | | |

SOIL EROSION LEGEND

| | |
|-----------------------|--|
| CONSTRUCTION ENTRANCE | |
| LIMIT OF DISTURBANCE | |
| SILT FENCE | |
| TOPSOIL STOCKPILE | |
| TREE PROTECTION | |



TOPSOIL STOCKPILE DETAIL (N.T.S.)

| PERCENT SLOPE OF ROADWAY | LENGTH OF STONE REQUIRED | |
|--------------------------|--|--------------------|
| | COURSE GRAINED SOILS | FINE GRAINED SOILS |
| 0 TO 2% | 50 FT. | 100 FT. |
| 2 TO 5% | 100 FT. | 200 FT. |
| > 5% | ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE* | |

* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY








| DESCRIPTION | TIME FRAMES IN DAYS |
|--|---------------------|
| 1. INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRON | 1 |
| 2. STRIP AND STOCKPILE, TOPSOIL, SEED WITH TEMPORARY SEEDING | 3 |
| 3. ROUGH GRADING FOR ADDITION & DRIVEWAY | 8 |
| 4. RENOVATE BUILDING & BRING DRIVEWAY TO SUBGRADE | 120 |
| 5. CONNECT UTILITIES | 5 |
| 6. NEW PARKING LOT PAVING/OVERLAY & SIDEWALK | 7 |
| 7. SLOPE STABILIZATION-PERMANENT SEEDING | 2 |
| 8. SCARIFY/TILL SUBSOIL TO A DEPTH OF 6" | 2 |
| 9. COMPLETE PROJECT-LANDSCAPING | 5 |
| 10. TEMPORARY SOIL EROSION MEASURES TO BE REMOVED | 1 |
| TOTAL | ±154 |

*AREA OF SOIL TO BE SCARIFIED = 2,897 S.F.

SHEET 6 OF 9

| | | | |
|--|-------------|-------------|---------|
| PROPOSED SOIL EROSION & SEDIMENT CONTROL PLAN FOR: LOT 87 BLOCK 4100 "KHAN MARKET" TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY | | | |
| Rev. No. | Description | By | Date |
| CIVIL ENGINEERING, INC. | | | |
| 1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000 | | | |
| Checked By: | JG | Date: | 1/14/22 |
| Drawn By: | WBB | Project No: | 6884 |

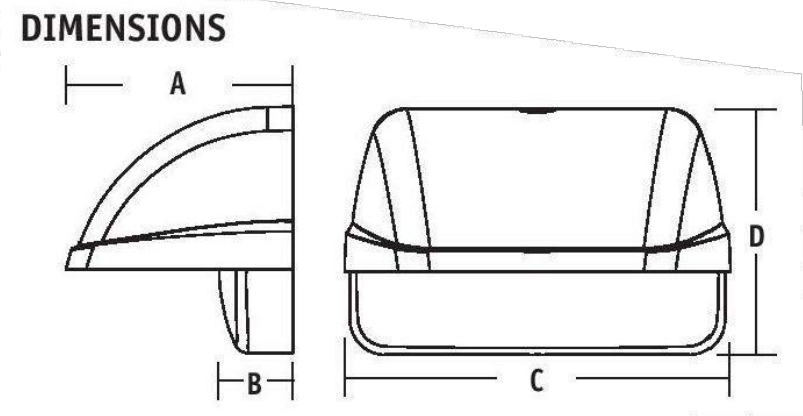
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

| LUMINAIRE SCHEDULE | | | | | | | | | | | | | |
|--------------------|---|-------------|--------------|-------------|---|----------------------|-------------------------------|-------|-------------|------------------|-----------------|-----------|---------------------------------|
| Symbol | Qty | Arrangement | Fixture Type | Description | Manufacturer | Catalog Number | CCT | LLF | Total Watts | Delivered Lumens | Mounting Height | Pole Spec | Filename |
| A |  | 1 | Single | P3-HSS-R | AREA LIGHT TYPE 3 WITH 270 SHIELD TO DIRECT LIGHT RIGHT | BEACON | VP-S-24L-55-4K7-3-HSS-270-R | 4000K | 0.900 | 55 | 2409 | 18 | VP-S-24L-55-4K7-3-HSS-270-R.ies |
| B |  | 1 | Single | P4-BC | AREA LIGHT TYPE 4 WITH BACK SHIELD, MOUNTED ON WALL | Hubbell Lighting Inc | VP-S-24L-55-4K7-4-BC-WM | 4000K | 0.900 | 54.88 | 4666 | 15 | VP-S-24L-55-4K7-4-BC.ies |
| C |  | 1 | Single | P4-HSS-L | AREA LIGHT TYPE 4 WITH 270 SHIELD TO DIRECT LIGHT LEFT | BEACON | VP-S-24L-55-4K7-4-HSS-270-R-L | 4000K | 0.900 | 55 | 2053 | 18 | RSS-B-18-40-A |
| D |  | 1 | Single | P4-HSS-R | AREA LIGHT TYPE 4 WITH 270 SHIELD DIRECT LIGHT RIGHT | BEACON | VP-S-24L-55-4K7-4-HSS-270-R | 4000K | 0.900 | 55 | 2053 | 18 | RSS-B-18-40-A |
| E |  | 2 | Single | P4W-BC | AREA LIGHT TYPE 4W WITH BACK SHIELD | Hubbell Lighting Inc | VP-S-24L-55-4K7-4W-BC | 4000K | 0.900 | 53.2 | 3815 | 18 | RSS-B-18-40-A |
| F |  | 6 | Single | WM3 | SMALL WALLPACK, TYPE 3 | Hubbell Outdoor | LNC-7LU-3K-3 | 3000K | 1.000 | 16.5 | 1392 | 8, 15 | LNC-7LU-3K-3.ies |
| G |  | 2 | Single | WM4 | SMALL WALLPACK TYPE 4 | Hubbell Outdoor | LNC-7LU-4K-4 | 4000K | 0.900 | 17.4 | 1535 | 15 | LNC-7LU-4K-4.ies |

LIGHTING NOTES:

1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS AND/OR SUNRISE & SUNSET.

2.) ALL LIGHTING FIXTURES & LIGHTING CALCULATIONS GENERATED BY DIVERSIFIED NEW JERSEY. FOR ADDITIONAL SUPPORT AND ORDERING INFO, CONTACT MATTHEW KENNY, DIVERSIFIED NEW JERSEY, 55 LANE ROAD, SUITE 360, FAIRFIELD, NJ 07004. CELL: 973-885-1205, EMAIL: MKENNY@DVNJ.COM

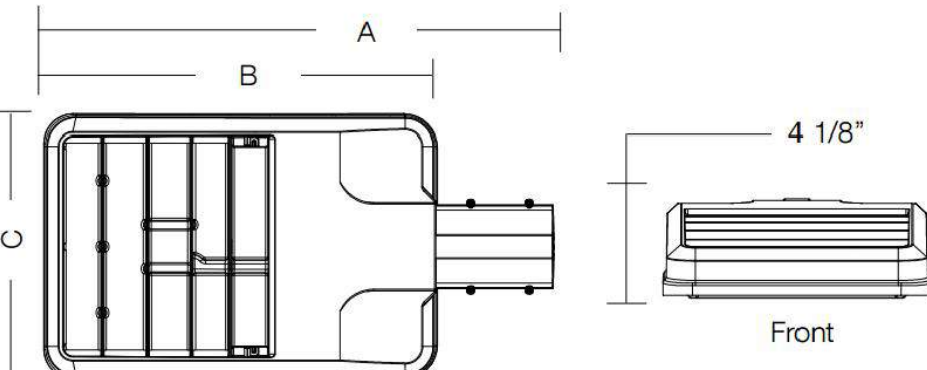


| A | B | C | D |
|--------|-------|--------|--------|
| 4.8" | 1.6" | 8.2" | 5.3" |
| 122 mm | 39 mm | 209 mm | 133 mm |

HUBBELL LED LNC WALLPACK FIXTURE (N.T.S.)

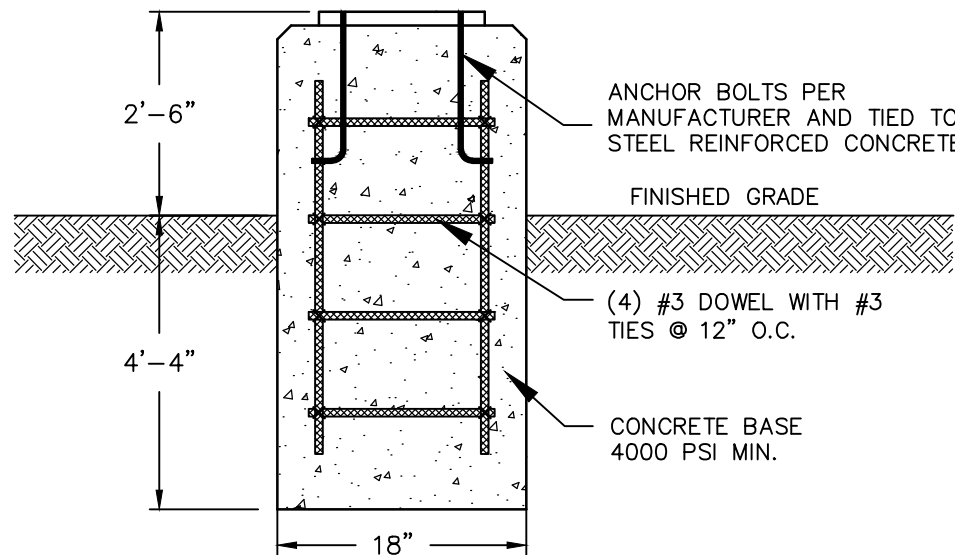


BEACON VIPER (SMALL) LED LIGHTING FIXTURE (N.T.S.)

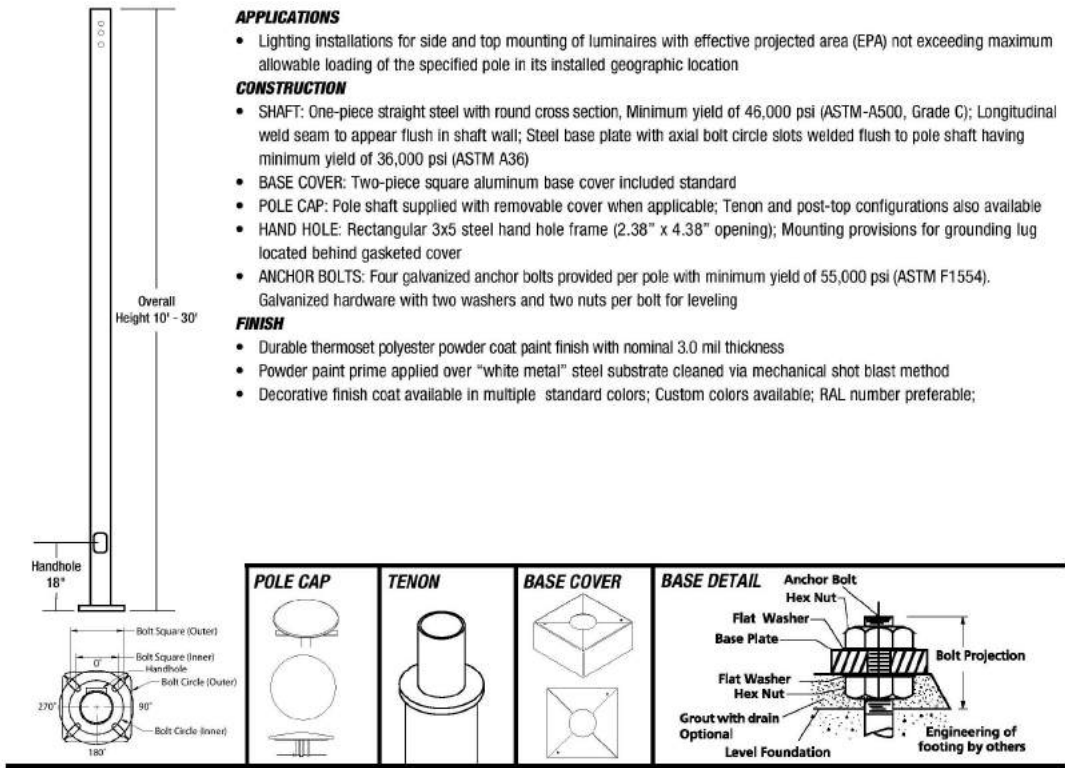


| A | B | C | Weight: | EPA |
|----------|----------|----------|----------|---------|
| 22.75" | 16.75" | 11.25" | 15.0 lbs | .67 ft² |
| (578 mm) | (425 mm) | (286 mm) | (6.8 kg) | |

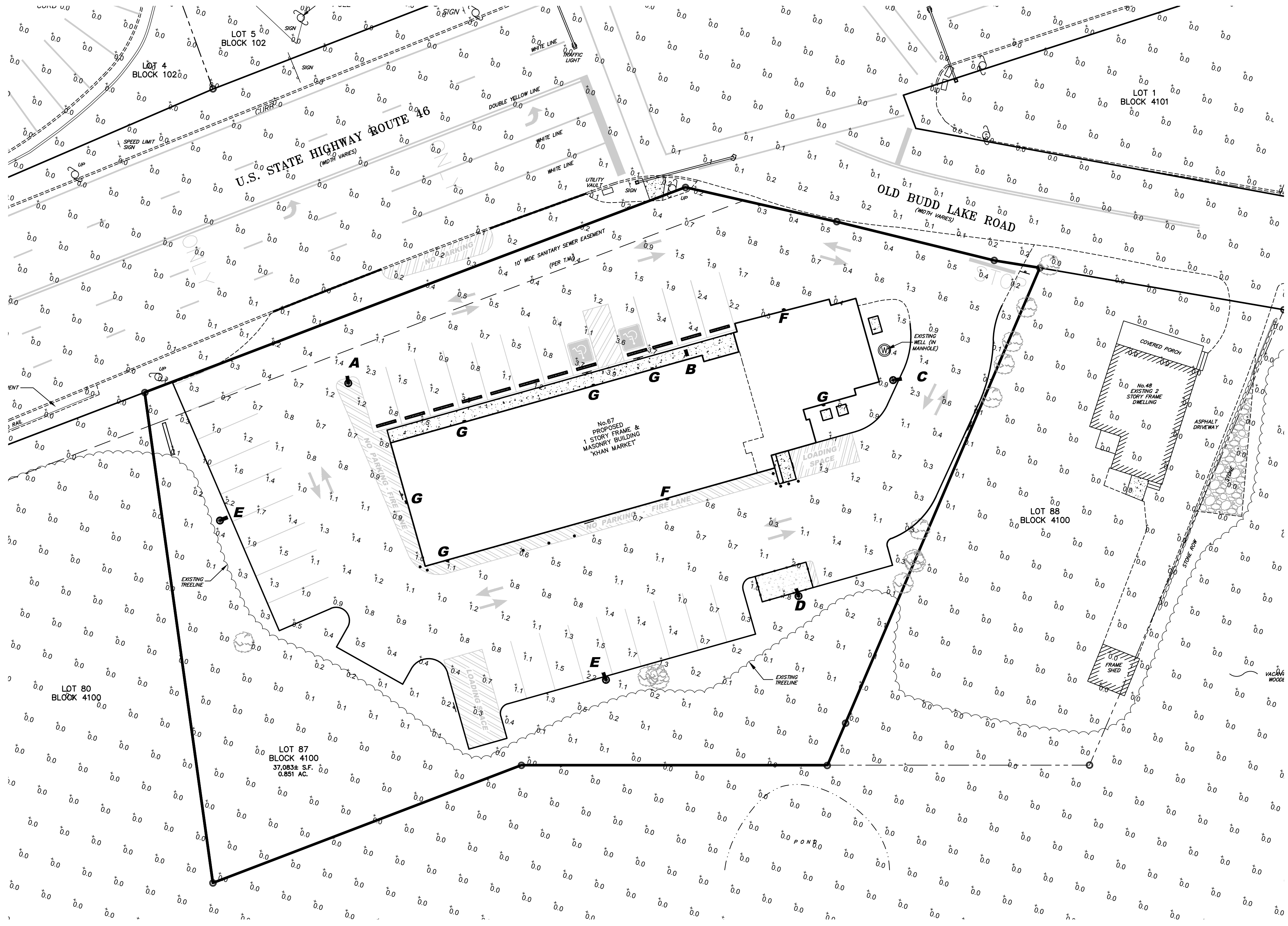
BEACON VIPER (SMALL) LED LIGHTING FIXTURE DIMENSIONS (N.T.S.)



POLE MOUNTING BASE (N.T.S.)

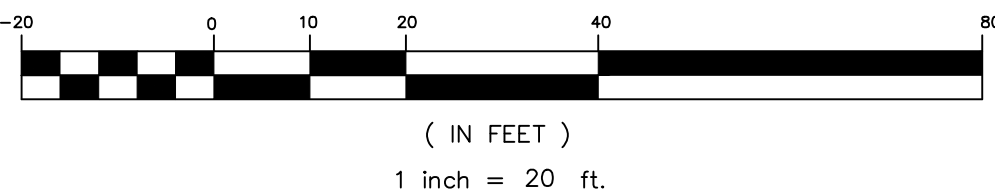


BEACON RSS-B SERIES POLES (ROUND STRAIGHT STEEL) (N.T.S.)



PROPOSED LIGHTING PLAN

GRAPHIC SCALE



| LEGEND: | | | |
|---------|----------------------------------|--|-----------------------|
| | SUBJECT PROPERTY LINE (OUTBOUND) | | EXISTING TREE |
| | ADJACENT PROPERTY LINES | | EXISTING SURVEY IRON |
| | EXISTING R.O.W. | | EXISTING UTILITY POLE |
| | EXISTING BUILDING | | EXISTING WELL |
| | PROPOSED BUILDING FOOTPRINT | | EXISTING SIGN |
| | EXISTING PAVEMENT | | PROPOSED SIGN |
| | PROPOSED PAVEMENT | | |
| | EXISTING CURB | | |
| | EXISTING EASEMENT | | |
| | EXISTING TREELINE | | |
| | EXISTING GRAVEL | | |
| | EXISTING GUARD RAIL | | |
| | PROPOSED RAILING | | |
| | PROPOSED STOCKADE FENCE | | |
| | EXISTING GRAVEL | | |
| | PROPOSED CONCRETE | | |
| | EXISTING TRAFFIC LIGHT | | |

PROPOSED LIGHTING PLAN FOR:
LOT 87 BLOCK 4100
"67 US ROUTE 46"
"KHAN MARKET"

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 1/14/22

Drawn By: WBB Project No: 6884

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

U:\6884 - Kram-Moises-Mt. Olive\Site Plan\6884-8 Landscaping Plan.dwg PS:civilinc.ctb

LEGEND:

| | | | | | |
|--|----------------------------------|--|--------------------------|--|------------------------|
| | SUBJECT PROPERTY LINE (OUTBOUND) | | EXISTING WETLANDS | | EXISTING TREELINE |
| | ADJACENT PROPERTY LINES | | EXISTING WETLANDS BUFFER | | EXISTING TRAFFIC LIGHT |
| | EXISTING R.O.W. | | EXISTING GRAVEL | | EXISTING SPOT GRADE |
| | EXISTING BUILDING | | EXISTING GUARD RAIL | | EXISTING TREE |
| | PROPOSED BUILDING FOOTPRINT | | PROPOSED RAILING | | EXISTING SURVEY IRON |
| | EXISTING PAVEMENT | | PROPOSED STOCKADE FENCE | | EXISTING UTILITY POLE |
| | PROPOSED PAVEMENT | | EXISTING SANITARY SEWER | | EXISTING SANITARY MH |
| | EXISTING OVERHEAD UTILITY LINE | | EXISTING GRAVEL | | EXISTING STORM MH |
| | EXISTING STORM SEWER | | EXISTING PAVEMENT | | EXISTING WELL |
| | EXISTING CURB | | PROPOSED PAVEMENT | | EXISTING SIGN |
| | EXISTING EASEMENT | | PROPOSED CONCRETE | | PROPOSED SIGN |

PROPOSED LANDSCAPING PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PLANTING LEGEND:

| SYMBOL | KEY | BOTANICAL NAME | COMMON NAME | QUANTITY | SIZE | CONTAINER | COMMENTS |
|--------|-----|------------------------------------|-----------------------|----------|-------|-----------|-----------|
| | PG | PICEA PUNGENS GLAUCA | COLORADO BLUE SPRUCE | 10* | 6"-7" | BAB | EVERGREEN |
| | BS | BUXUS SEMPERVIRENS 'SUFFRUTICOSA' | DWARF ENGLISH BOXWOOD | 19 | 2'-3' | 3 GAL. | EVERGREEN |
| | JC | JUNIPERUS CHINENSIS 'PARSONII' | PARSON'S JUNIPER | 6 | 2'-3' | 3 GAL. | EVERGREEN |
| | | EXISTING TREE - SIZE & TYPE VARIES | | | | | |
| | | PROPOSED GRASS | | | | | |
| | | PROPOSED MULCH BED | | | | | |

* OWNER'S PERMISSION HAS BEEN OBTAINED TO PLANT 5 PROPOSED TREES ON ADJACENT LOT 88 4100.

LANDSCAPING NOTES:

- 1.) ALL BEDS (OUTLINED) TO BE PLANTED WITH HARDWOOD MULCH.
- 2.) ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSEYMAN STANDARDS.
- 3.) TREE STAKES AND WIRES SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF INSTALLATION.
- 4.) LAWN AREAS SHALL BE SEEDED AND MULCHED.

TREE REMOVAL & REPLACEMENT

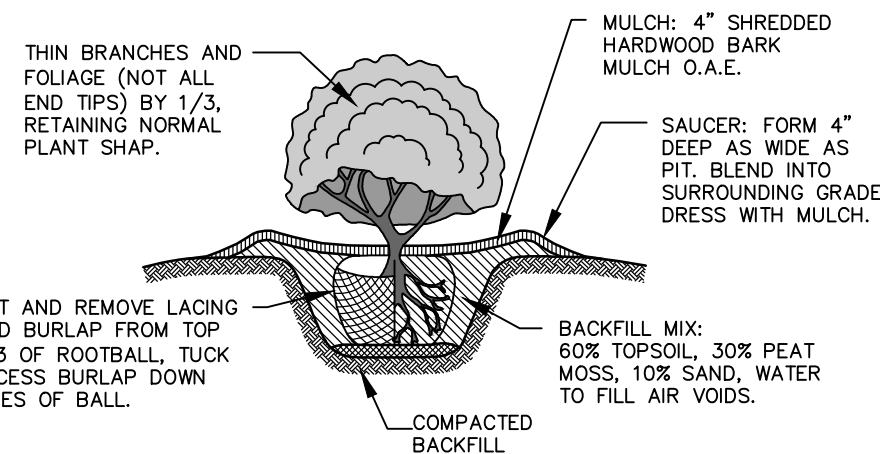
| TREES REQUIRED | | | |
|----------------------------------|-------------------------------|---|-------|
| TREE SIZE | NUMBER OF TREES TO BE REMOVED | NUMBER OF REPLACEMENT TREES REQUIRED (EACH) | TOTAL |
| TREES BETWEEN 6" AND 10" | 0 | 3 | 0 |
| TREES BETWEEN 11" AND 18" | 1 | 4 | 4 |
| TREES BETWEEN 19" AND 24" | 1 | 5 | 5 |
| TREES BETWEEN 25" AND 30" | 0 | 7 | 0 |
| TREES BETWEEN 31" AND <36" | 1 | 10 | 10 |
| 36" AND GREATER | 0 | DBH* DIVIDED BY 3 | 0 |
| TOTAL REPLACEMENT TREES REQUIRED | | | 19 |

*DIAMETER AT BREAST HEIGHT (4.5 FT.)

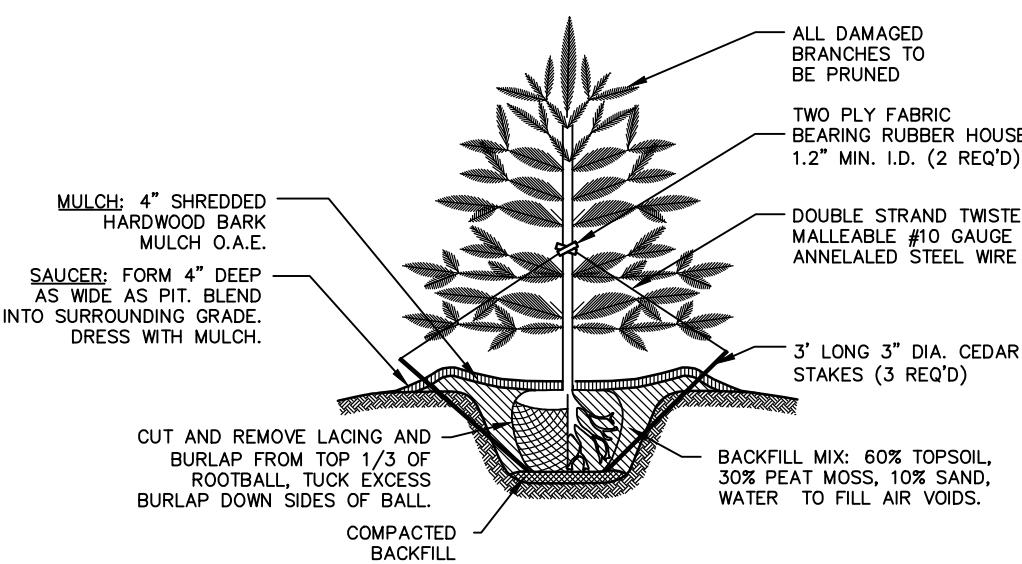
TREES PROPOSED

| TYPE OF TREE | NUMBER OF REPLACEMENT TREES** PROPOSED (EACH) |
|----------------------------------|---|
| COLORADO BLUE SPRUCE | 19 |
| TOTAL REPLACEMENT TREES PROPOSED | 19 |

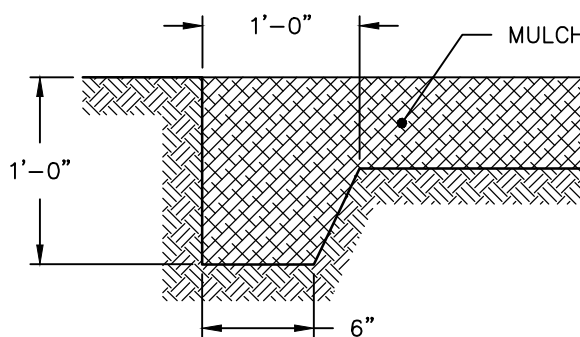
**ALL REPLACEMENT TREES TO BE NURSERY GROWN CERTIFIED TREES, PROPERLY BALLED, MARKED WITH A DURABLE LABEL INDICATING GENUS, SPECIES AND VARIETY AND SATISFYING THE STANDARDS ESTABLISHED FOR NURSERY STOCK AND INSTALLATION THEREOF SET FORTH BY THE AMERICAN ASSOCIATION OF NURSEYMAN. TREES TO HAVE A MATURE HEIGHT OF 12 FT. OR MORE AND A TYPICAL DBH OF FOUR INCHES OR GREATER.



TYPICAL SHRUB PLANTING
(N.T.S.)



CONIFER/DECIDUOUS TREE PLANTING
(N.T.S.)



MULCH PLANT BED EDGE
(N.T.S.)

SHEET 8 OF 9

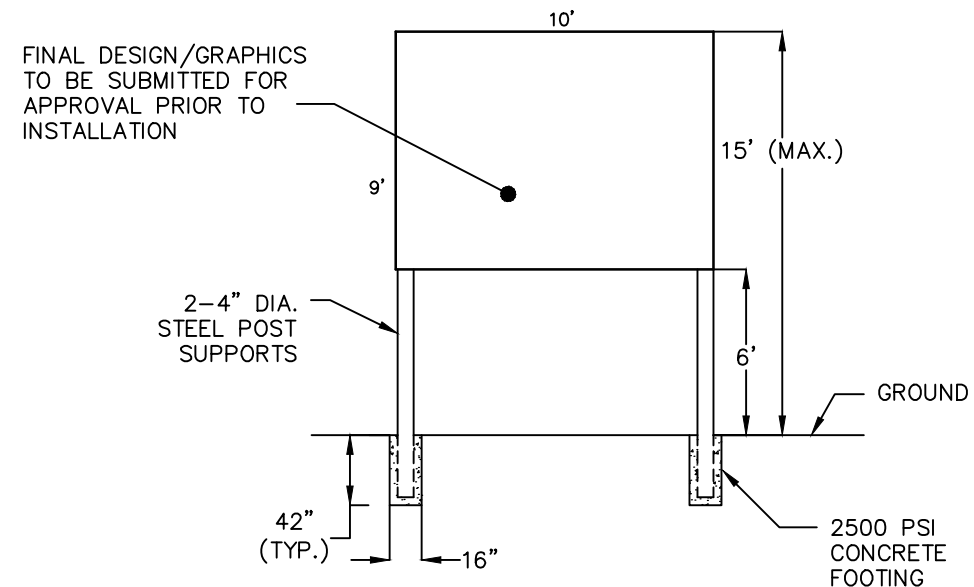
CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
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Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

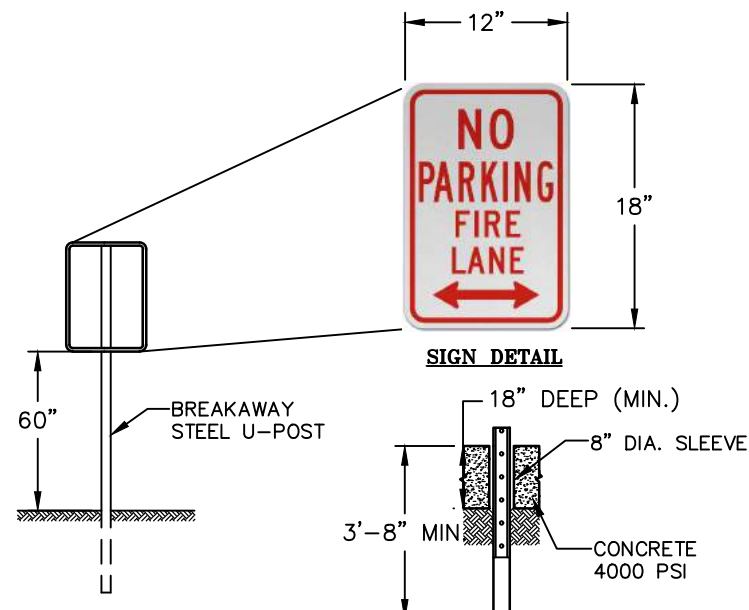
PROPOSED LANDSCAPING PLAN
FOR:
LOT 87 BLOCK 4100
"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884



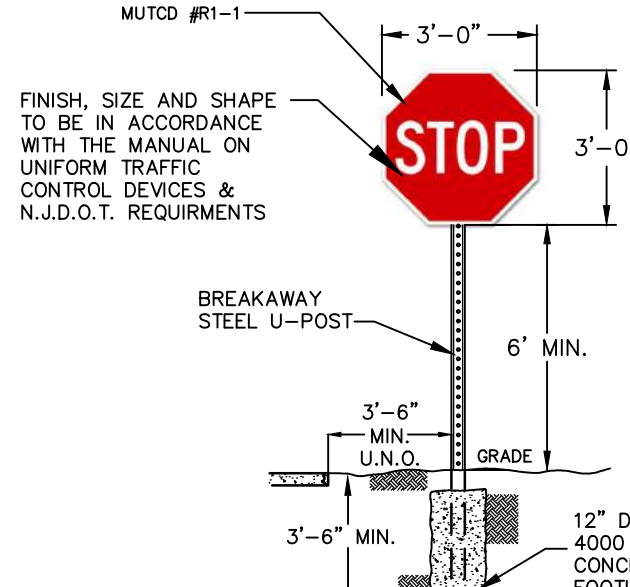
FREE STANDING SIGN DETAIL

(N.T.S.)
C-1 ZONE - FREE STANDING SIGN FACE
ALLOWED - 90 S.F./SIDE
PROPOSED - 90 S.F./SIDE



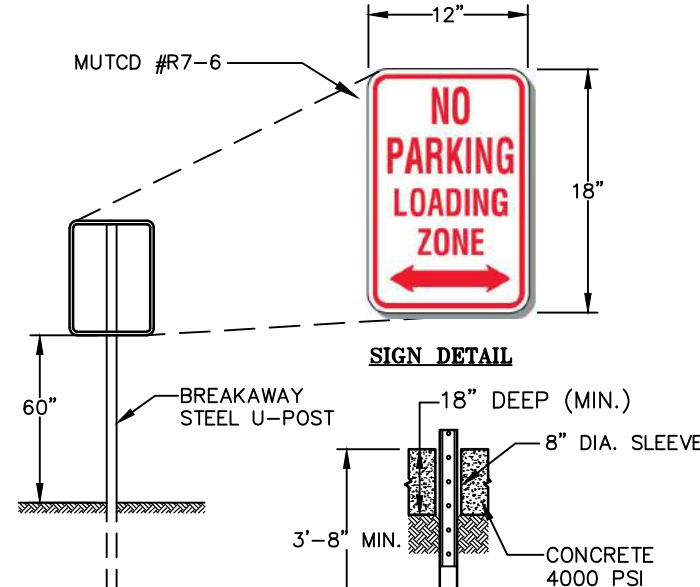
FIRE LANE SIGN

(N.T.S.)



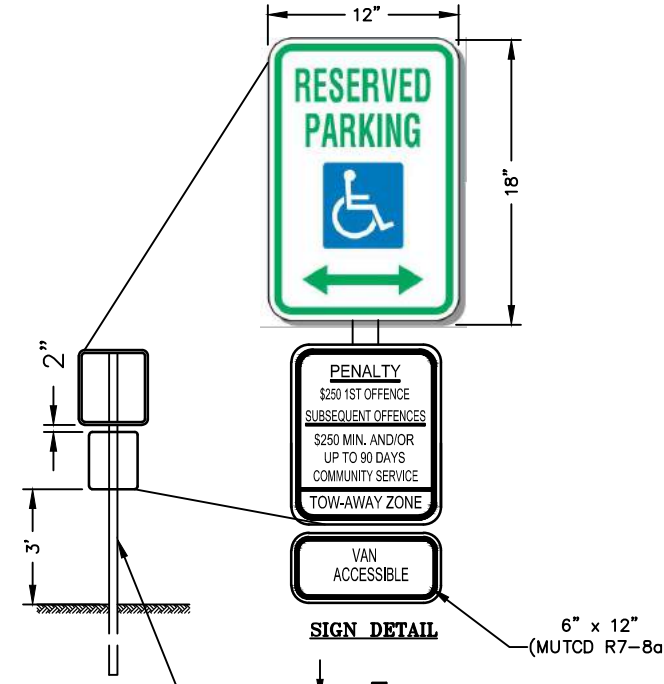
STOP SIGN DETAIL

(N.T.S.)



LOADING AREA SIGN

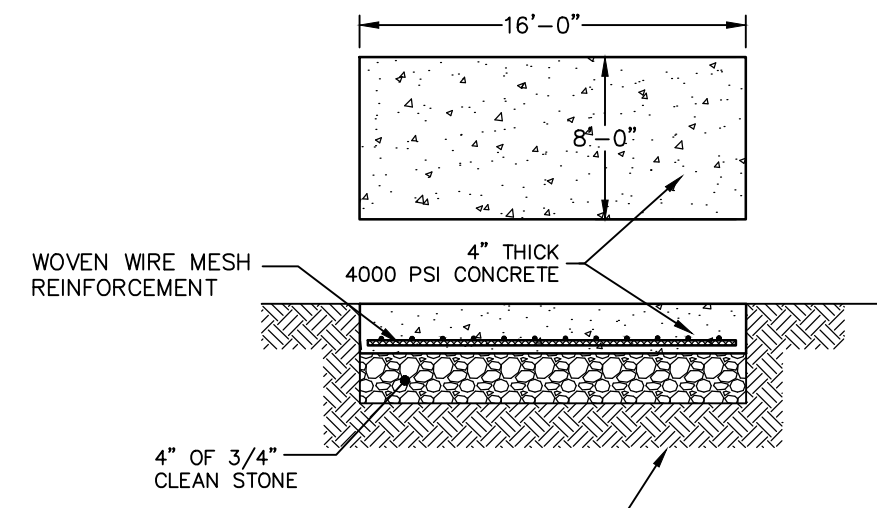
(N.T.S.)



HANDICAPPED PARKING SIGN

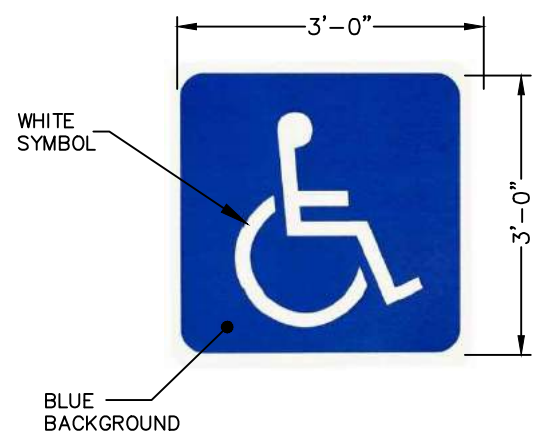
(N.T.S.)

NOTE: SIGN TO SPECIFY "VAN ACCESSIBLE", EITHER ON TOP PORTION OR WITH ADDITIONAL (R7-8a) SIGN



CONCRETE PAD FOR REFUSE AREA ENCLOSURE

(N.T.S.)



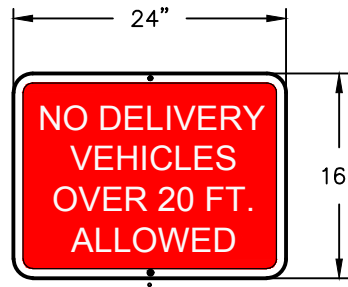
HANDICAPPED MARKING

(N.T.S.)



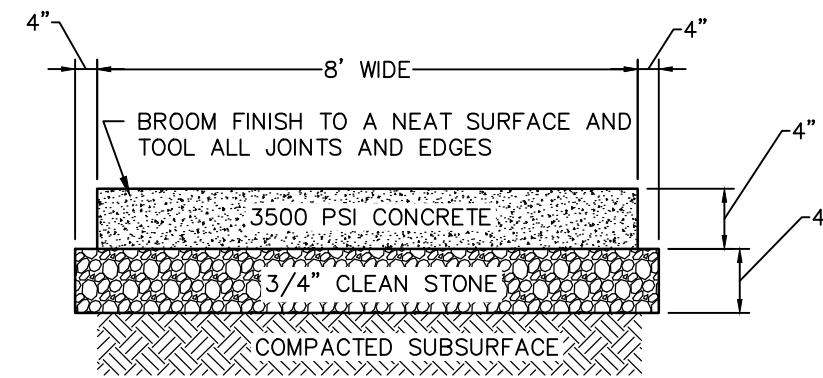
STOP BAR DETAIL

(N.T.S.)



PROPOSED LOADING DOCK SIGN

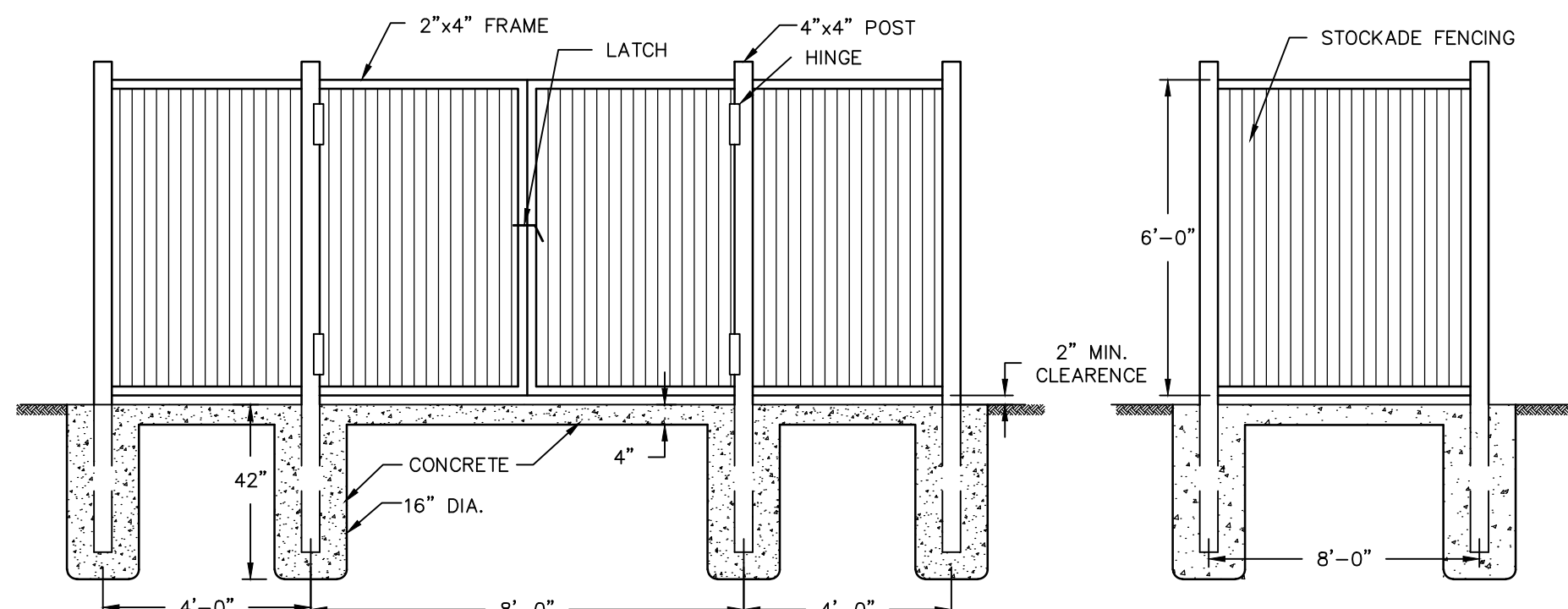
(SIGN TO BE MOUNTED SECURELY TO LOADING DOCK WITH PERMANENT FASTENERS AND BE CLEARLY VISIBLE)
(N.T.S.)



NOTE:
EXPANSION JOINTS SHALL BE 1/2" WIDE AT MAXIMUM 6' INTERVALS. JOINTS SHALL BE FILLED WITH A CELLULAR COMPRESSION MATERIAL, RECESSED 1/4" FROM TOP.

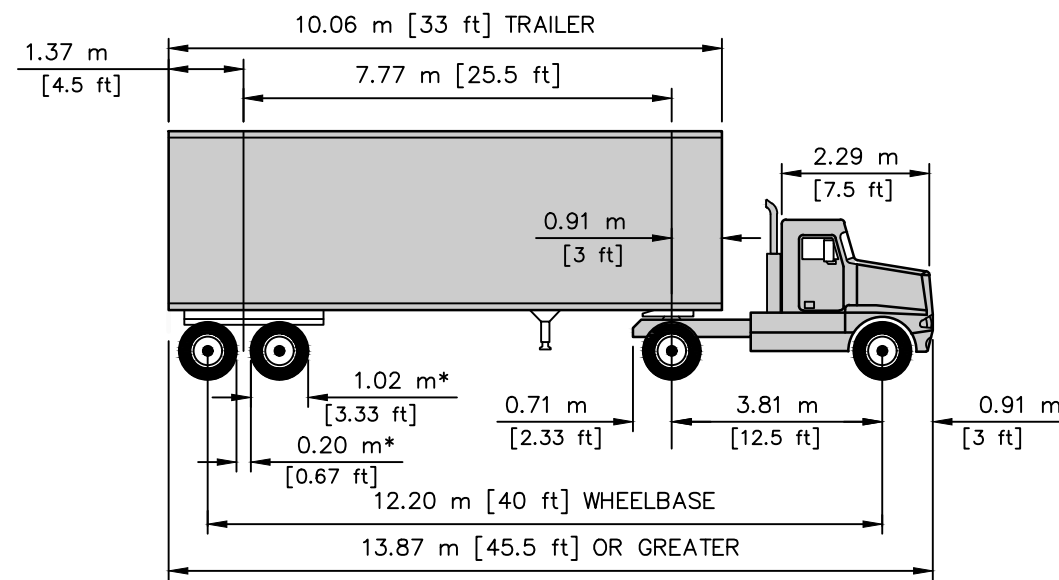
CONCRETE SIDEWALK DETAIL

(N.T.S.)

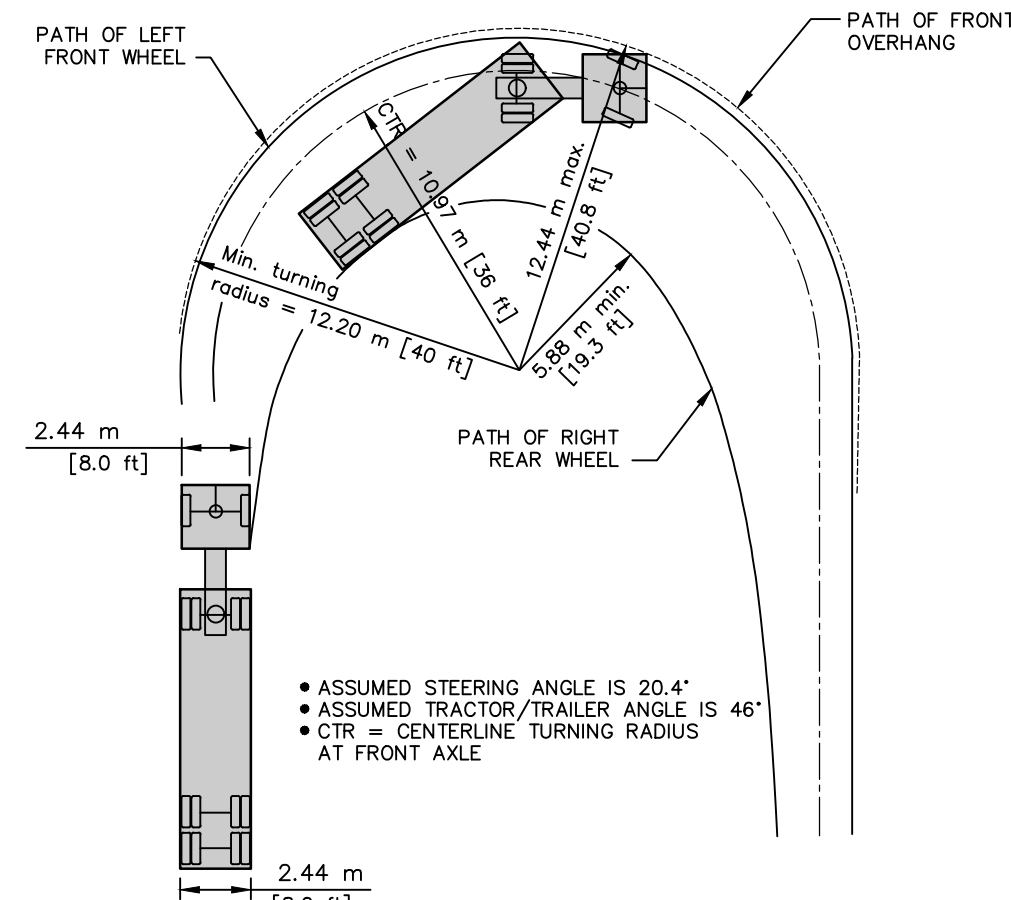


TRASH ENCLOSURE DETAIL

(N.T.S.)

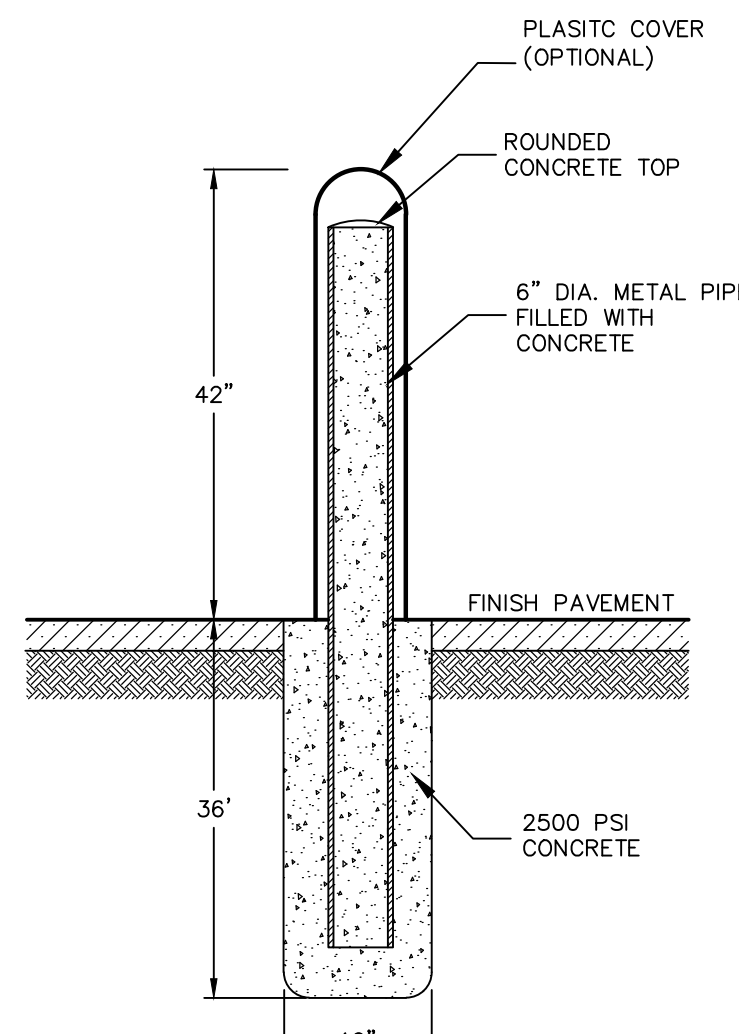


* TYPICAL TIRE SIZE AND SPACE BETWEEN TIRES APPLIES TO ALL TRAILERS.



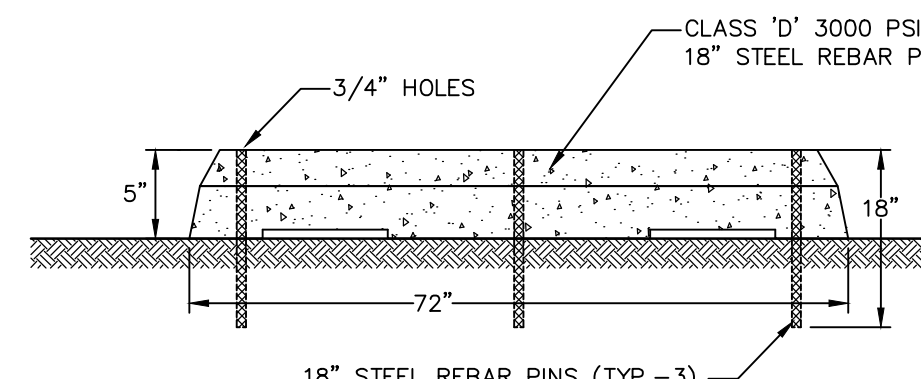
WB 40 TRUCK TURNING RADIUS DETAIL

(N.T.S.)



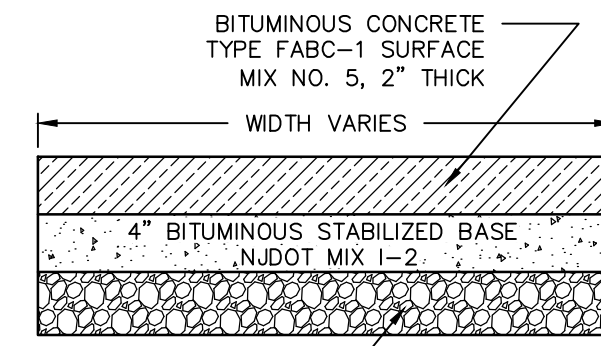
CONCRETE BOLLARD DETAIL

(N.T.S.)



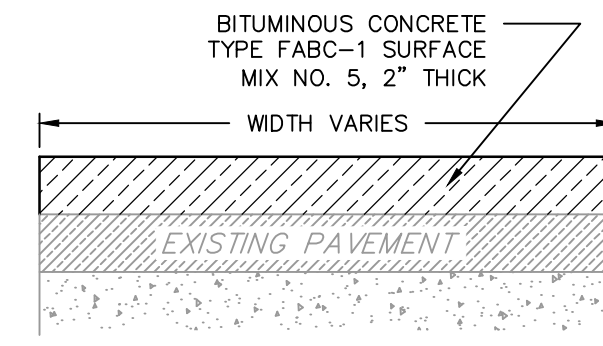
CURB BUMPER DETAIL

(N.T.S.)



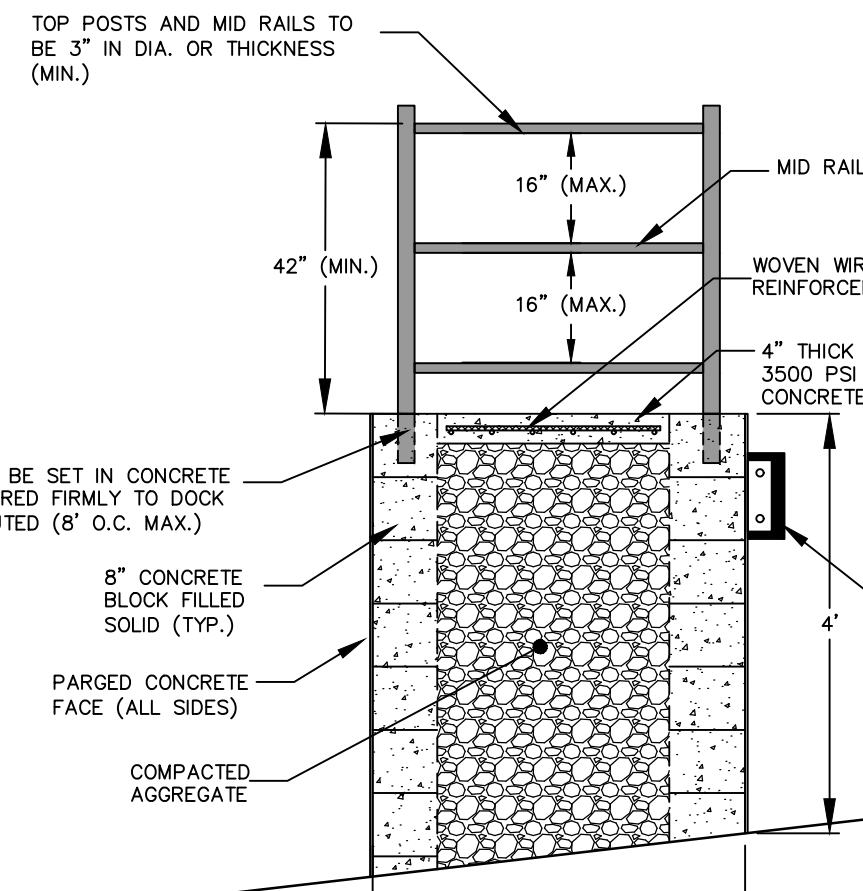
NEW PAVEMENT DETAIL

(N.T.S.)



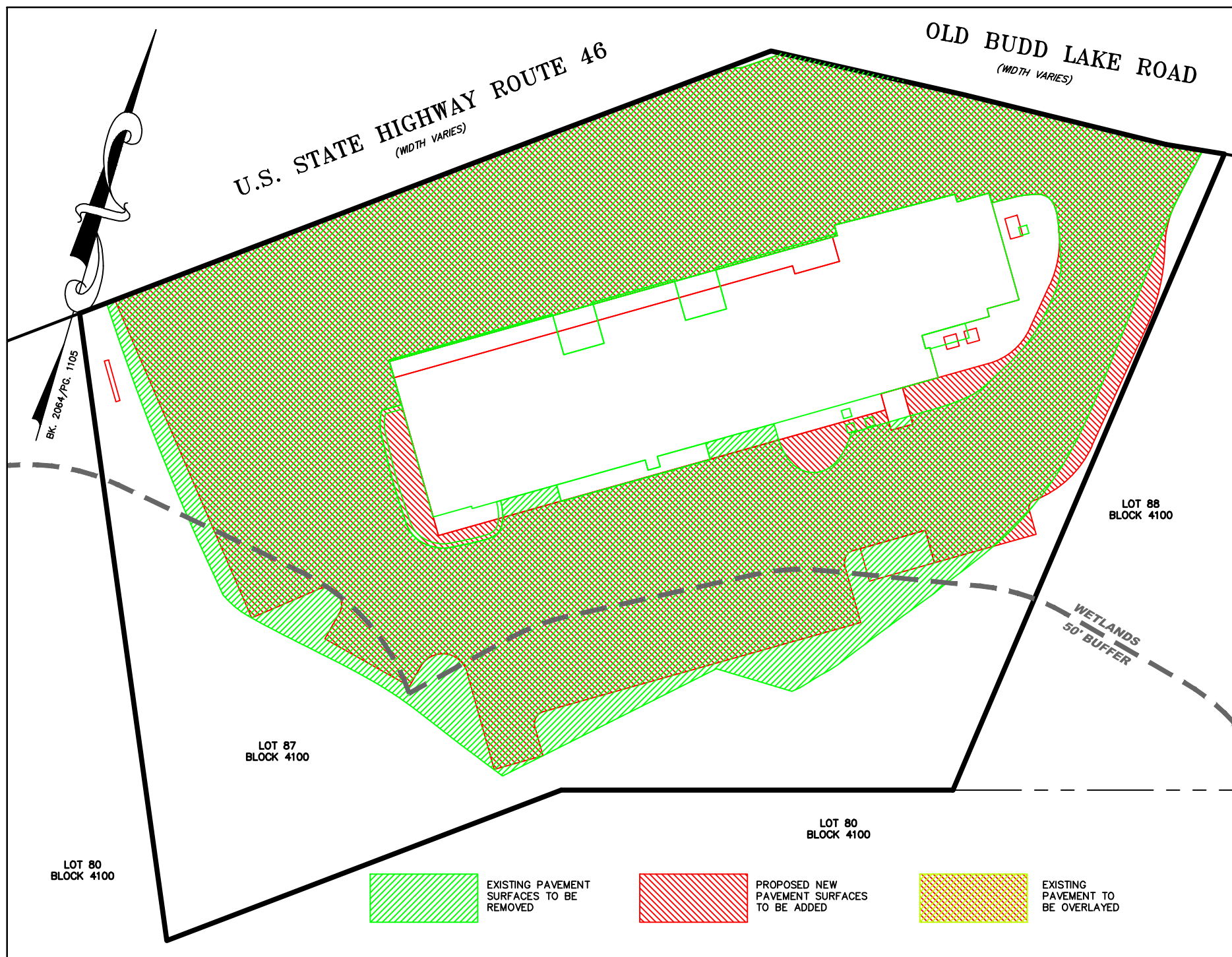
OVERLAY DETAIL

(N.T.S.)



LOADING DOCK DETAIL

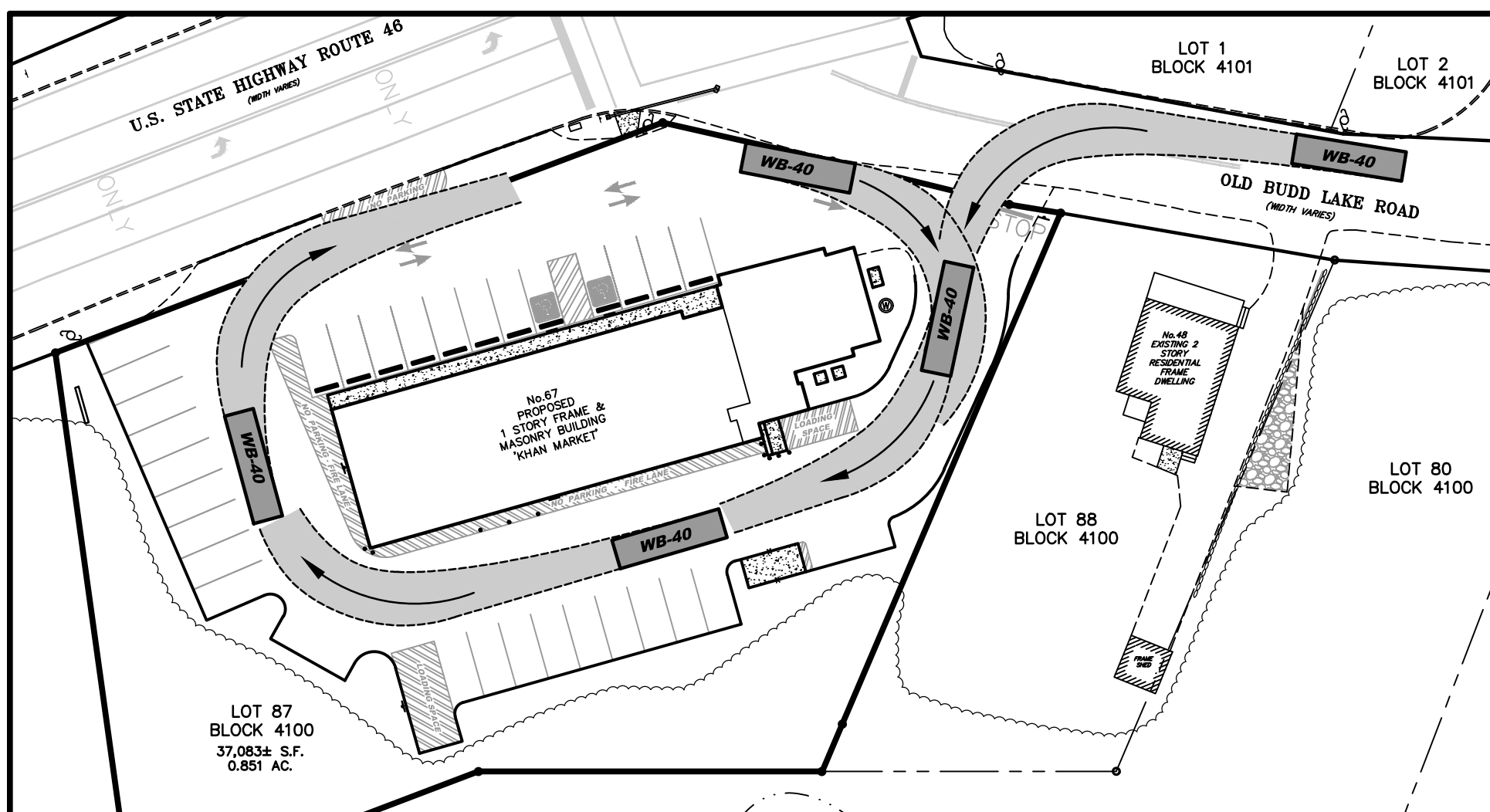
(N.T.S.)



PAVEMENT OVERLAY DETAIL

SCALE: 1" = 30'

NOTES:
1. ADDITIONAL AREAS OF NEW PAVEMENT MAY BE REQUIRED. ANY EXISTING PAVEMENT AREAS DEEMED UNACCEPTABLE BY THE TOWNSHIP ENGINEER TO BE REMOVED AND HAVE FULL PAVEMENT REPLACED PER DETAIL (BELOW).
2. NO AREAS OF NEW PAVEMENT ARE PROPOSED WITHIN THE WETLANDS TRANSITION BUFFER.
3. AREA OF EXISTING PAVEMENT WITHIN BUFFER TO BE REMOVED = 1,289 S.F.



WB-40 TURNING MOVEMENTS

SCALE: 1" = 40'

SHEET 9 OF 9

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

CONSTRUCTION DETAILS
FOR:
LOT 87 BLOCK 4100
"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884