

PRELIMINARY & FINAL SITE PLAN PHASE 3

LOT 85.02, BLOCK 4400

AMENDED PRELIMINARY SITE PLAN PHASE 1&2

LOT 85, BLOCK 4400

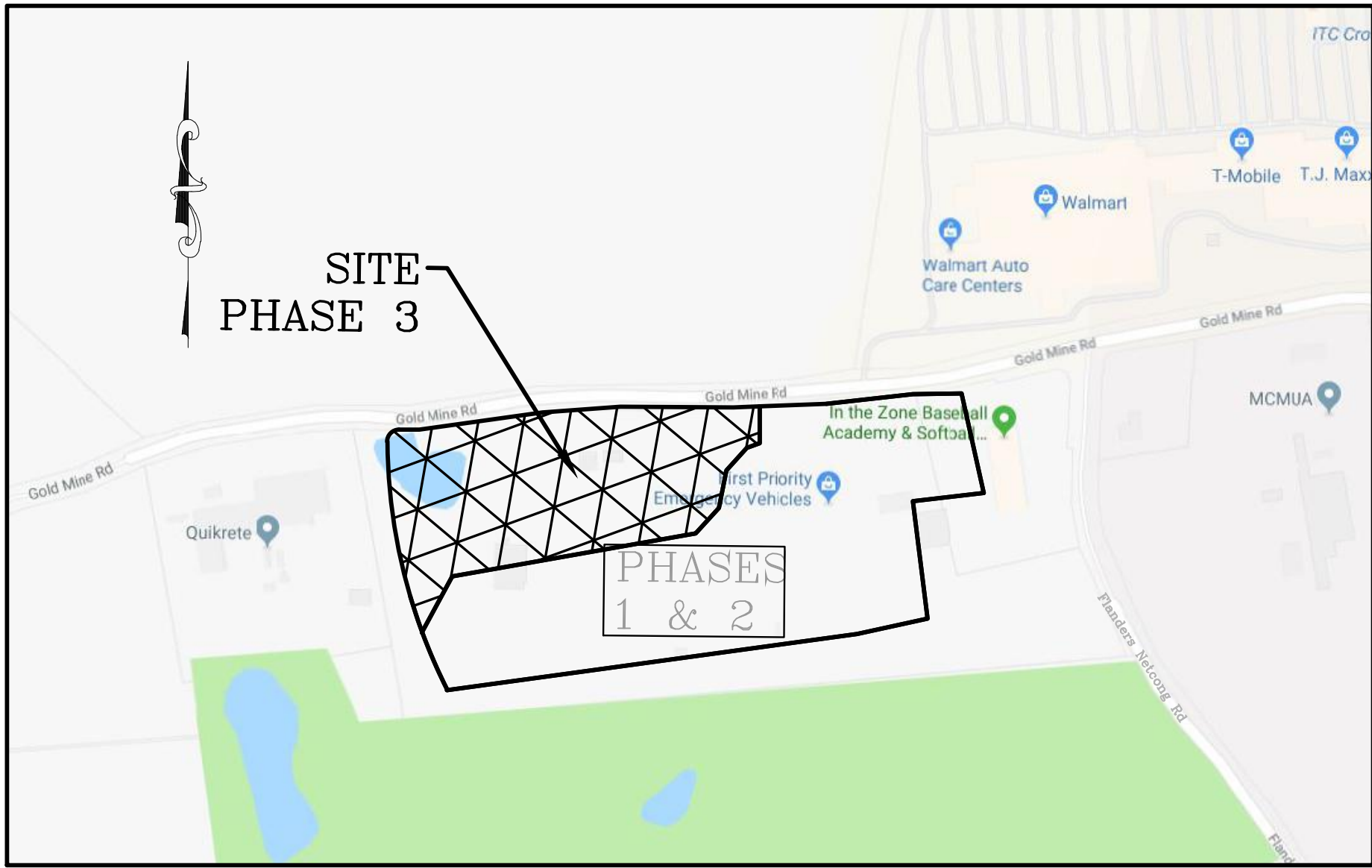
160 GOLD MINE ROAD

TOWNSHIP OF MOUNT OLIVE

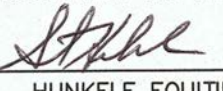
MORRIS COUNTY, NEW JERSEY

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KEY MAP  
SCALE: 1"= 300'


OWNER'S CERTIFICATE OF CONCURRENCE WITH PLAN:  
"I CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREON DEPICTED AND THAT I CONCUR WITH THE PLAN."  
  
OWNER HUNKELE EQUITIES LLC  
160 GOLD MINE ROAD  
MOUNT OLIVE, NJ 07836  
ADDRESS 1-9-20  
DATE

TOWNSHIP OF MOUNT OLIVE

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE



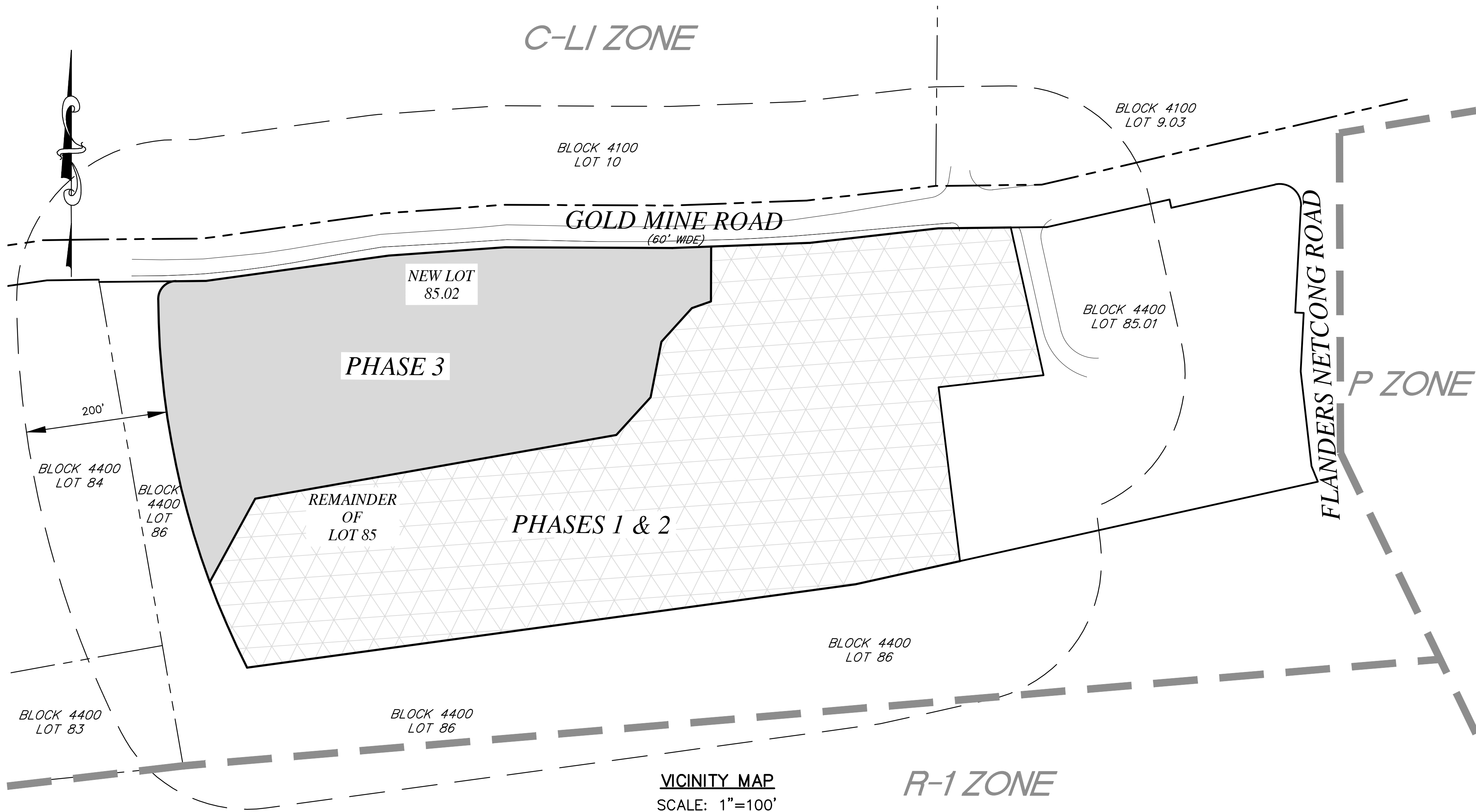
OWNER & APPLICANT:  
HUNKELE EQUITIES LLC  
160 GOLD MINE ROAD  
MOUNT OLIVE, NJ 07836



planning  
architecture  
engineering  
surveying

CHESTER, PLOUSSAS, LISOWSKY  
PARTNERSHIP LLC  
95 MATAWAN ROAD | SECOND FLOOR  
MATAWAN, NJ 07747  
P. 732-566-0297 | www.cplpartnership.com  
CERTIFICATES OF AUTHORIZATION: BOARD OF ENGINEERS & LAND SURVEYORS: 246428150000 | BOARD OF ARCHITECTS: 21AC00099000  
Job No.: 21001  
Date: JANUARY 21, 2021  
Revised: JUNE 14, 2021  
SEPT. 30, 2021

\\PLOT FILES\ENGINEERING\2021\21001\PRE-FINAL SITE\2021-06-14



#### PROPERTY OWNERS LIST WITHIN 200'

19010 BLOCK	LOT	TOWNSHIP OF MOUNT OLIVE
4100 10	COMBE FILL CORP. BRUCE D. SCHERLING 17 DONELLAN RD. SCARSDALE, NY 10583-2007	
4100 9.03	WAL-MART RE BUSINESS TRUST P.O. BOX 8050 MS 0555 BENTONVILLE, AR 72712-8050	
4400 83	TRI-ST. QUIKRETE C/O KAREN KULP 3490 PIEDMONT RD., STE. 1300 ATLANTA, GA 30305	
4400 84	TRI-ST. QUIKRETE C/O RYAN LLC 229 PEACHTREE ST. NE, #1900 ATLANTA, GA 30303	
4400 85	HUNKLE EQUITIES LLC 160 GOLDMINE RD. UNIT #9 FLANDERS, NJ 07836	
4400 85.01	HUNKLE EQUITIES LLC 160 GOLDMINE RD. UNIT #9 FLANDERS, NJ 07836	
4400 86	MORRIS HUNT COMMUNITY ASSN. INC. 200 VALLEY RD, SUITE 203 MT. ARLINGTON, NJ 07856	

4500 5	MORRIS COUNTY MUNICIPAL UTILITIES AUTHORITY 214A CENTER GROVE RD. RANDOLPH, NJ 07869
	BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKETTSTOWN, NJ 07840
	MT. ALBANESE NEW JERSEY NATURAL GAS COMPANY 1415 WYCKOFF ROAD WALL, NJ 07719
	BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP. 1470 POORHOUSE ROAD DOWNINGTOWN, PA 19335-342
	MT. OLIVE TOWNSHIP WATER & SEWER DEPARTMENT P.O. BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT. OLIVE, NJ 07828
	N.O. DEPARTMENT OF TRANSPORTATION 1035 PARKWAY DR. CN 600 TRENTON, NJ 08625
	PUBLIC SERVICE ELECTRIC & GAS MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102
	NEW JERSEY AMERICAN WATER CO. INC. P.O. BOX 5627 CHERRY HILL, NJ 08034
	APPLIED WASTEWATER MANAGEMENT 2 CLERICO LANE HILLSBOROUGH, NJ 08844

#### GENERAL NOTES

- OWNER & APPLICANT  
HUNKLE EQUITIES LLC  
160 GOLD MINE ROAD - BOX 9  
MOUNT OLIVE, NJ 07836
- BEING KNOWN AS LOTS 85 AND 85.02, BLOCK 4400, AS SHOWN ON SHEET 45.01 OF THE TAX MAPS OF THE TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY.
- ENTIRE TRACT IS COMPRISED OF 13.54 AC AND IS LOCATED IN C-LI, (COMMERCIAL/LIGHT INDUSTRIAL).
- ZONE REQUIREMENTS FOR THE C-LI ZONE:

	REQUIRED	PROVIDED PHASE 3 LOT 85.02	PROVIDED AM. PHASES 1 & 2 LOT 85
MINIMUM LOT AREA	5 ACRES	5.01 ACRES	8.53 ACRES
MINIMUM LOT WIDTH	250 FT.	235 FT. ±	485 FT. ±
MINIMUM LOT DEPTH	250 FT.	250 FT. ±	470 FT. ±
MINIMUM LOT FRONTAGE	250 FT.	296 FT. ±	284 FT. ±
MINIMUM LOT COVERAGE	60%	40%	76.6% *
MAXIMUM BUILDING HEIGHT	45 FT.	N.A.	< 45 FT.
FLOOR AREA RATIO	0.40	N.A.	0.16
MINIMUM LOT FRONT YARD	100 FT.	38 FT. ± *	237 FT. ±
MINIMUM SIDE YARD	50 FT.	50 FT.	100 FT. ±
MINIMUM SIDE YARD - BOTH	100 FT.	100 FT.	> 100 FT.
MINIMUM REAR YARD	50 FT.	>50 FT.	88 FT. ±
YARD REQUIREMENTS ACCESSORY BUILDING			
MINIMUM SIDE YARD	50 FT.	N.A.	N.A.
MINIMUM REAR YARD	50 FT.	N.A.	N.A.
*VARIANCE REQUIRED			

#### NOTE:

##### EXCEPTIONS REQUESTED FROM:

- SECTION 500-33 LIGHTING OF ENTIRE SITE. ONLY AREA OF DEVELOPMENT IS PROPOSED.
- PARKING REQUIREMENTS  

LOT 85.02	PHASE 3	PARKING REQUIRED
PROPOSED PARKING	(11'X27' SPACES) (11'X32' SPACES) (8'X18' HANDICAP SPACES)	129 SPACES 2 SPACES 5 SPACES
		TOTAL 136 SPACES

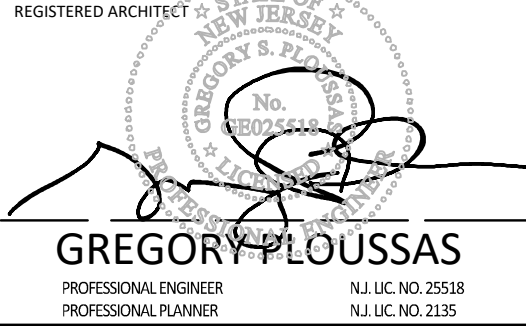
LOT 85	AMENDED PHASES 1 & 2	
EXISTING PARKING	(10' X 20' SPACES) (10' X 20' HANDICAP SPACES)	38 SPACES 2 SPACES
PROPOSED PARKING	(10' X 20' SPACES) (10' X 20' HANDICAP SPACES)	16 SPACES 1 SPACE
		TOTAL 57 SPACES

EXISTING LOADING (10' X 20' LOADING SPACES)		20 SPACES 20 SPACES
	TOTAL	
- BOUNDARY INFORMATION SHOWN HEREON OBTAINED FROM UPON A MAP ENTITLED "BOUNDARY/TOPOGRAPHIC SURVEY OF LOT 85, BLOCK 440, 160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY" DATED DECEMBER 12, 2015, REVISED TO SEPTEMBER 13, 2016 PREPARED BY CAREAGA ENGINEERING, INC. AND "MINOR SUBDIVISION, 160 GOLD MINE ROAD, LOTS 85 & 85.02, BLOCK 4400" DATED OCTOBER 15, 2016, PREPARED BY CAREAGA ENGINEERING, INC. AND REVISED TO SEPTEMBER 30, 2021.
- TOPOGRAPHIC INFORMATION SHOWN HEREON OBTAINED FROM ABOVE REFERENCED "BOUNDARY AND TOPOGRAPHIC SURVEY" AND "AS-BUILT SURVEY, LOT 85, BLOCK 4400, 160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY" DATED FEBRUARY 8, 2017, REVISED TO SEPTEMBER 15, 2017. VERTICAL DATUM IS BASED ON NAVD 1929. BENCHMARK IS PK NAL SET IN PAVEMENT, ELEVATION 1085.22. TOPOGRAPHIC INFORMATION SUPPLEMENTED BY FIELD SURVEYING BY CPL PARTNERSHIP, LLC IN JUNE 2021.
- FRESHWATER WETLANDS/WATERS AND BUFFER AS VERIFIED BY N.J.D.E.P. FILE NO. 1427-09-0008.1 FWW 16001.
- ALL CONSTRUCTION DELINEATED HEREIN SHALL BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2007 AND ALL ADDENDA THERETO, ALL SUPPLEMENTARY AND ADDITIONAL SPECIFICATIONS ISSUED BY THIS OFFICE AND ALL MUNICIPAL STANDARDS. IN THE CASE OF ANY CONFLICT, THE MOST RESTRICTIVE SPECIFICATIONS SHALL APPLY.
- EXISTING UTILITIES
- OWNER AND CONTRACTOR ARE HEREBY NOTIFIED THAT EXISTING UTILITIES ARE PRESENT IN THE VICINITY OF THE PROJECT. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK WHERE UTILITIES HAVE NOT BEEN LOCATED AND MARKED OUT BY UTILITY COMPANIES. CONTRACTOR SHALL CALL 1-800-272-1000 FOR MARK-OUT PRIOR TO COMMENCING WORK.
- WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES SO THAT CONFLICTS MAY BE AVOIDED.
- A LIST OF SOME OF THE PRINCIPAL UTILITY COMPANIES WHICH MAY BE ENCOUNTERED ALONG THE LINE OF CONSTRUCTION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
  - HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY
  - NEW JERSEY NATURAL GAS COMPANY
  - COLUMBIA GAS TRANSMISSION CORP.
  - WATER & SEWER DEPARTMENT
  - APPLIED WASTE MANAGEMENT
  - PUBLIC SERVICE ELECTRIC & GAS
  - NEW JERSEY AMERICAN WATER COMPANY
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED, INCLUDING REVISED DRAWINGS AS MAY BE REQUIRED.
- THE CONSTRUCTION SUPERVISOR ON THE PROJECT IS REQUIRED TO HAVE A COMPLETE UP-TO-DATE SET OF APPROVED PLANS AVAILABLE AT ALL TIMES IN THE FIELD.
- AREAS OF CONSTRUCTION IN PROPOSED FILL SHALL BE THOROUGHLY COMPACTED AS PER THE REQUIREMENTS OF THE SOILS ENGINEER AND TOWNSHIP ENGINEER PRIOR TO THE INSTALLATION OF UTILITIES, BUILDINGS AND ROADWAYS.
- SOIL EROSION & SEDIMENT CONTROL:
  - ALL INSTALLATION, CONSTRUCTION AND MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL ELEMENTS SHALL BE IN COMPLIANCE WITH THE PLANS AS APPROVED BY THE SOIL CONSERVATION DISTRICT. A COPY OF SAID APPROVED PLANS SHALL BE MAINTAINED ON THE PROJECT SITE.
  - CONSTRUCTION ENTRANCE STONE IS TO BE 1-1/2" TO 2-1/2" STONE MAT, 1'-0" DEEP BY 50' LONG BY ROAD WIDTH. ENTRANCE STONE IS TO BE MAINTAINED AT ALL TIMES. BURLAP OR FILTER CLOTH TO BE USED AS REQUIRED.
  - DIVERSION BERMS IN ROADWAYS, IF UTILIZED, TO BE CONSTRUCTED OF GRAVEL.
- DRAINAGE:
  - ALL STORM SEWER SHOWN HEREIN SHALL BE R.C.P. CLASS III, WALL B, UNLESS OTHERWISE NOTED.
- THE TOWNSHIP ENGINEER RESERVES THE RIGHT TO REQUIRE UNDERDRAINS, IF REQUIRED BY FIELD CONDITIONS DURING CONSTRUCTION.
- THE TOWNSHIP ENGINEER ALSO RESERVES THE RIGHT TO REQUIRE CHANNELS, DITCHES, OR STREAMS LINED WITH RIP RAP OR OTHER SATISFACTORY MEANS WHERE SOIL INSTABILITY OR THE PROXIMITY OF STRUCTURES, ROADS, ETC. WARRANT SUCH ACTION DURING AND AFTER CONSTRUCTION.
- ALL DRAINAGE STRUCTURES SHALL BE NUDOT CLASS B CONCRETE - 4,500 PSI PRECAST CONCRETE.
- THE SUBSURFACE STORMWATER BASIN IS TO BE AS MANUFACTURED BY CUPOLEX, INC., A DIVISION OF PONTAROLO ENGINEERING.
- A REPRESENTATIVE FROM PONTAROLO ENGINEERING SHALL BE PRESENT DURING CONSTRUCTION TO CERTIFY THAT THE INSTALLATION IS PER THE MANUFACTURER'S REQUIREMENTS.
- CUPOLEX MODULES ARE TO BE PROTECTED FROM CONSTRUCTION TRAFFIC LOADS WITH SAFETY FENCING UNTIL BASE COURSE OF PAVEMENT HAS BEEN INSTALLED. DURING CONSTRUCTION, LOADED TANDEM TRUCKS SHALL NOT BE BACKED OVER CUPOLEX MODULES TO DELIVER ASPHALT TO PAVING MACHINERY UNLESS PERMITTED BY MANUFACTURER'S REPRESENTATIVE.
- SHOP DRAWINGS SHALL BE PROVIDED TO THE TOWNSHIP ENGINEER FOR ALL PRECAST STRUCTURES PRIOR TO FABRICATION.
- SANITARY SEWER
  - THE PROPOSED PROJECT INCLUDES CONSTRUCTION OF A BATHROOM BUILDING TO BE SERVICED BY AN INDIVIDUAL SUBSURFACE SEWERAGE DISPOSAL SYSTEM (SEPTIC SYSTEM). THE DESIGN OF THIS SYSTEM IS TO BE PREPARED BY THE APPLICANT'S SEPTIC CONSULTANT, CAREAGA ENGINEERING, INC.
  - THE REPRESENTATION OF THE SEPTIC TANKS, MAIN DISPOSAL BED AND RESERVED DISPOSAL BED DELINEATED HEREON ARE SHOWN IN ACCORDANCE WITH THE SEPTIC DESIGN PLAN(S) PREPARED BY CAREAGA ENGINEERING INC. AS NOTED ABOVE. SEE THOSE PLANS FOR ALL SEPTIC SYSTEM DESIGN INFORMATION.
- RETAINING WALLS:
  - FOR ALL PROPOSED RETAINING WALLS DELINEATED HEREIN, THE BOTTOM OF WALL ELEVATIONS (BW) SHOWN REPRESENTS THE PROPOSED FINISHED GRADE ADJACENT TO THE PROPOSED WALL, NOT THE ACTUAL BOTTOM OF THE WALL MATERIAL/FOOTING.
  - THE PROPOSED RETAINING WALLS DELINEATED HEREIN ARE CONCEPTUAL ONLY. PRIOR TO CONSTRUCTION, SHOP DRAWINGS AND STRUCTURAL DESIGN CALCULATIONS PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL MEASURES DELINEATED HEREIN INCLUDING, BUT NOT LIMITED TO, SIGNS, STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE NUDOT SPECIFICATIONS (SEE NOTE 14 ABOVE) AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AS PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY AUTHORITY.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH TITLE 29 OF THE CODE OF FEDERAL REGULATIONS (CFR), PART 1926-SAFETY & HEALTH REGULATIONS FOR CONSTRUCTION AND ALL OTHER APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) GUIDELINES.
- ALL LIGHTING AS SHOWN ON THE LIGHTING PLAN CONTAINED HEREIN SHALL BE CONTROLLED BY PHOTOCELL AND PROVIDE ILLUMINATION FROM DUSK UNTIL DAWN.
- ANY SPRINGS OR WATER EMANATING FROM THE GROUND SHALL BE PIPED TO THE NEAREST AVAILABLE STORM WATER OR DRAINAGE DITCH. WATER FROM SUMP PUMPS SHALL BE PIPED TO EXISTING STORM DARINS OR DRAINAGE DITCHES. WHERE SUCH DO NOT EXIST, NEW DRAINS WILL BE CONSTRUCTED AT SUCH POINTS AS DIRECTED BY THE TOWNSHIP ENGINEER.
- THE DEVELOPER SHALL ENSURE THAT NO STUMPS, TREES OR DEBRIS ARE DEPOSITED ON OR PERMITTED TO REMAIN UPON ANY OF THE LOTS OR PORTIONS OF SAID DEVELOPMENT. NOR SHALL ANY STUMPS, DEAD TREES OR DEBRIS BE DEPOSITED BELOW THE SURFACE OF THE EARTH UNLESS AUTHORIZED BY THE TOWNSHIP ENGINEER.
- IN THE EVENT THAT ANY DRAINAGE PROBLEMS SHALL BE CREATED ON ADJACENT PROPERTIES BY THE DEVELOPMENT OF THIS SITE, CORRECTIVE MEASURES SHALL BE PROVIDED BY THE DEVELOPER AT HIS EXPENSE AT SUCH PLACES AND IN SUCH MANNER AS THE TOWNSHIP ENGINEER MAY DIRECT.

DATE	REVISIONS
JUNE 14, 2021	REVISED LAYOUT
SEPT. 30, 2021	REV. PER TOWNSHIP PLANNER REVIEW

GREGORY PLOUSSAS PROFESSIONAL ENGINEER PROFESSIONAL PLANNER RICHARD G. RUCHALSKI PROFESSIONAL LAND SURVEYOR PROFESSIONAL PLANNER JOSEPH M. DELLUCIA REGISTERED ARCHITECT	MICHAEL PUCCI PROFESSIONAL ENGINEER PROFESSIONAL PLANNER ROBERT S. LARSEN REGISTERED ARCHITECT PROFESSIONAL PLANNER
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VICINITY MAP & GENERAL NOTES PRELIMINARY AND FINAL SITE PLAN PHASE 3 LOT 85.02, BLOCK 4400 160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP LLC 95 MATAWAN ROAD   SECOND FLOOR MATAWAN, NJ 07747 P. 732-566-0297   WWW.CPLPARTNERSHIP.COM CERTIFICATES OF AUTHORIZATION - BOARD OF ENGINEERS & LAND SURVEYORS: 24GA28159000   BOARD OF ARCHITECTS: 21AC00699000
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FILE NO. 21001
DATE: JAN. 21, 2021
SCALE: 1"=100'
DRAWN BY: JVB
CHECKED BY: GP
DRAWING NO. BM21001
SHEET NO. 2 OF 12








<b>GREGORY PLOUSSAS</b> PROFESSIONAL ENGINEER PROFESSIONAL PLANNER	<b>MICHAEL PUCCI</b> PROFESSIONAL ENGINEER PROFESSIONAL PLANNER
<b>RICHARD G. RUCHALSKI</b> PROFESSIONAL LAND SURVEYOR PROFESSIONAL PLANNER	<b>ROBERT S. LARSEN</b> REGISTERED ARCHITECT PROFESSIONAL PLANNER
<b>JOSEPH M. DELICIA</b> REGISTERED ARCHITECT	



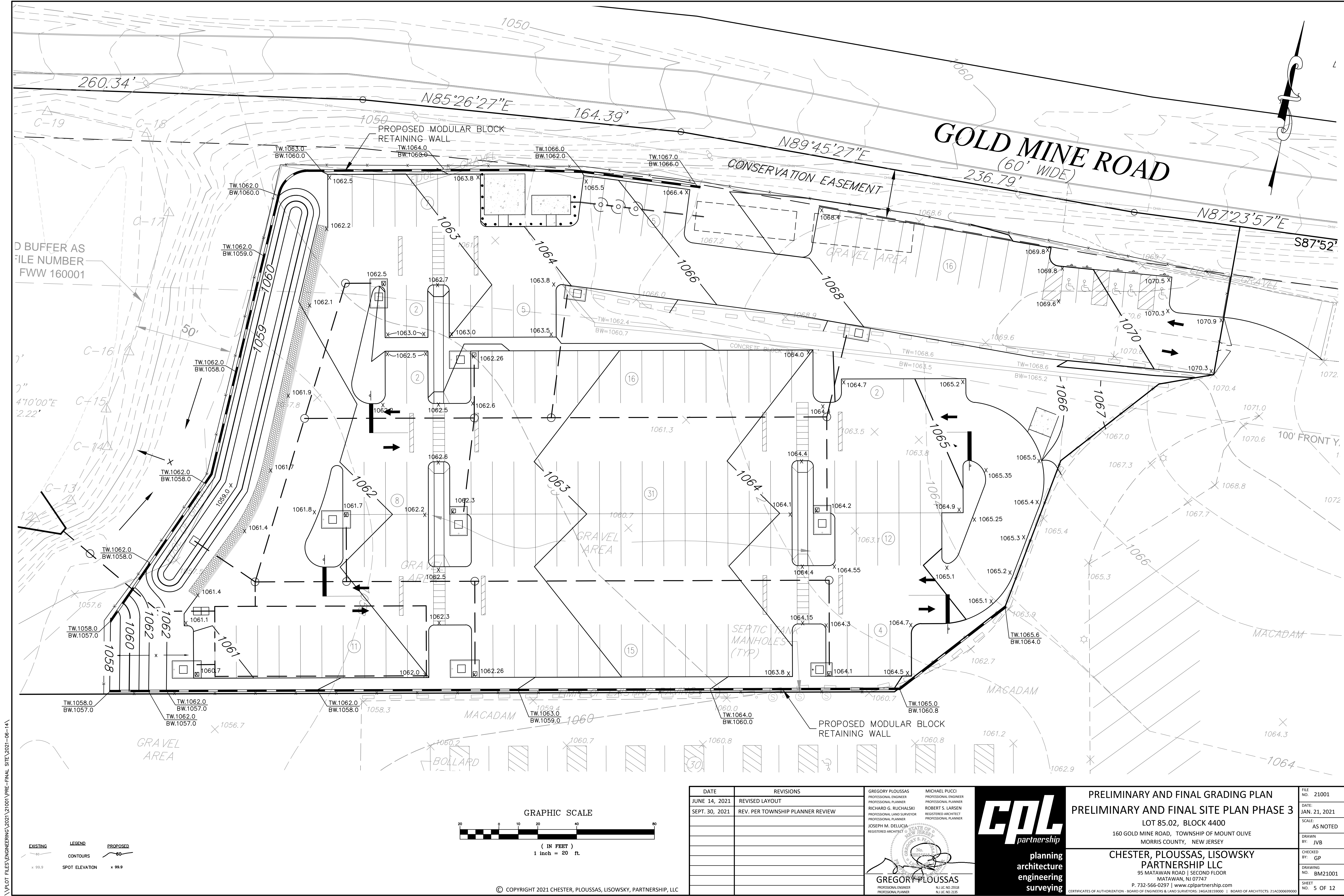


**GREGORY PLOUSSAS**  
 PROFESSIONAL ENGINEER  
 PROFESSIONAL PLANNER

NJ LIC. NO. 20558  
 NJ LIC. NO. 2335





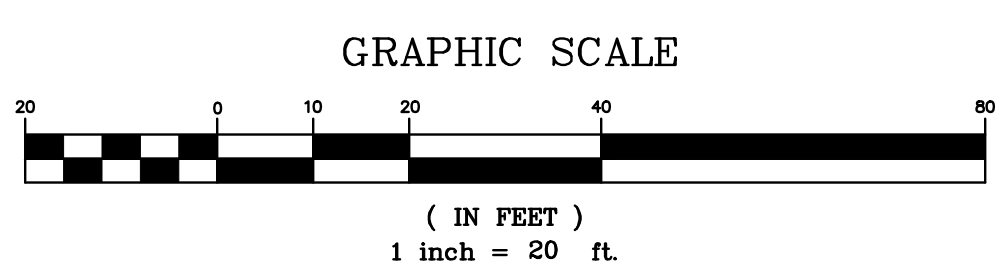


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EXISTING  
x 99.9

LEGEND  
CONTOURS  
SPOT ELEVATION

PROPOSED  
x 99.9



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PROFESSIONAL PLANNER  
RICHARD G. RUCHALSKI  
PROFESSIONAL LAND SURVEYOR  
PROFESSIONAL PLANNER  
JOSEPH M. DELUCIA  
REGISTERED ARCHITECT

MICHAEL PUCCI  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
ROBERT S. LARSEN  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
NJ LIC. NO. 25538  
NJ LIC. NO. 25538



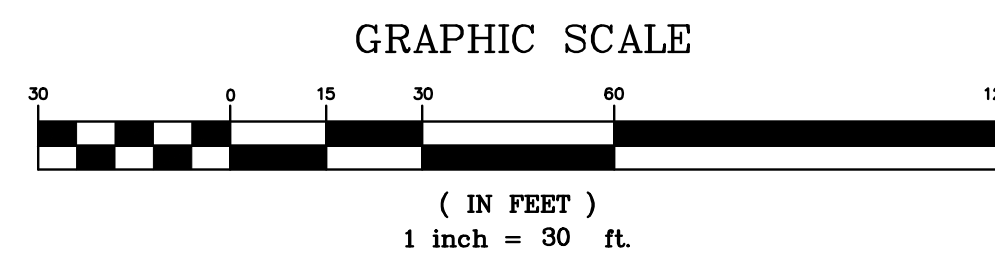
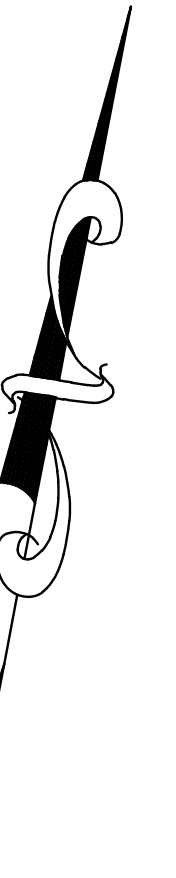
PRELIMINARY AND FINAL GRADING PLAN  
PRELIMINARY AND FINAL SITE PLAN PHASE 3  
LOT 85.02, BLOCK 4400  
160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE  
MORRIS COUNTY, NEW JERSEY

CHESTER, PLOUSSAS, LISOWSKY  
PARTNERSHIP LLC  
95 MATAWAN ROAD | SECOND FLOOR  
MATAWAN, NJ 07747  
P. 732-566-0297 | www.cplpartnership.com

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SHEET NO. 5 OF 12



BLOCK 4100  
LOT 10

[illegible]

**GREGORY PLOUSSAS**  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER

**RICHARD G. RUCHALSKI**  
PROFESSIONAL LAND SURVEYOR  
PROFESSIONAL PLANNER

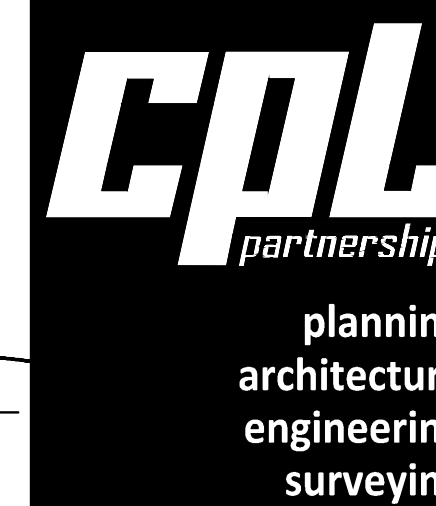
**JOSEPH M. DELUCIA**  
REGISTERED ARCHITECT

**MICHAEL PUCCI**  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER

**ROBERT S. LARSEN**  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

**GREGORY PLOUSSAS**  
PROFESSIONAL ENGINEER  
REGISTERED PLANNER

NJ LIC NO. 25538



<p><b>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</b></p> <p><b>PRELIMINARY AND FINAL SITE PLAN PHASE 3</b></p> <p><b>LOT 85.02, BLOCK 4400</b></p> <p>160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY</p>	P R O J E C T
	D I S C R I P T
	S E C T I O N
	B O O K
<p><b>CHESTER, PLOUSSAS, LISOWSKY</b></p> <p><b>PARTNERSHIP LLC</b></p> <p>95 MATAWAN ROAD   SECOND FLOOR MATAWAN, NJ 07747</p> <p>P. 732-566-0297   <a href="http://www.cplpartnership.com">www.cplpartnership.com</a></p>	C O N T R A C T
<p>CERTIFICATES OF AUTHORIZATION - BOARD OF ENGINEERS &amp; LAND SURVEYORS: 24A248159000   BOARD OF ARCHITECTS: 21A4C0069000</p>	D E S I G N

DATE: O. 21001
DATE: AN. 21, 2021
SCALE: 1" = 30'
DRAWN Y: JVB
CHECKED Y: GP
DRAWING O. BM21001
SHEET O. 6 OF 12



MORRIS COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IF THE SEASON PROHIBITS TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVERSPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEANOUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ONSITE OR OFFSITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION**
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1,000 SQ. FT.
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1,000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1,000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
  - PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS**
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1,000 SQ. FT.
  - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1,000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1,000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS**
  - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1,000 SQ. FT.
  - APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1,000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS. PER 1,000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS. PER 1,000 SQ. FT.
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1,000 SQ. FT.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

\*NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- Probing Wire Test (see detail)
- Hand-held Penetrometer Test (see detail)
- Tube Bulk Density Test (licensed professional engineer required)
- Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

**Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth)** where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

STANDARD FOR DUST CONTROL

- DUST TO BE CONTROLLED BY EITHER (A) SPRINKLING WITH WATER OR (B) TEMPORARILY STABILIZED WITH MULCH AT A RATE OF 90 LBS./1000 SF IN ACCORDANCE WITH SECTION 16-1 OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- DISTURBED SOIL ON THE BANKS OF WATERWAYS SHALL BE PROTECTED WITHIN 48 HOURS OF DISTURBANCE BY RIP-RAP, SANDBAGS, SOD OR APPROVED MULCH NETTING, AS CONDITIONS WARRANT, IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
  - ASPHALT OR OTHER LIQUID BINDERS SHALL NOT BE SPRAYED FOR MULCH ANCHORING IN SUCH AREAS.
  - CALCIUM CHLORIDE OR SPRAY-ON ADHESIVES SHALL NOT BE APPLIED FOR DUST CONTROL IN SUCH AREAS.

CONSTRUCTION SCHEDULE AND PROCEDURE  
FOR  
IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL

- | STAGE  | APPROXIMATE DURATION |
|--|----------------------|
| 1. INSTALL SILT FENCE AROUND CONSTRUCTION.....   | 2 WEEKS              |
| AREA AS REQUIRED. PROVIDE TEMPORARY CONSTRUCTION ENTRANCE, ESTABLISH ROUGH GRADES AS NECESSARY FOR CONSTRUCTION OF BUILDING AND PARKING AREAS ON SITE. PROVIDE TEMPORARY STABILIZATION OF EXPOSED SOIL NOT SUBJECT TO CONSTRUCTION TRAFFIC.                            |                      |
| 2. AREAS WITHIN LIMITS OF DISTURBANCE FOR.....   | 4 WEEKS              |
| PARKING LOT AND BUILDING CONSTRUCTION SHALL BE CLEARED AND GRUBBED.  |                      |
| 3. ROUGH GRADING FOR BUILDING TO.....  | 2 WEEKS              |
| TO COMMENCE UPON COMPLETION OF STAGE 2.  |                      |
| 4. GRADING FOR UNDERGROUND STORMWATER BASIN.....   | 2 WEEKS              |
| AND CONSTRUCTION OF OUTLET STRUCTURES AND OUTFALLS.  |                      |
| 5. MODIFICATION AND INSTALLATION OF ONSITE .....   | 3 WEEKS              |
| STORM DRAINAGE SYSTEM AND ALL OTHER UNDERGROUND UTILITIES SHALL TAKE PLACE NEXT.   |                      |
| 6. INLET FILTERS SHALL BE PLACED AT ALL INLETS.....  | 1 WEEK               |
| AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF EXPOSED AREAS ARE COMPLETED. THIS STAGE SHALL BEGIN IMMEDIATELY UPON COMPLETION OF STAGE "5".   |                      |
| 7. GRADING OF OFFSITE PARKING AREA SHALL TAKE PLACE.....   | 2 WEEKS              |
| NEXT IF FOR ANY REASON THE WORK IS STOPPED OR INTERRUPTED AT THIS POINT AND DOES NOT BEGIN FOR A PERIOD OF SEVEN (7) DAYS, THE DISTURBED AREAS WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH THESE STANDARDS.  |                      |
| 8. PLACEMENT OF NEW CURBING, SIDEWALKS AND.....  | 4 WEEKS              |
| BASE COURSE SHALL TAKE PLACE NEXT. THIS STAGE SHALL NOT BEGIN UNTIL THE COMPLETION OF STAGES "5", "6", AND "7".  |                      |
| 9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY.....  | 2 WEEKS              |
| FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE NEW DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING. ALL PAVED ROADS MUST BE KEPT CLEAN |                      |
| 10. CONSTRUCTION OF BUILDING.....  | 30 WEEKS             |
| 11. DISTURBED AREAS SHALL BE STABILIZED WITH.....  | 1 WEEK               |
| TEMPORARY DIVERSION BERMS, HAY BALE, GROUND COVER OR AS OTHERWISE SHOWN ON APPROVED SOIL EROSION PLAN. THIS STAGE SHALL BE STARTED WITHIN THREE (3) DAYS OF THE COMPLETION OF STAGE "7".   |                      |
| 12. TEMPORARY OR PERMANENT SEEDING AND MULCHING.....   | 1 WEEK               |
| OF DISTURBED AND SLOPE AREAS. THIS STAGE SHALL BEGIN WITHIN SEVEN (7) DAYS AFTER COMPLETION OF STAGE "11".   |                      |
| 13. PERMANENT STABILIZATION SHALL BE PROVIDED.....   | 1 WEEK               |
| ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL REGULATIONS.   |                      |
| 14. INSTALL ALL PERMANENT LANDSCAPING.....   | 3 WEEKS              |
| 15. ALL SOIL EROSION AND SEDIMENT CONTROL.....   | 1 WEEK               |
| MEASURES SHALL BE REMOVED AFTER PERMANENT STABILIZATION IS ACHIEVED.   |                      |

ESTIMATED DURATION OF PROJECT=63 WEEKS

Simplified Testing Methods

**Probing Wire Test- 15.5 ga steel wire (survey flag)**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.

Hold Wire here:

Wire must penetrate a minimum of 6" without deformation.

18-21"

6.0" min. visible mark on wire at depth

Wire may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

**Handheld Soil Penetrometer Test**

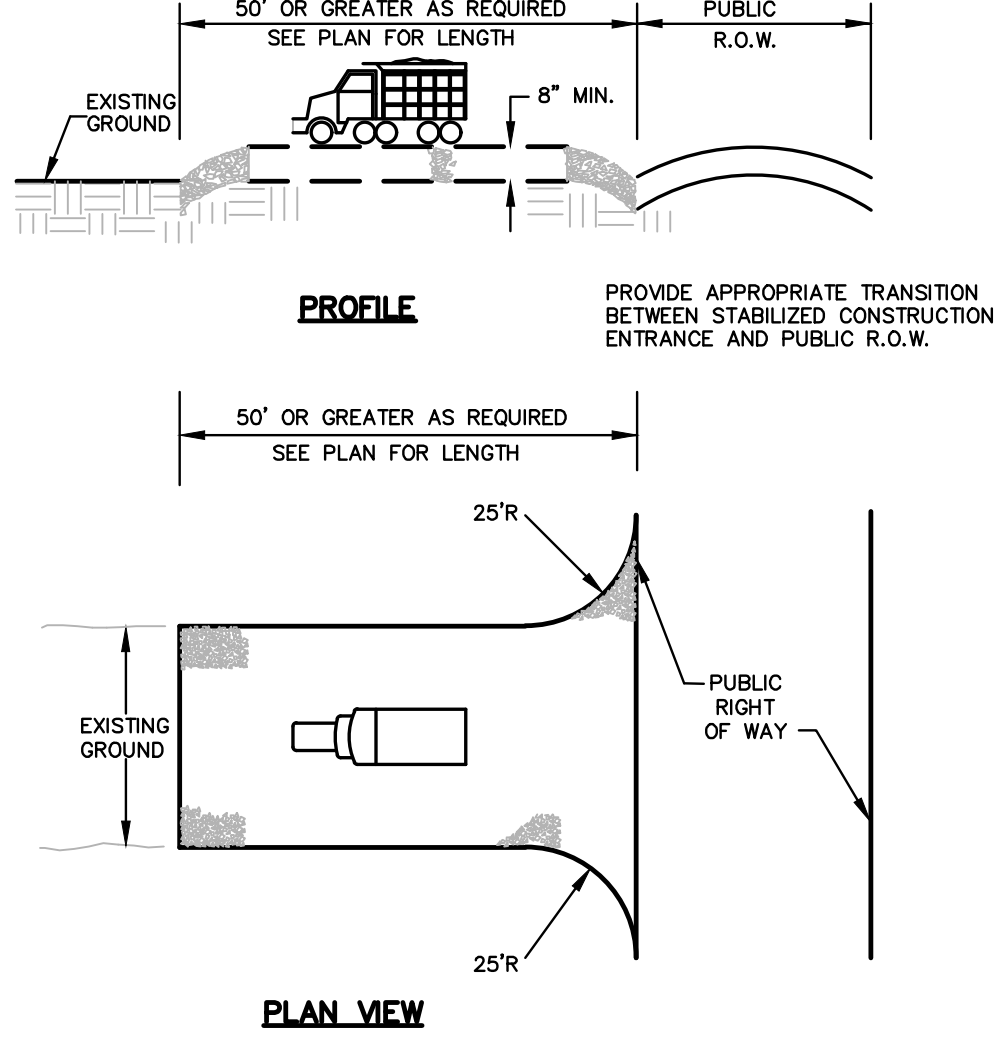
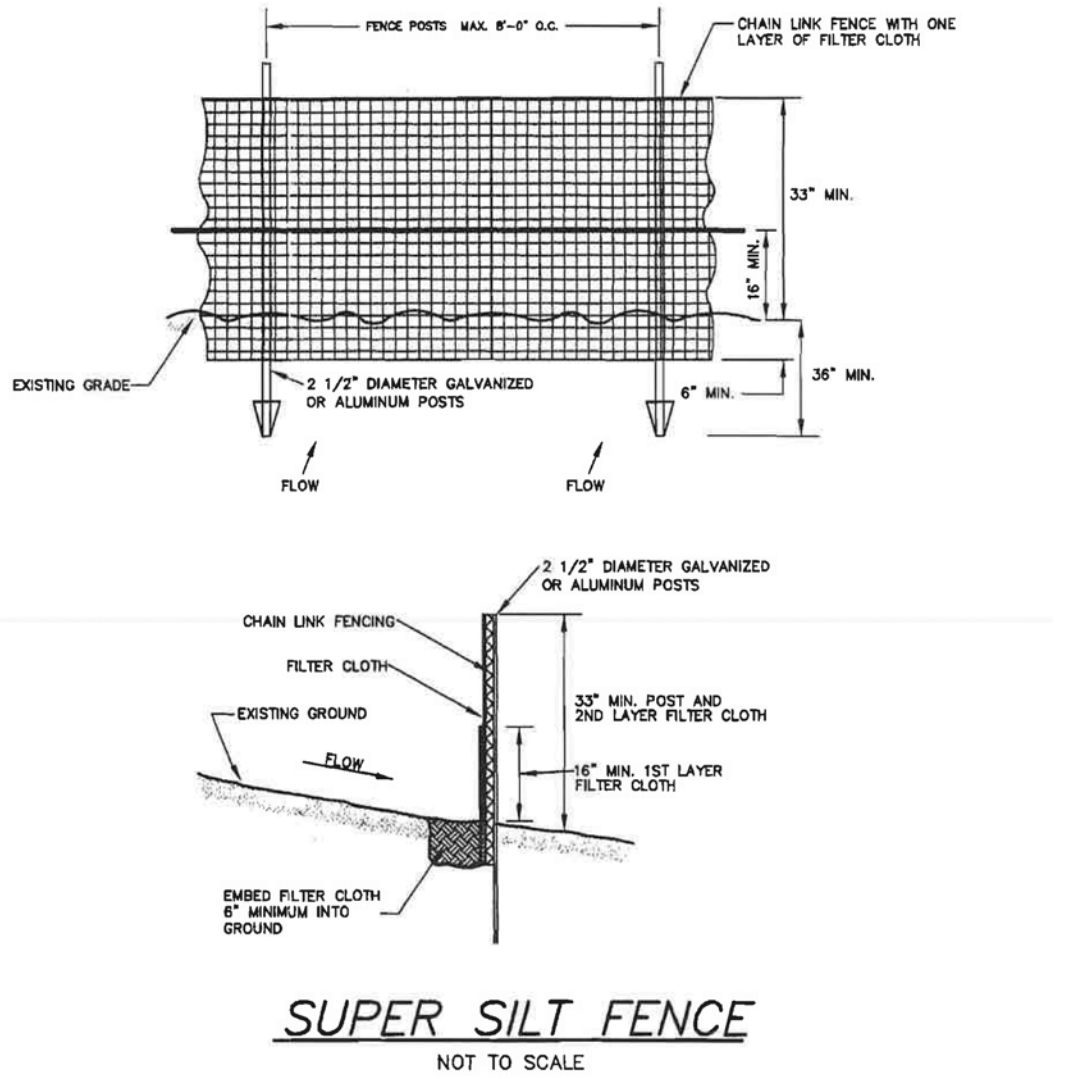
Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gage.

Gage reading 300 psi or less at 6"

6.0" min. visible mark on shaft at depth

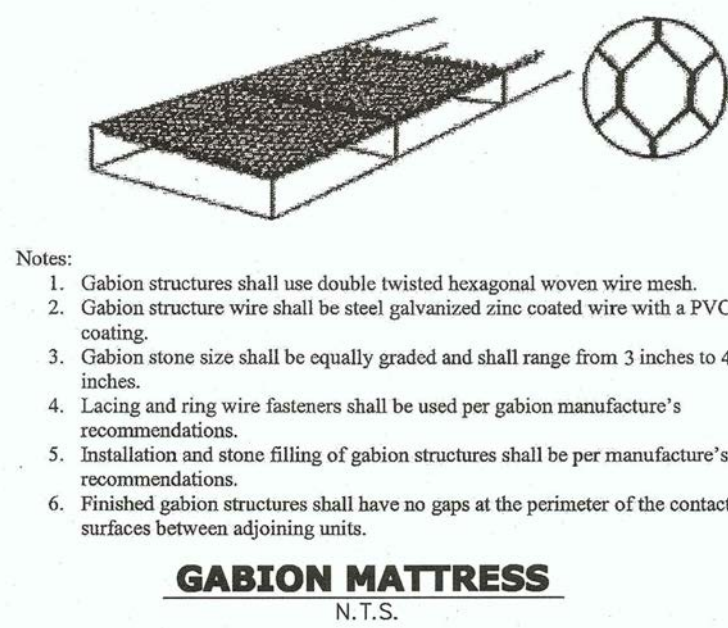
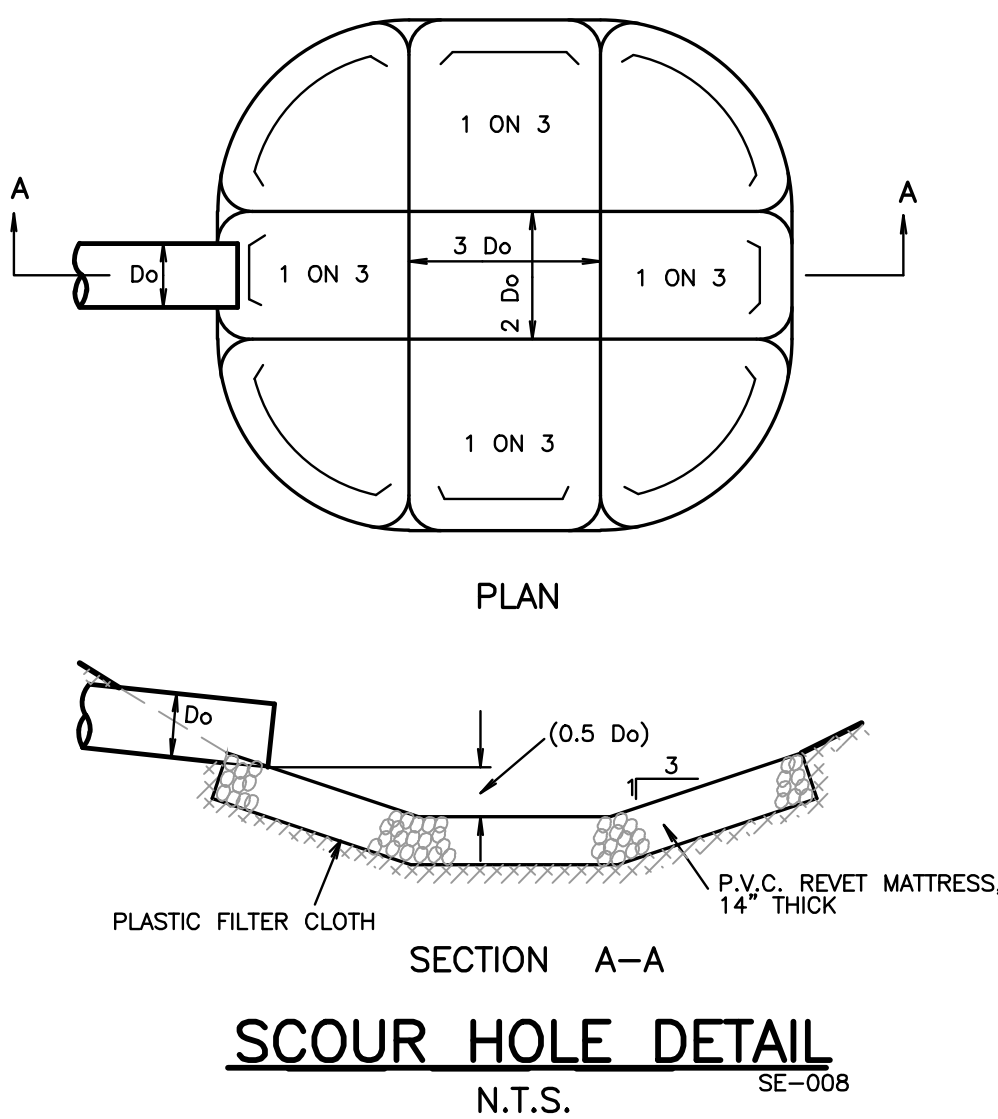
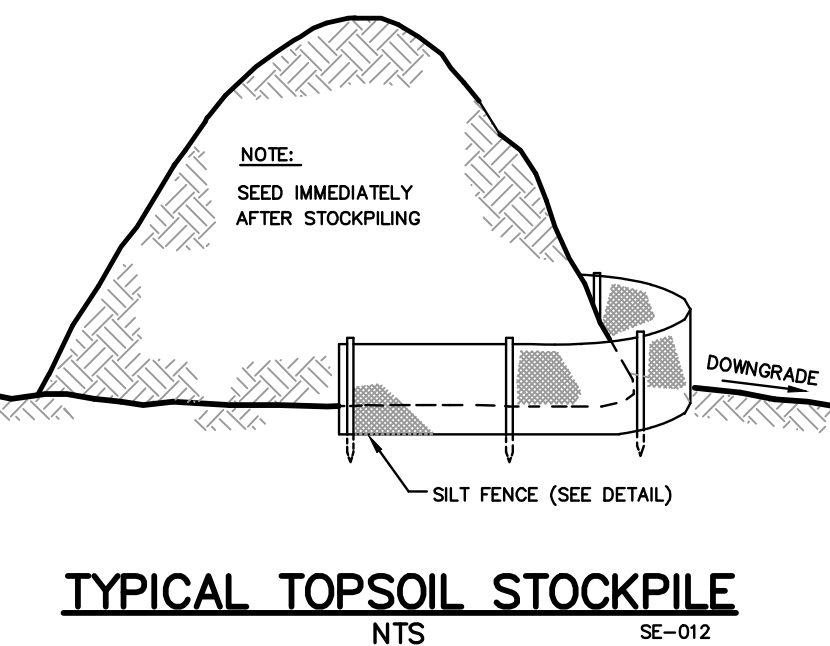
\*Use correct size tip for soil type

Penetrometer may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

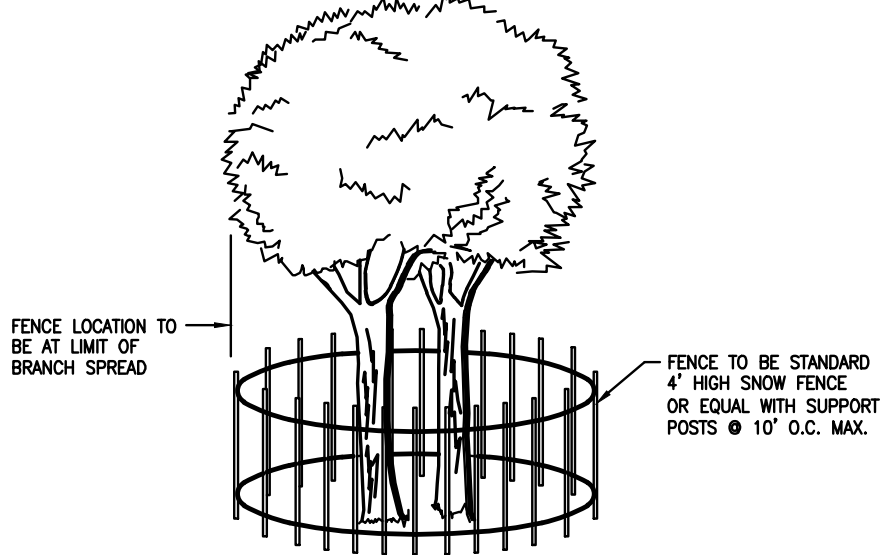


STABILIZED CONSTRUCTION ENTRANCE

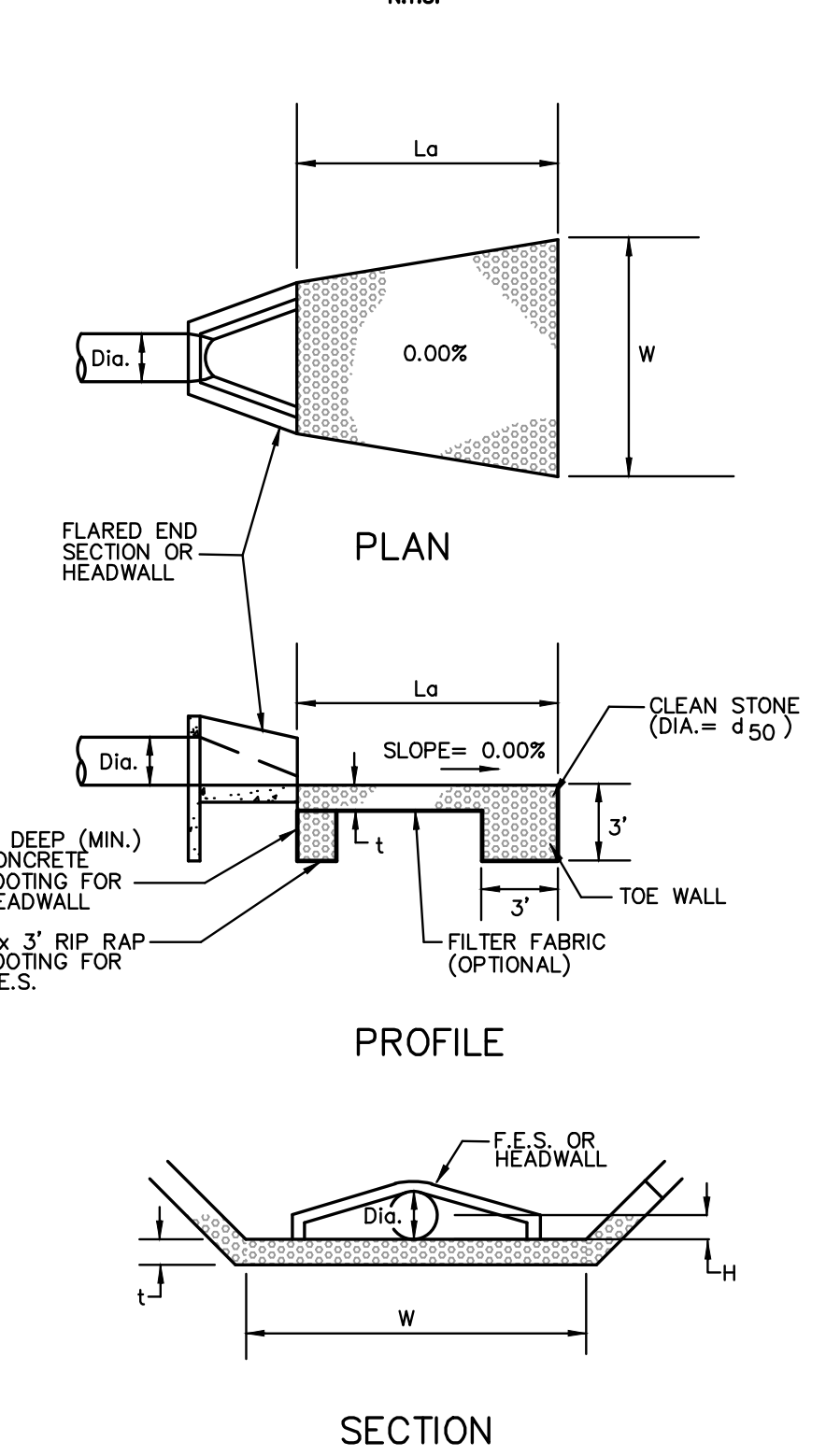
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 to 2%	50 ft	100 ft
2 to 5%	100 ft	200 ft
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	



- Notes:
- Gabion structures shall use double twisted hexagonal woven wire mesh.
  - Gabion structure wire shall be steel galvanized zinc coated wire with a PVC coating.
  - Gabion stone size shall be equally graded and shall range from 3 inches to 4 inches.
  - Lacing and ring wire fasteners shall be used per gabion manufacture's recommendations.
  - Installation and stone filling of gabion structures shall be per manufacture's recommendations.
  - Finished gabion structures shall have no gaps at the perimeter of the contact surfaces between adjoining units.



TREE PROTECTION DURING CONSTRUCTION



- NOTES:
- TOE WALL TO BE INSTALLED AT END OF EACH RIP RAP INSTALLATION.
  - RIP RAP MEDIAN STONE DIAMETER d50' IS THE STONE SIZE OF WHICH 50% OF THE RIP RAP MIXTURE IS LARGER THEN BY WEIGHT.
  - t=2d50 (WITH FILTER FABRIC)  
t=3d50 (WITHOUT FILTER FABRIC)  
tmin.=6"

CONDUIT OUTLET PROTECTION

OUTLET	LENGTH	WIDTH	d50	Th w/FF
HW #39	65'	20'	6"	12"
HW #90	18'	15'	14"	28"

DATE	REVISIONS
JUNE 14, 2021	REVISED LAYOUT
SEPT. 30, 2021	REV. PER TOWNSHIP PLANNER REVIEW

GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
RICHARD G. RUCHALSKI  
PROFESSIONAL LAND SURVEYOR  
JOSEPH M. DELUCIA  
REGISTERED ARCHITECT

MICHAEL PUCCI  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
ROBERT S. LARSEN  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

STATE OF NEW JERSEY  
No. 12558  
N.J. LIC. NO. 25538  
N.J. LIC. NO. 25535

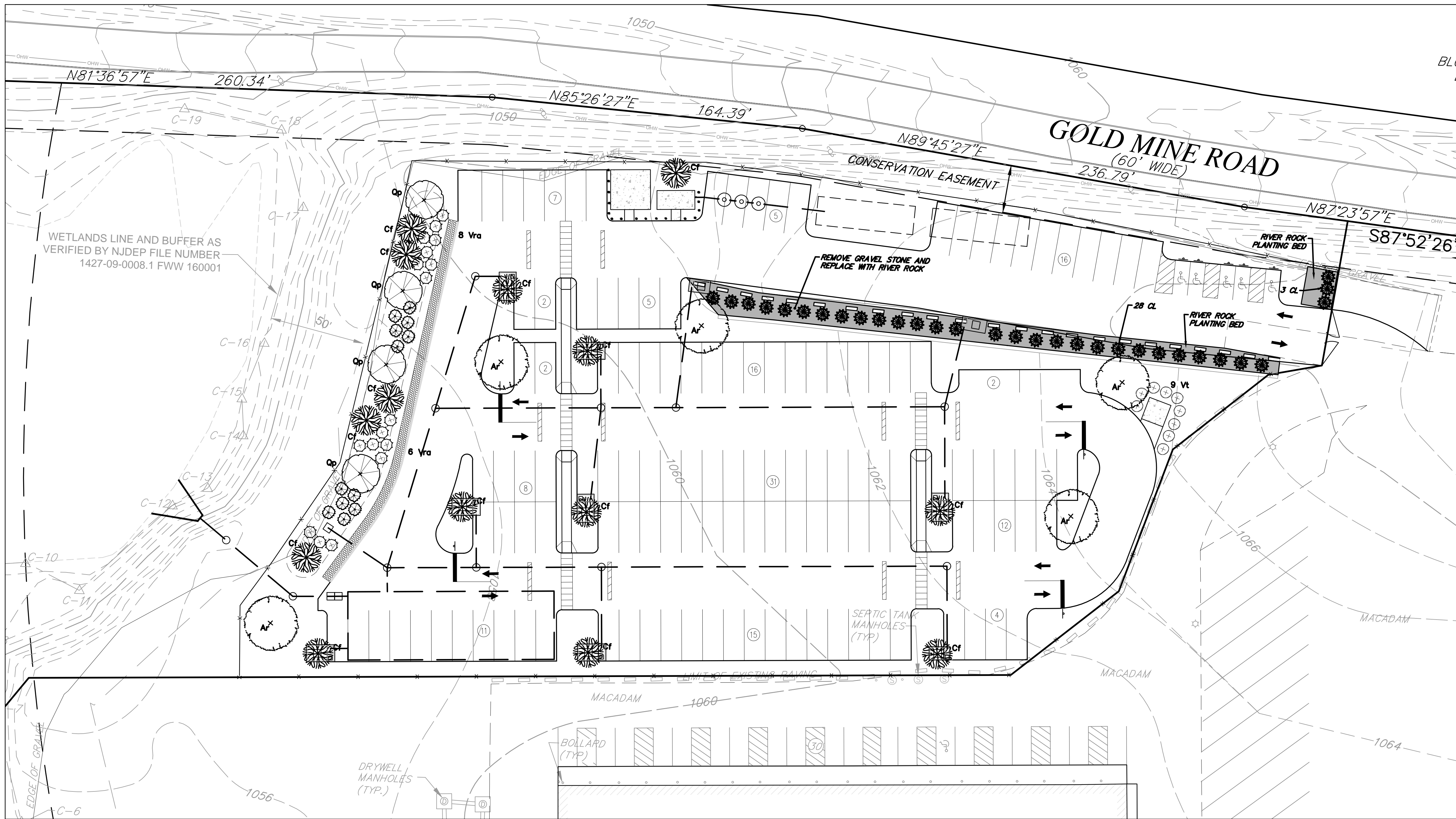
**CPL** partnership  
planning  
architecture  
engineering  
surveying

SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS  
PRELIMINARY AND FINAL SITE PLAN PHASE 3  
LOT 85.02, BLOCK 4400  
160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE  
MORRIS COUNTY, NEW JERSEY  
CHESTER, PLOUSSAS, LISOWSKY  
PARTNERSHIP LLC  
95 MATAWAN ROAD | SECOND FLOOR  
MATAWAN, NJ 07747  
P. 732-566-0297 | www.cplpartnership.com  
CERTIFICATES OF AUTHORIZATION - BOARD OF ENGINEERS & LAND SURVEYORS: 24GA28159000 | BOARD OF ARCHITECTS: 21AC00699000

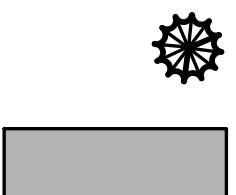
FILE NO. 21001  
DATE: JAN. 21, 2021  
SCALE: AS NOTED  
DRAWN BY: JVB  
CHECKED BY: GP  
DRAWING NO. BM21001  
SHEET NO. 7 OF 12



\\PLOT FILES\ENGINEERING\2021\21001\PRE-FINAL SITE\2021-06-14-



#### LEGEND



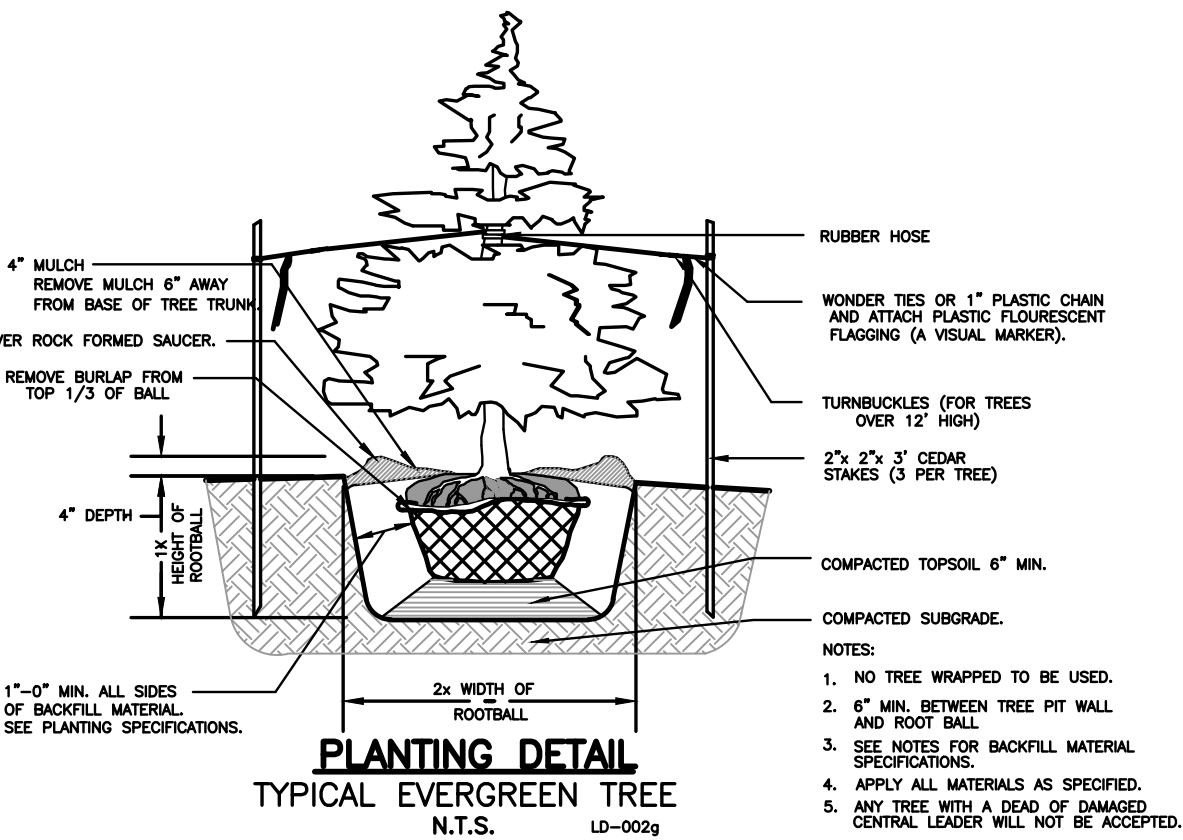
PROPOSED EVERGREEN TREE

RIVER ROCK PLANTING BED

#### PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
<b>WETLAND TREES</b>						
Ar	5	Acer rubrum	RED MAPLE	2.5"-3"/8'-10'	15' MIN.	B & B, HEAVY SPECIMEN
Qp	4	Quercus polustris	PIN OAK	2.5"-3"/8'-10'	20' MIN.	B & B, HEAVY SPECIMEN
<b>DECIDUOUS SHRUBS</b>						
Vt	9	Vaccinium acerifolium	MAPLELEAF VIBURNUM	3'- 4'	5'- 6' o.c.	B & B, HEAVY SPECIMEN
<b>EVERGREEN TREE</b>						
CL	31	x Cupressocyparis leylandii	Leyland Cypress	6'-7'	5'- 6' o.c.	B & B, HEAVY SPECIMEN
<b>EVERGREEN SHRUB</b>						
Vra	14	Viburnum prunifolium	BLACKHAW	3'- 4'	8'- 10' o.c.	B & B, HEAVY SPECIMEN
<b>ORNAMENTAL TREES</b>						
Cf	14	Cornus florida	WHITE FLOWERING DOGWOOD	2"-2.5" CAL.	10'- 12' o.c.	B & B, HEAVY SPECIMEN

Ms	SEED MIXES	WETLAND SEED MIX - (PURE LIVE SEED) SPECIES	BATE
		Agrostis alba	RED TOP
		Panicum dichotomiflorum	FALL PANICUM
		Eupatorium perfoliatum	BONEST
		Polygonum pennsylvanicum	SMARTWEED
			0.5 LB./ACRE
			1 LB./ACRE
NOTE:			
ALL REPLANTED VEGETATION WITHIN THE WETLAND BUFFER AND RIPARIAN BUFFER SHALL BE MONITORED AND MAINTAINED FOR THREE (3) GROWING SEASONS TO ENSURE PROPER ESTABLISHMENT AND SURVIVAL.			
NOTE:			
LIGHTWEIGHT, LOW IMPACT EARTH MOVING EQUIPMENT MUST BE UTILIZED FOR THE FINAL GRADING OF ALL LAWN AREAS. EQUIPMENT MUST EXERT A MAXIMUM PRESSURE OF 8 LB. PER SQUARE INCH ON THE GROUND SURFACE DURING GRADING OPERATIONS. IF DURING CONSTRUCTION INSPECTION IT IS FOUND THAT EQUIPMENT THAT EXCEEDS THE MAXIMUM EIGHT POUNDS PER SQUARE INCH REQUIREMENT HAS BEEN USED FOR BACKFILLING OR FINAL GRADING OF DESIGNATED LAWN AREAS, THE APPLICANT AGREES TO MODIFY THE AFFECTED LAWN AREAS TO A MINIMUM OF 18 INCHES BELOW FINISHED GRADE. PROCEDURES TO RESTORATION OF THE PERMEABILITY OF THE UPPER 18 INCHES OF COMPACTED SOIL SHALL BE SITE-SPECIFIC, AND SUBJECT TO THE APPROVAL OF THE REVIEWING AUTHORITY.			



#### PLANTING SPECIFICATIONS

- THE CONTRACTOR SHALL FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL. THE TERM "PLANT MATERIAL" SHALL MEAN TREES, SHRUBS, GROUND COVER AND OTHER GROWING PLANTS AS SHOWN ON THE PLANT SCHEDULE.
- THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP'S LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL AND ALL PLANTING LOCATIONS AT THE SITE PRIOR TO INSTALLATIONS, INCLUDING RELOCATED EXISTING PLANTS.
- PLANT MATERIAL STANDARDS - ALL PLANTS SHALL BE DENSELY BRANCHED IN THE HABIT TYPICAL FOR THE SPECIES, WITH THE FOLLOWING CHARACTERISTICS (EXCEPT WHERE NOTED OTHERWISE):
  - ALL DECIDUOUS TREES SHALL HAVE A SINGLE LEADER, BRANCHED 7" FROM THE GROUND, WITH NO WEAK BRANCH STRUCTURE.
  - ALL ORNAMENTAL TREES SHALL BE SYMMETRICALLY BRANCHED TO WITHIN 3'-6" FROM THE GROUND.
  - ALL EVERGREEN TREES ARE TO HAVE A SINGLE LEADER, SYMMETRICALLY BRANCHING TO THE GROUND.
  - ALL SHRUBS ARE TO BE SYMMETRICALLY BRANCHED TO THE GROUND.
  - ALL EXISTING TREES AND SHRUBS TO REMAIN OR BE TRANSPLANTED SHALL BE PRUNED TO REMOVE DEAD OR DYING BRANCHES. SHRUBS AND TREES SHALL BE PRUNED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES FOR THE SPECIES OF PLANT BEING PRUNED.
- INSPECTION OF PLANTING BEDS - THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOILING OR BEGIN TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE DETAILS AND COMMENTS NOTED ON THE DRAWINGS.
- ALL SHRUBS AND GROUND COVER SHALL BE PLACED IN CONTINUOUS BEDS TO BE PREPARED AS FOLLOWS:
  - SOIL THROUGHOUT THE BED IS TO BE AMENDED AS FOR BACKFILL MIX (SEE #8 BELOW) AND ROTOTILLED TO A DEPTH OF 8".
  - "TREFLAN" SHALL BE APPLIED TO ALL PLANTING BEDS ACCORDING TO MANUFACTURER'S RECOMMENDATION (PRIOR TO PLACEMENT OF MULCH). A SECOND APPLICATION OF PRE-EMERGENCE HERBICIDE SHALL BE INCLUDED AS A PART OF THIS WORK.
  - MULCH SHALL BE LAID TO A CONTINUOUS DEPTH OF 4" EXCEPT AT PLANT CROWNS. MULCH SHALL BE REPROCESSSED SHREDDED OAK BARK.
  - BED LINES SHALL BE SMOOTHLY AND UNIFORMLY DEFINED WITH A GARDEN SPADE.
- IF TOPSOIL FOR PLANTING IS NOT AVAILABLE ON-SITE, BACKFILL MATERIAL SHALL MEET THE REQUIREMENTS DESCRIBED IN SECTION 8.
- BACKFILL MATERIAL FOR BACKFILLING AROUND TREE/SHRUB BALLS SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
  - ORGANIC MATTER CONTENT, NEW JERSEY CERTIFIED ORGANIC COMPOST - 15%
  - PH RANGE - 5.0 TO 6.5
  - CLASSIFICATION - SANDY LOAM OR LOAM
  - AGGREGATE - FREE OF STONES 1/2" OR GREATER
- BACKFILL FOR DECIDUOUS TREES AND SHRUBS SHALL BE COMPRISED OF 1 PART APPROVED TOPSOIL TO 2 PARTS ROTTED LEAF COMPOST / ORGANIC COMPOST.
- BACKFILL FOR EVERGREEN TREES AND SHRUBS SHALL BE COMPRISED OF 1 PART APPROVED TOPSOIL TO 3 PARTS ROTTED LEAF COMPOST / ORGANIC COMPOST.
- WATER HOLDING GEL CAPSULES, EQUAL TO "GELSAPES" BY VITERRA, INC., OR PLANT HEALTH CARE, INC., SHALL BE ADDED TO BACKFILL MIXTURE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- COMMERCIAL FERTILIZER (20-10-5) SHALL BE ADDED TO THE BACKFILL MIX IN THE AMOUNT OF 15 LBS. PER CUBIC YARD OF BACKFILL.
  - FOR DECIDUOUS TREES AND SHRUBS: TOPDRESS WITH A HIGH PHOSPHOROUS GRANULAR FERTILIZER, SUCH AS 5-10-5, COMPLETE GARDEN FERTILIZER, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - FOR EVERGREEN TREES AND SHRUBS: TOPDRESS WITH A HIGH NITROGEN GRANULAR FERTILIZER, SUCH AS HOLLITONE OR APPROVED EQUAL, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL PROPOSED AND RELOCATED PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) CALENDAR YEARS FROM DATE OF COMPLETION OF INSTALLATION AND ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, WEEDING, ETC., SO AS TO KEEP THE COMPLETED WORK AND/OR INCOMPLETE WORK IN A HEALTHY, CLEAN AND NEAT CONDITION AT ALL TIMES.
- REVIEW OF THE WORK TO DETERMINE ITS COMPLETION FOR BEGINNING THE TWO-YEAR GUARANTEE PERIOD WILL BE MADE BY THE OWNER AND TOWNSHIP'S LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH REVIEW SUBMITTED BY THE CONTRACTOR AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED DATE.
- AFTER REVIEW, THE CONTRACTOR WILL BE NOTIFIED OF THE DATE THAT THE WORK HAS BEEN APPROVED FOR BEGINNING THE GUARANTEE PERIOD OR PRESENTED WITH A LIST OF DEFICIENCIES TO BE CORRECTED PRIOR TO THE BEGINNING OF THE GUARANTEE PERIOD.
- WITHIN THE GUARANTEE PERIOD, THE CONTRACTOR WILL NOTIFY THE OWNER OF ANY MAINTENANCE PRACTICES BEING FOLLOWED OR OMITTED WHICH WOULD BE DETRIMENTAL TO THE HEALTHY, VIGOROUS GROWING CONDITION OF PLANTS.
- THE CONTRACTOR SHALL GUARANTEE THAT PLANTS SHALL BE IN A VIGOROUS AND THRIVING CONDITION AT THE END OF THE GUARANTEE PERIOD. SHOULD ANY PLANTS APPEAR TO BE IN POOR HEALTH OR LACK NORMAL GROWTH HABIT, THEY SHALL BE REMOVED AT ONCE AND REPLACED IN A MANNER AND TIME AS HEREINBEFORE SPECIFIED.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND TOWNSHIP'S LANDSCAPE ARCHITECT UPON COMPLETION OF GUARANTEE AND REQUEST FULL INSPECTION PRIOR TO FINAL ACCEPTANCE OF WORK.
- THE DEVELOPER SHALL PROVIDE AND LOCATE PLANT MATERIAL AS SPECIFIED AND PERMITTED BY THE APPROPRIATE PUBLIC UTILITY SERVICE TO SCREEN GROUND-MOUNTED MECHANICAL UNITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL TO THE TOWNSHIP'S LANDSCAPE ARCHITECT.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WATER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTING SEASONS ARE DEFINED AS FEBRUARY 15 THROUGH MAY 1, AND SEPTEMBER 1 THROUGH OCTOBER 15. PLANTING IS ACCEPTABLE DURING OTHER MONTHS IF WEATHER PERMITS. THE GROUND IS NOT FROZEN AND SUPPLEMENTAL WATERING IS PROVIDED IN THE SUMMER.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES OR VARIETY WITHOUT WRITTEN PERMISSION OF THE TOWNSHIP'S LANDSCAPE ARCHITECT OR OTHER OWNER'S AGENT RESPONSIBLE FOR SUCH DUTIES. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF INSTALLATION. REGULAR THOROUGH WATERING SHALL BE PROVIDED TO INSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- THE LOCATIONS OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE TOWNSHIP'S LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATIONS UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN.
- ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE PLANS. SOD SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE OR AN APPROVED EQUAL. SEED MIXTURE SHALL CONSIST OF THE FOLLOWING:
  - 20% APPROVED VARIETY OF KENTUCKY BLUEGRASS
  - 20% FINE BLADED, TURF TYPE, TALL FESCUE
  - 30% APPROVED VARIETY OF PERENNIAL RYEGRASS
  - 30% CREEPING RED FESCUE
- ALL DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ROOTS EXPOSED AND/OR DAMAGED DURING GRADING AND CONSTRUCTION OPERATIONS SHALL BE CUT OFF GEARLY INSIDE THE EXPOSED OR DAMAGED AREA. THE CUT SURFACES PAINTED WITH AN APPROVED PAINT AND THE TOPSOIL PLACED OVER THE ROOTS IMMEDIATELY. ANY DAMAGE DONE TO EXISTING TREE CROWN OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH "THE AMERICAN STANDARD FOR NURSERY STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- ALL TREE STAKES SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
- "PERENNIAL AND GRASSES" PLANTINGS FOR THE BASIN, SWALE AND EMBANKMENT AREAS SHALL BE PLANTED BETWEEN APRIL AND JUNE. WEED CONTROL MUST BE PLANNED AND BLUESIX AT THE BEGINNING OF THE PROJECT FOR THESE PLANTED AREAS. THESE AREAS MUST BE GRUBBED, CLEARED AND APPLIED WITH HERBICIDE TWO WEEKS PRIOR TO PLANTING AND/OR SEEDING. INSTALL A TEMPORARY IRRIGATION SYSTEM / SPRINKLERS FOR A PERIOD OF ONE YEAR AFTER PLANTING TO MAINTAIN A EVENLY, CONSISTENT MOIST SOIL FOR A PERIOD OF ONE YEAR AFTER INSTALLATION.

#### PRELIMINARY & FINAL LANDSCAPING PLAN & DETAILS PRELIMINARY AND FINAL SITE PLAN PHASE 3

LOT 85.02, BLOCK 4400  
160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE  
MORRIS COUNTY, NEW JERSEY

CHESTER, PLOUSSAS, LISOWSKY  
PARTNERSHIP LLC

95 MATAWAN ROAD | SECOND FLOOR

MATAWAN, NJ 07747

P. 732-566-0297 | WWW.CPLPARTNERSHIP.COM

CERTIFICATES OF AUTHORIZATION - BOARD OF ENGINEERS & LAND SURVEYORS: 24GA28159000 | BOARD OF ARCHITECTS: 21AC000699000

FILE NO. 21001

DATE: JAN. 21, 2021

SCALE: 1"=30'

DRAWN BY: JVB

CHECKED BY: GP

DRAWING NO. BM21001

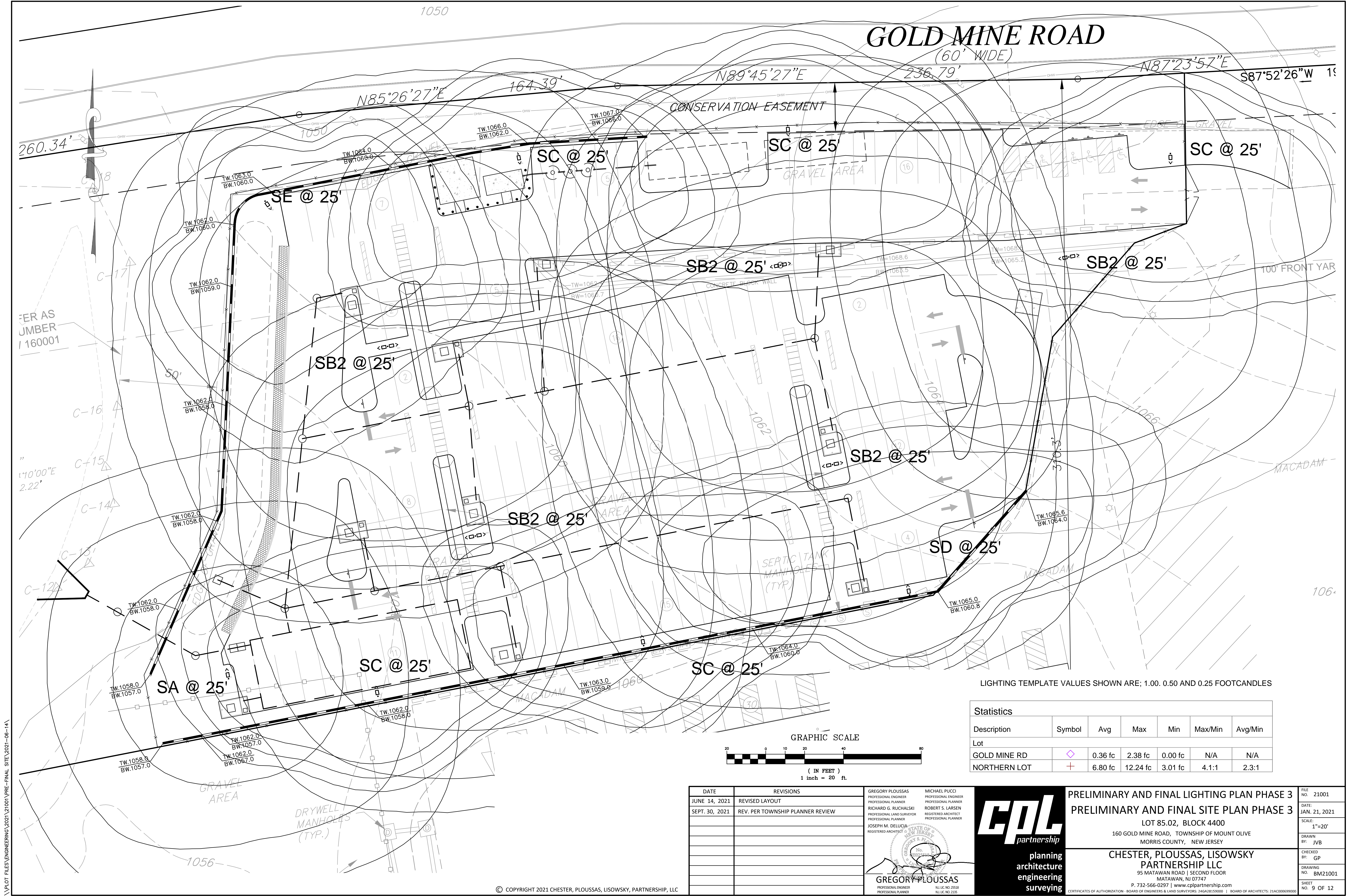
SHEET NO. 8 OF 12

GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
RICHARD G. RUCHALSKI  
PROFESSIONAL LAND SURVEYOR  
PROFESSIONAL PLANNER  
JOSEPH M. DELUCIA  
REGISTERED ARCHITECT

MICHAEL PUCCI  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
ROBERT S. LARSEN  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

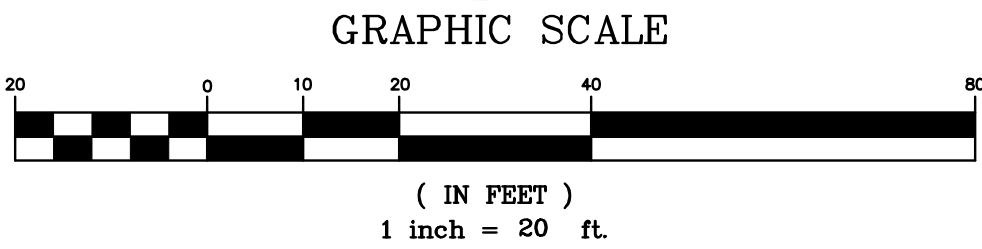
**CPL**  
partnership  
planning  
architecture  
engineering  
surveying





LIGHTING TEMPLATE VALUES SHOWN ARE: 1.00, 0.50 AND 0.25 FOOTCANDLES

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot						
GOLD MINE RD	◇	0.36 fc	2.38 fc	0.00 fc	N/A	N/A
NORTHERN LOT	+	6.80 fc	12.24 fc	3.01 fc	4.1:1	2.3:1



DATE	REVISIONS
JUNE 14, 2021	REVISED LAYOUT
SEPT. 30, 2021	REV. PER TOWNSHIP PLANNER REVIEW

GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
RICHARD G. RUCHALSKI  
PROFESSIONAL LAND SURVEYOR  
JOSEPH M. DELICIA  
REGISTERED ARCHITECT

MICHAEL PUCCI  
PROFESSIONAL ENGINEER  
ROBERT S. LARSEN  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 25338  
N.J. LIC. NO. 3235

planning  
architecture  
engineering  
surveying

PRELIMINARY AND FINAL LIGHTING PLAN PHASE 3  
PRELIMINARY AND FINAL SITE PLAN PHASE 3  
LOT 85.02, BLOCK 4400  
160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE  
MORRIS COUNTY, NEW JERSEY  
CHESTER, PLOUSSAS, LISOWSKY  
PARTNERSHIP LLC  
95 MATAWAN ROAD | SECOND FLOOR  
MATAWAN, NJ 07747  
P. 732-566-0297 | www.cplpartnership.com  
CERTIFICATES OF AUTHORIZATION: BOARD OF ENGINEERS & LAND SURVEYORS: 24GA28159000 | BOARD OF ARCHITECTS: 21AC00699000

FILE NO. 21001  
DATE: JAN. 21, 2021  
SCALE: 1"=20'  
DRAWN BY: JVB  
CHECKED BY: GP  
DRAWING NO. BM21001  
SHEET NO. 9 OF 12



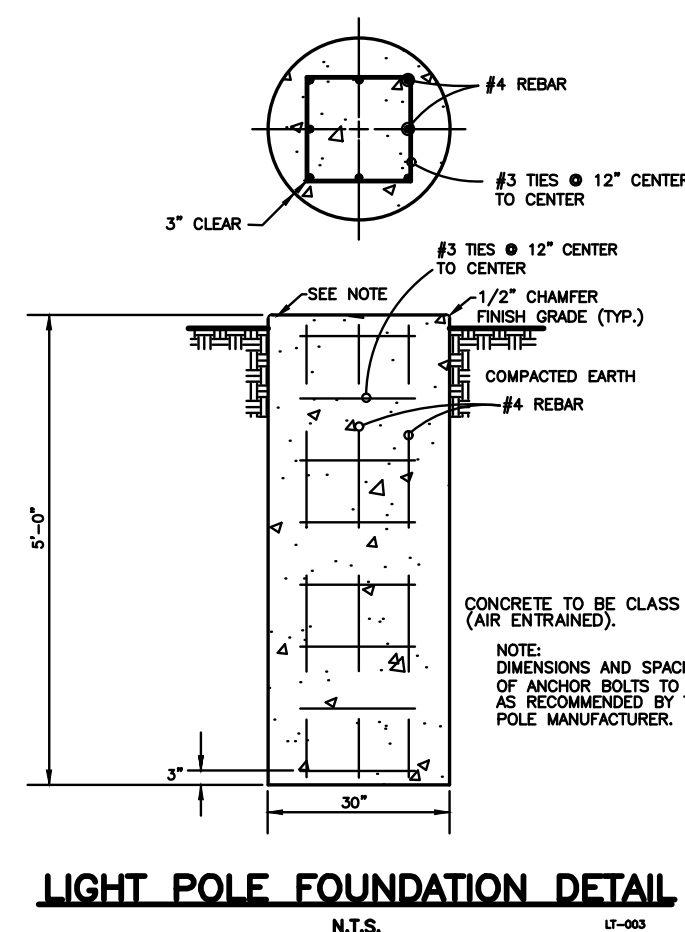
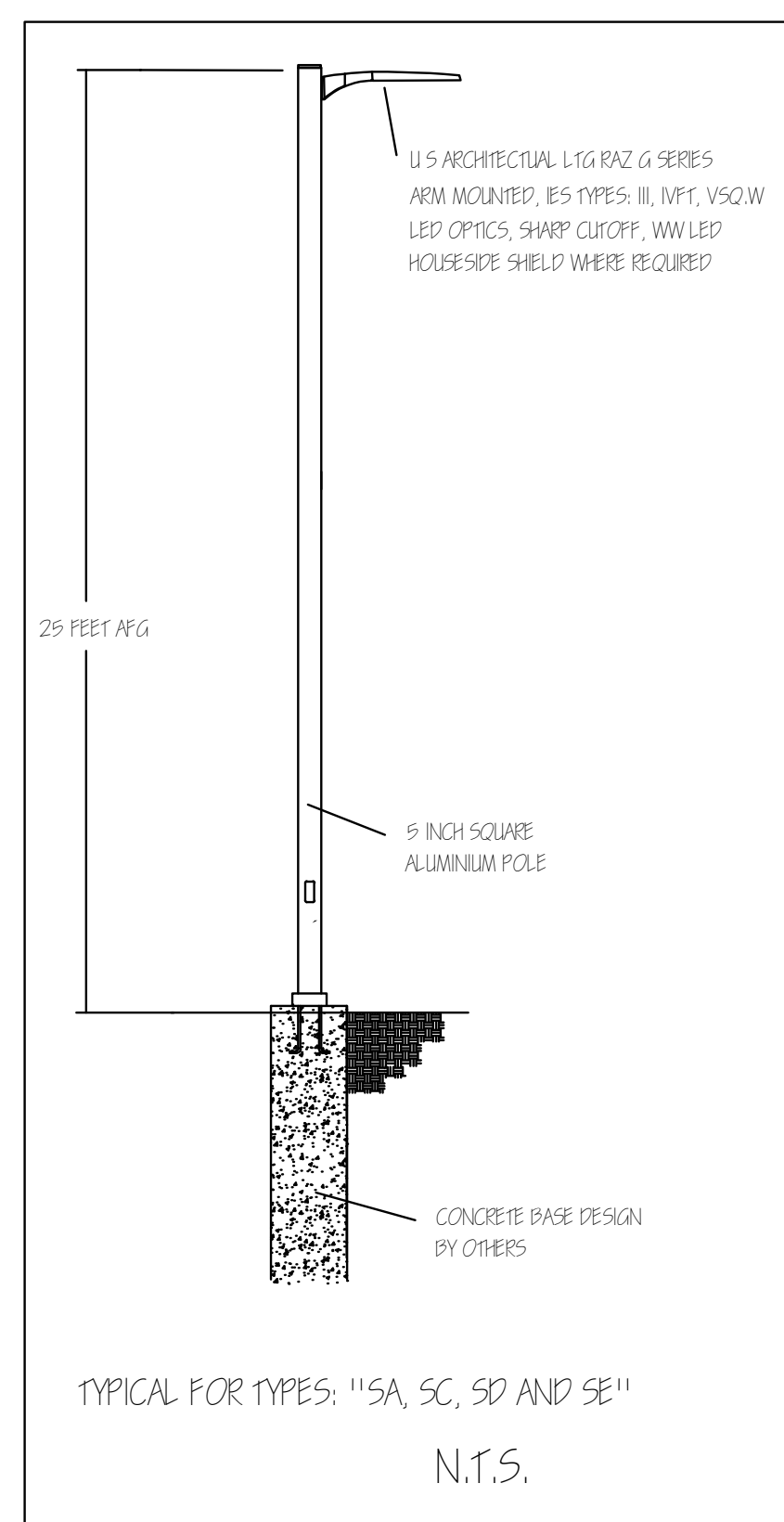
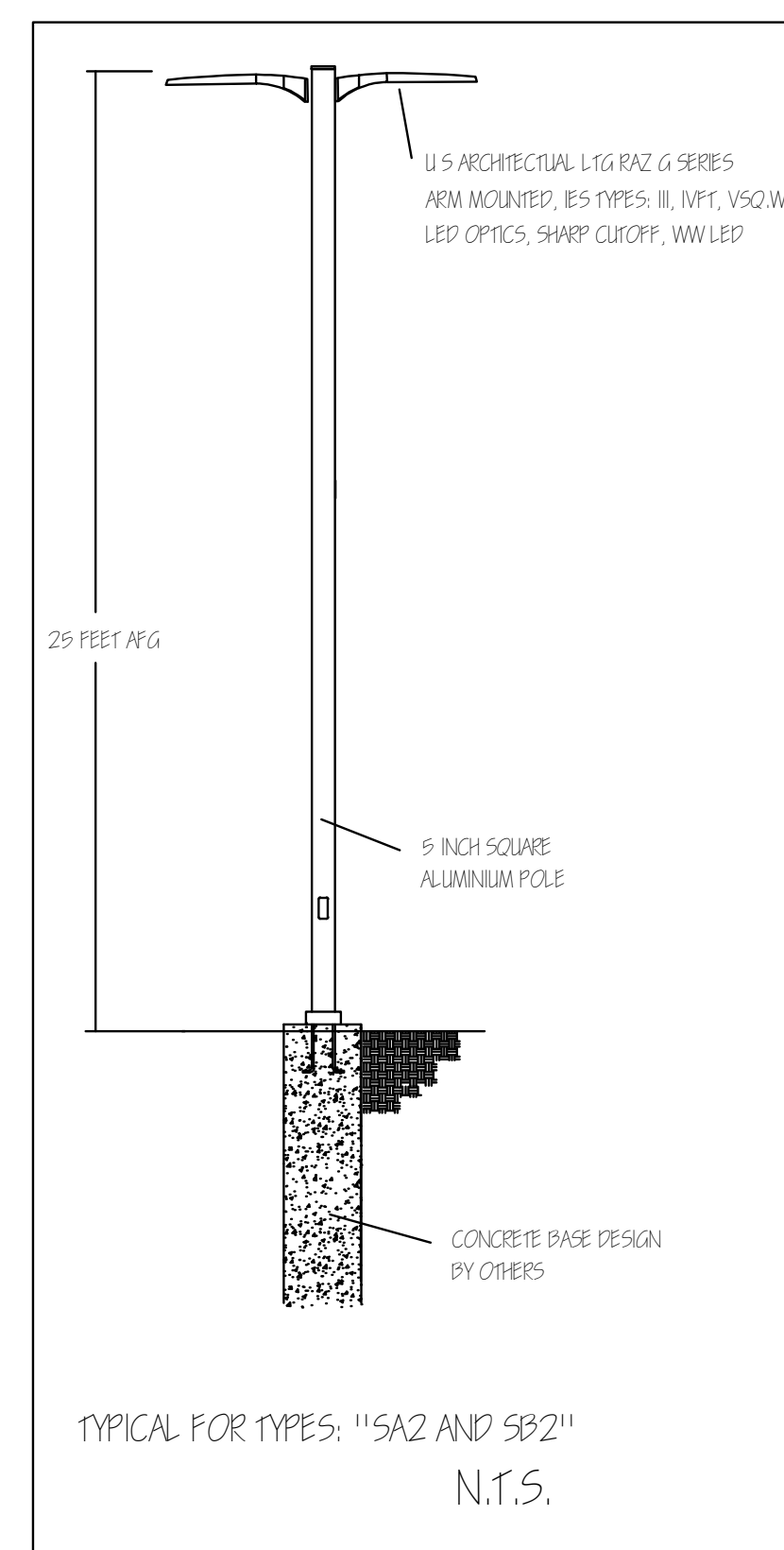
SA  
LIGHT POLE (SA)  
N.T.S.






LIGHT POLE (SE)  
N.T.S.

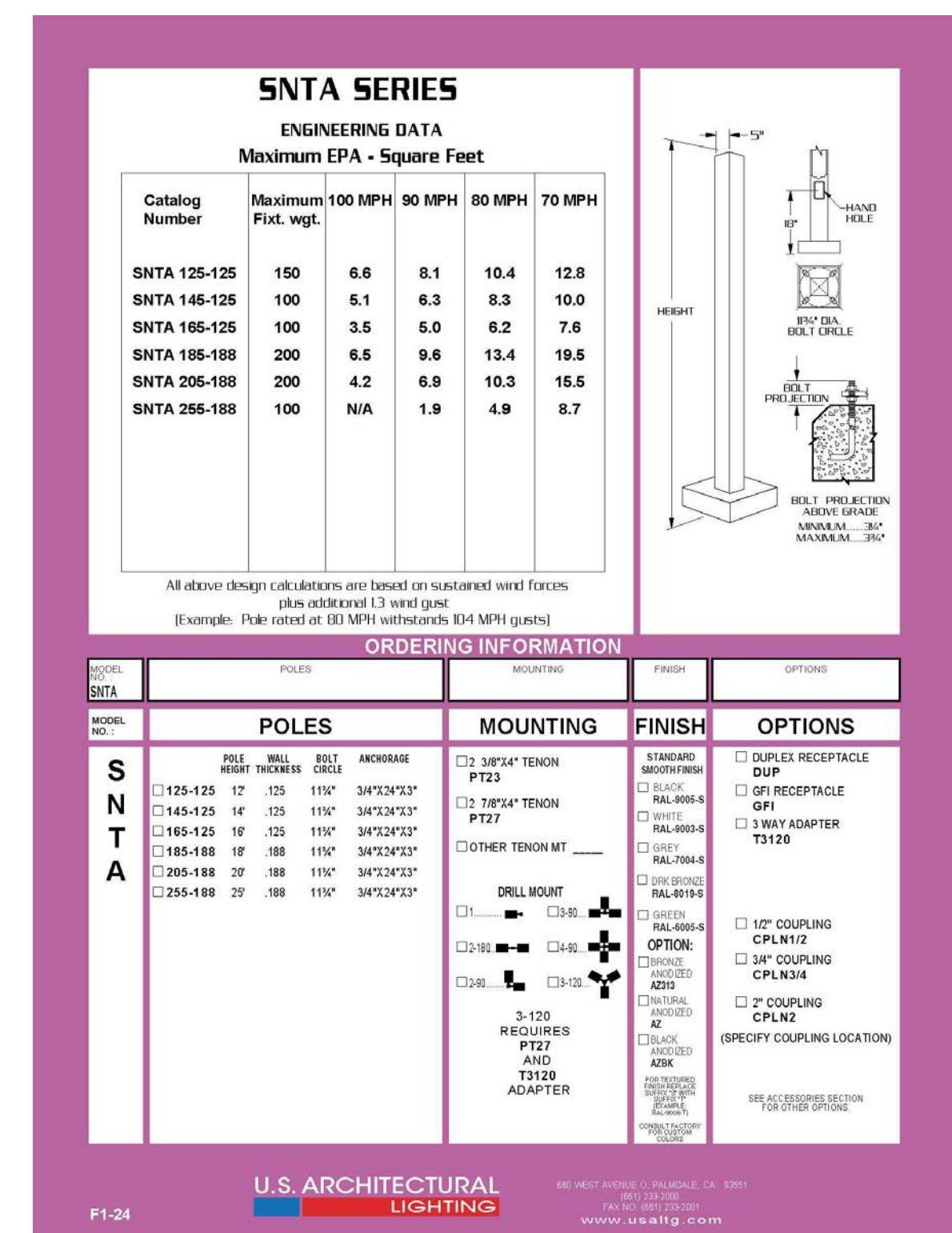
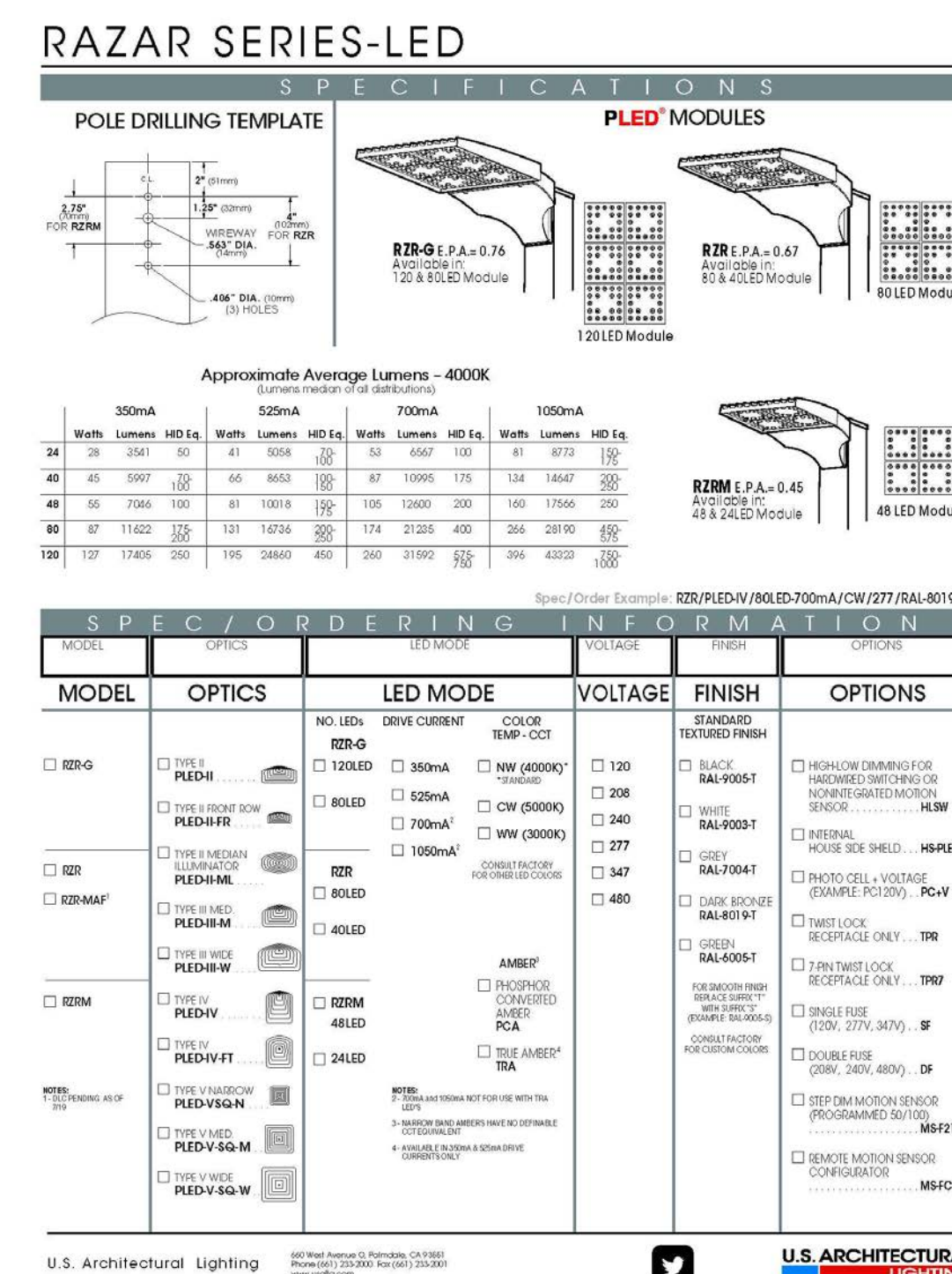
SB2  
LIGHT POLE (SB2)  
N.T.S.

LIGHT POLE (SC)  
N.T.S.

LIGHT POLE (SD)  
N.T.S.

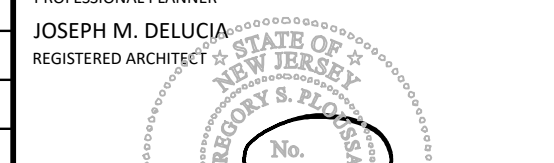



Schedule					
Symbol	Label	QTY	Manufacturer	Catalog Number	Description
	SA	1	U.S. ARCHITECTURAL LIGHTING	1D-RZR-LED-PLED V SQ W-120-700-VOLT-COLOR-SF-SPA-WW--MSFC10 D1-SNTA5-125-125-22-D1-COLOR ON 3FT CONCRETE PEDESTAL	CAST BLACK PAINTED FINNED METAL HOUSING.
	SB2	5	U.S. ARCHITECTURAL LIGHTING	2D-RZR-LED-PLED V SQ W-120-875-VOLT-COLOR-SF-SPA-WW--MSFC10 D1-SNTA5-125-125-22-D2-COLOR ON 3FT CONCRETE PEDESTAL	CAST BLACK PAINTED FINNED METAL HOUSING.
	SC	4	U.S. ARCHITECTURAL LIGHTING	1D-RZR-LED-PLED III-120-700-VOLT-COLOR-SF-SPA-WW--MSFC10 D1-SNTA5-125-125-22-D1-COLOR ON 3FT CONCRETE PEDESTAL	CAST BLACK PAINTED FINNED METAL HOUSING.
	SD	1	U.S. ARCHITECTURAL LIGHTING	1D-RZR-LED-PLED III-120-875-VOLT-COLOR-SF-SPA-WW--MSFC10 D1-SNTA5-125-125-22-D1-COLOR ON 3FT CONCRETE PEDESTAL	CAST BLACK PAINTED FINNED METAL HOUSING.
	SE	2	U.S. ARCHITECTURAL LIGHTING	1D-RZR-LED-PLED-IV FT-120-700-VOLT-COLOR-SF-SPA-WW--MSFC10 D1-SNTA5-125-125-22-D1-COLOR ON 3FT CONCRETE PEDESTAL	CAST BLACK PAINTED FINNED METAL HOUSING.

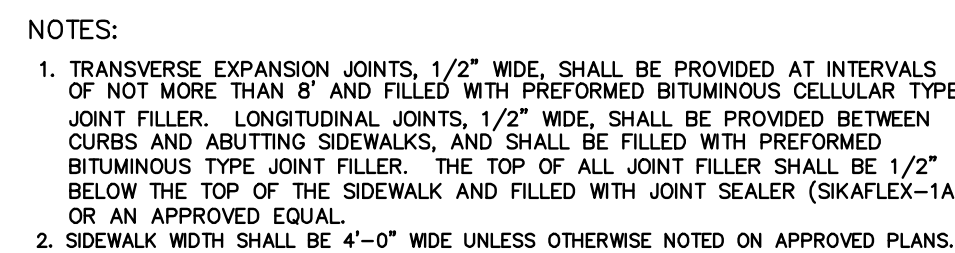
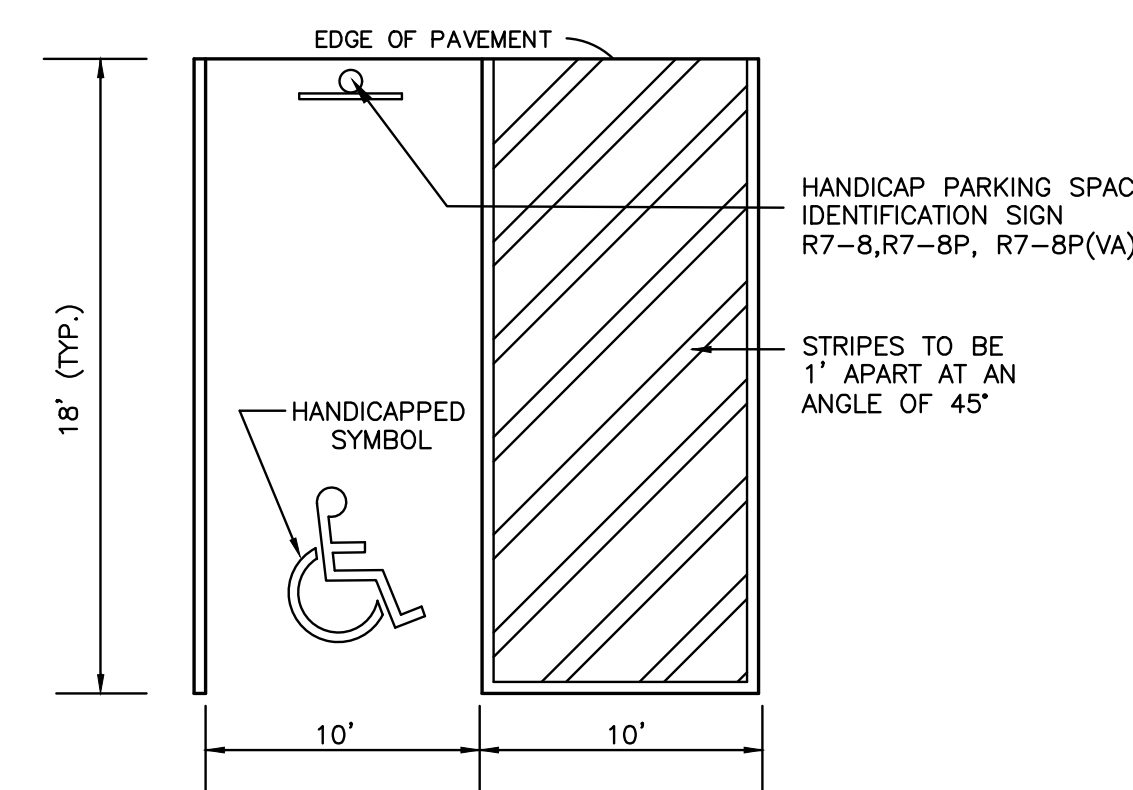
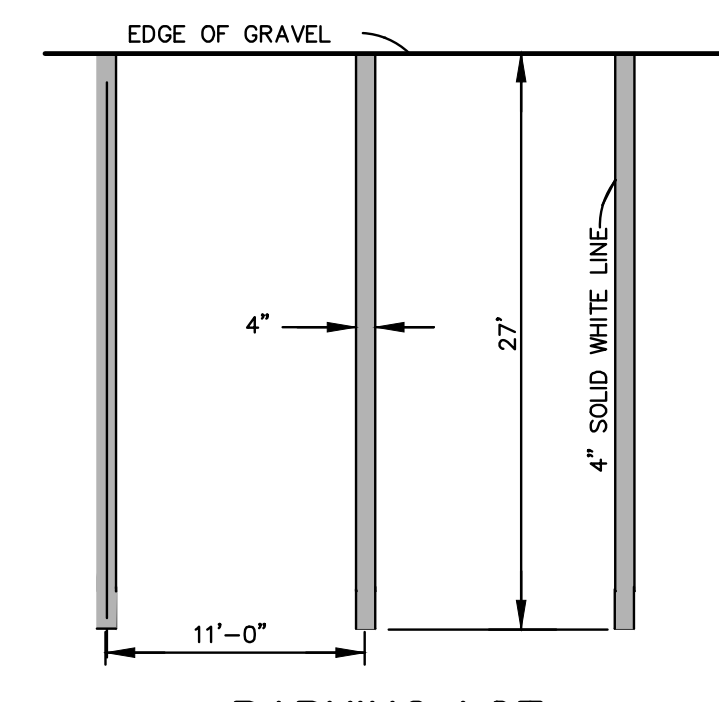
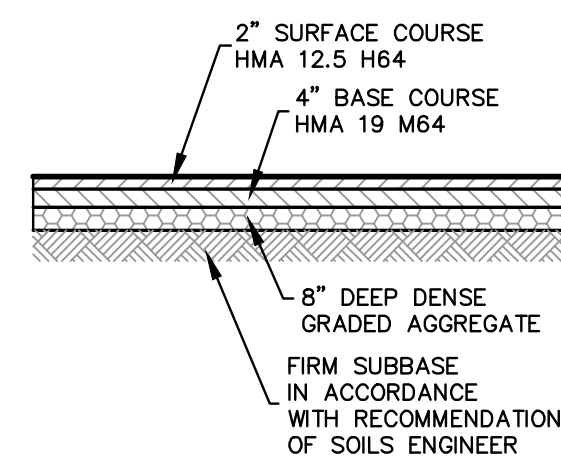
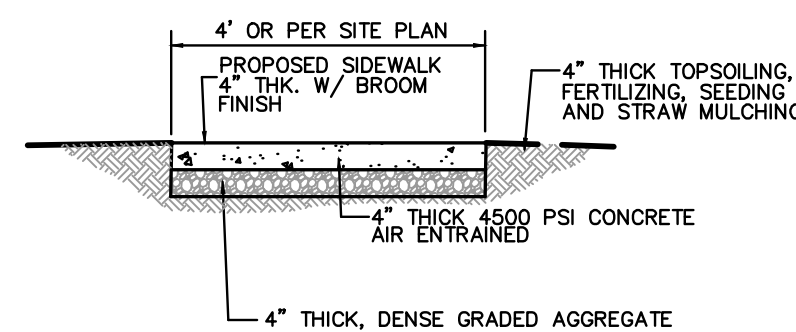


SA, SA2, SB2, SC1, SD & SE  
LIGHTPOLE FIXTURE

N.T.S.

DATE		REVISIONS		GREGORY PLOUSSAS PROFESSIONAL ENGINEER PROFESSIONAL PLANNER RICHARD G. RUCHALSKI PROFESSIONAL LAND SURVEYOR PROFESSIONAL PLANNER JOSEPH M. DELUCIA REGISTERED ARCHITECT		MICHAEL PUCCI PROFESSIONAL ENGINEER PROFESSIONAL PLANNER ROBERT S. LARSEN REGISTERED ARCHITECT PROFESSIONAL PLANNER		LIGHTING DETAILS PRELIMINARY AND FINAL SITE PLAN PHASE 3 LOT 85.02, BLOCK 4400 160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY		FILE NO. 21001 DATE: JAN. 21, 2021 SCALE: N.T.S.	
JUNE 14, 2021		REVISED LAYOUT						CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP LLC 95 MATAWAN ROAD   SECOND FLOOR MATAWAN, NJ 07747 P. 732-566-0297   <a href="http://www.cplpartnership.com">www.cplpartnership.com</a>		CHECKED BY: GP DRAWING NO. BM21001 SHEET NO. 10 OF 12	
SEPT. 30, 2021		REV. PER TOWNSHIP PLANNER REVIEW									
				GREGORY PLOUSSAS PROFESSIONAL ENGINEER PROFESSIONAL PLANNER N.J. LIC. NO. 35518		planning architecture engineering surveying		CERTIFICATES OF AUTHORIZATION - BOARD OF ENGINEERS & LAND SURVEYORS: 246428159090   BOARD OF ARCHITECTS: 21AAC0069900			





6"

18"

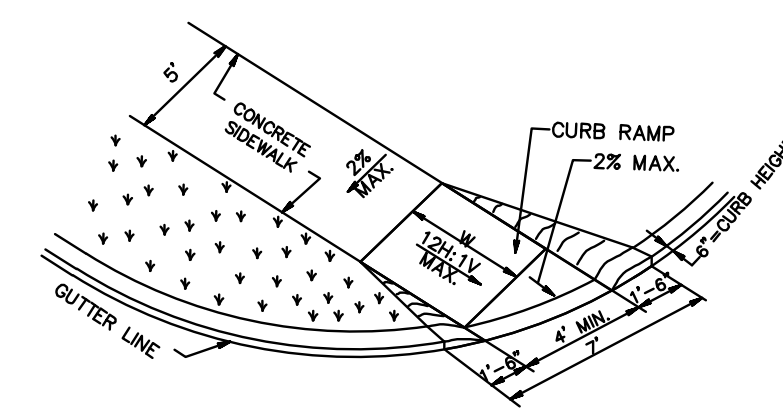
6" REVEAL

PAVEMENT

1" RADIUS (typ. all curves)

1. CONCRETE SHALL BE 4500 PSI AND AIR ENTRAINED
2. PREMOLDED BITUMINOUS EXPANSION JOINTS (FULL DEPTH) SHALL BE PROVIDED AT 20' INTERVALS (MIN.).
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED MIDWAY BETWEEN EXPANSION JOINTS.

N.T.S. CB-002



### CONCRETE SIDEWALK RAMP DETAIL

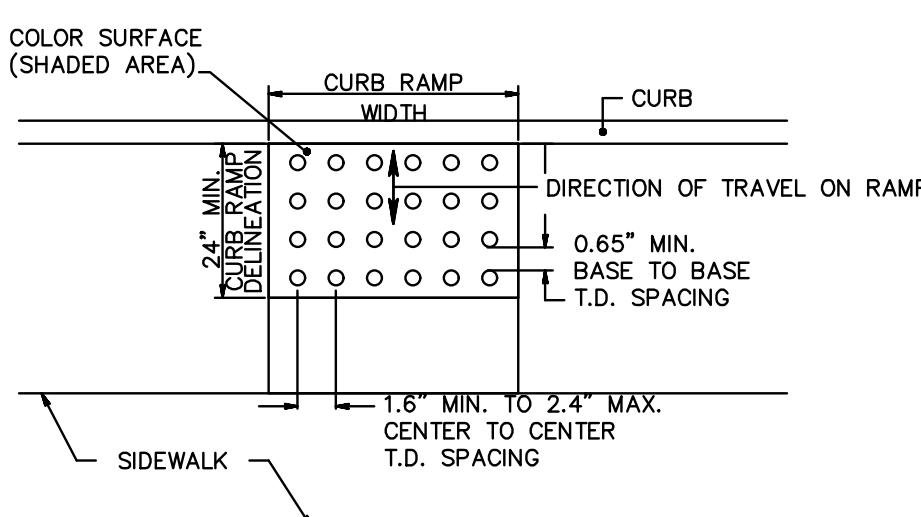
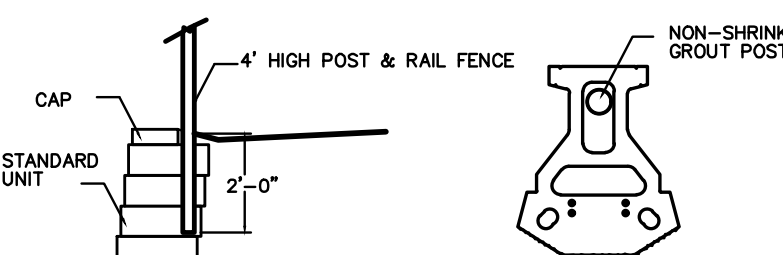


Diagram illustrating the dimensions of a truncated dome (T.D.) structure. The structure is shown with a top diameter of 0.45" MIN. TO 0.90" MAX. and a base diameter of 0.90" MIN. TO 1.4" MAX. The height of the dome is 0.20". A sidewalk is indicated on the left side of the structure.

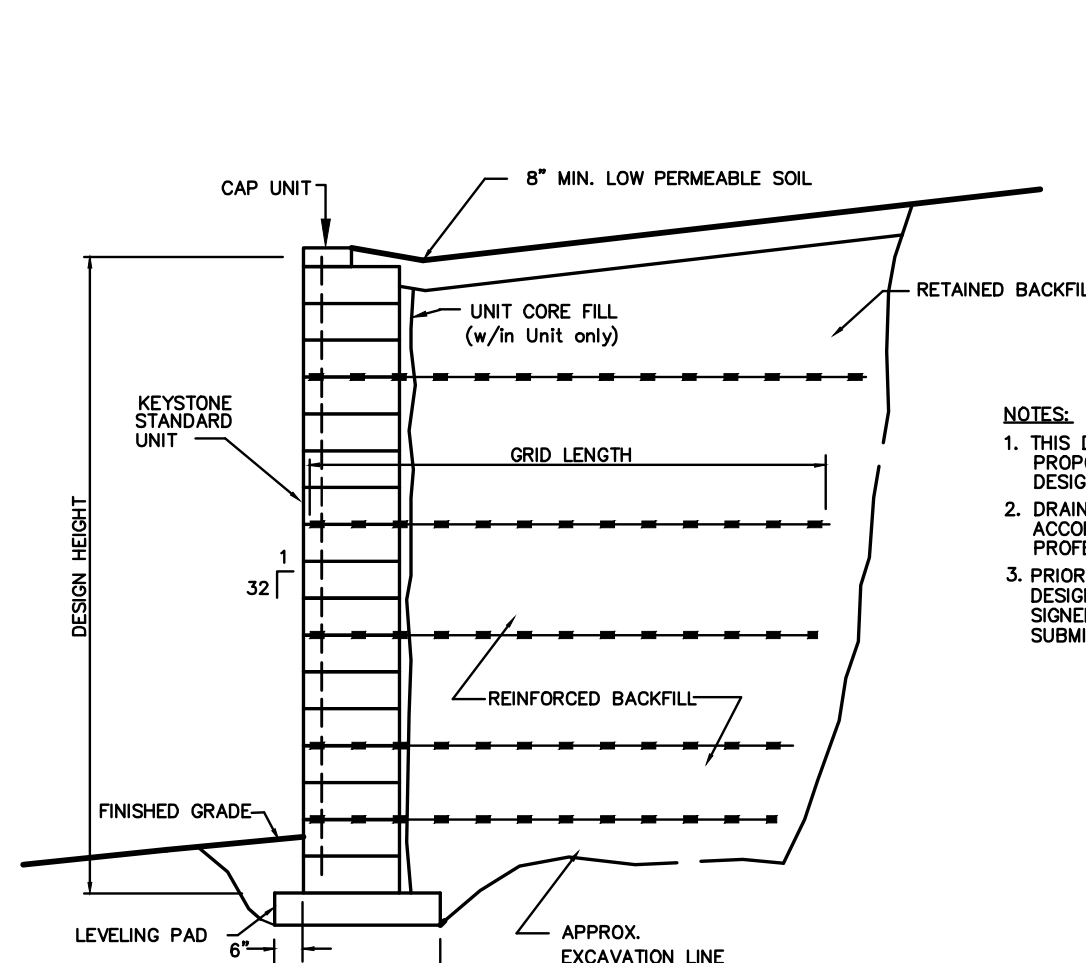
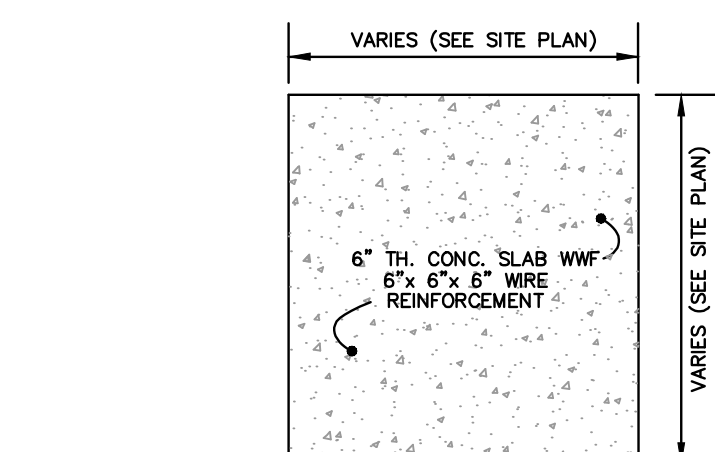
N.T.S. CD-606-1A



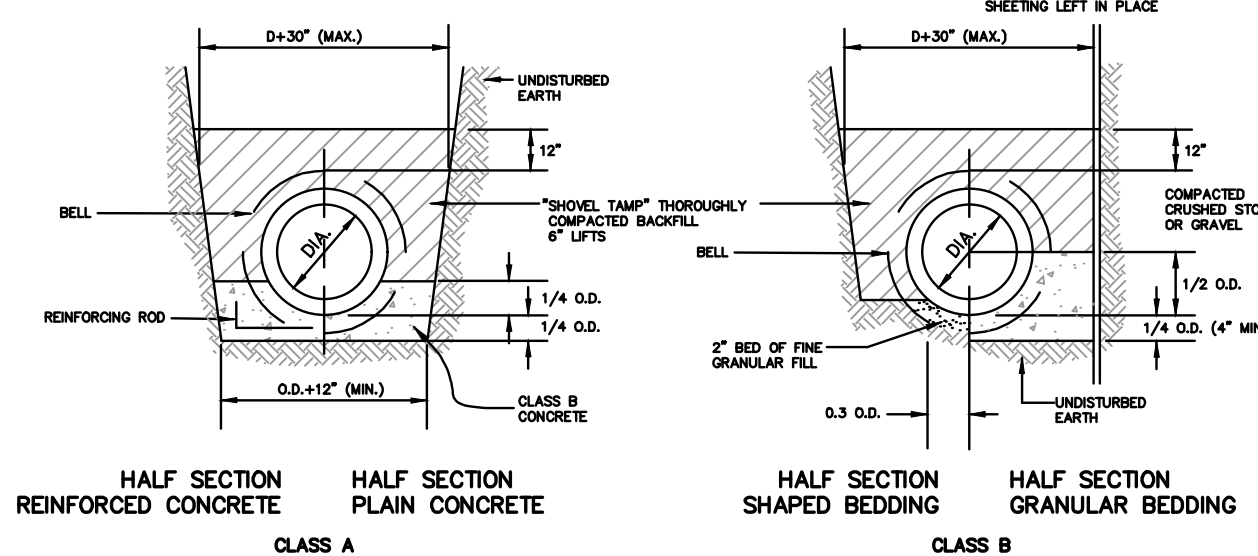
MAIL IS PROVIDED AS A GENERAL GUIDE OR SCHEMATIC FOR THE  
CONSTRUCTION OF THE RETAINING WALL(S). NO STRUCTURAL  
IMPLIED OR INTENDED.

IS TO BE PROVIDED BEHIND RETAINING WALL(S) IN  
ANCE WITH RECOMMENDATIONS OF WALL DESIGNER OR  
ONAL ENGINEER WHO DESIGNED WALL(S).

CONSTRUCTION, SHOP DRAWINGS AND FULL STRUCTURAL  
CALCULATIONS AND SITE SPECIFIC DETAILS FOR THE WALL(S),  
AND SEALED BY A PROFESSIONAL ENGINEER, SHALL BE  
D. TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL.



**BLOCK RETAINING WALL**  
**TYPICAL REINFORCED SECTION**  
STANDARD UNIT - NEAR VERTICAL RW  
N.T.S.



HALF SECTION  
SHAPED BEDDING

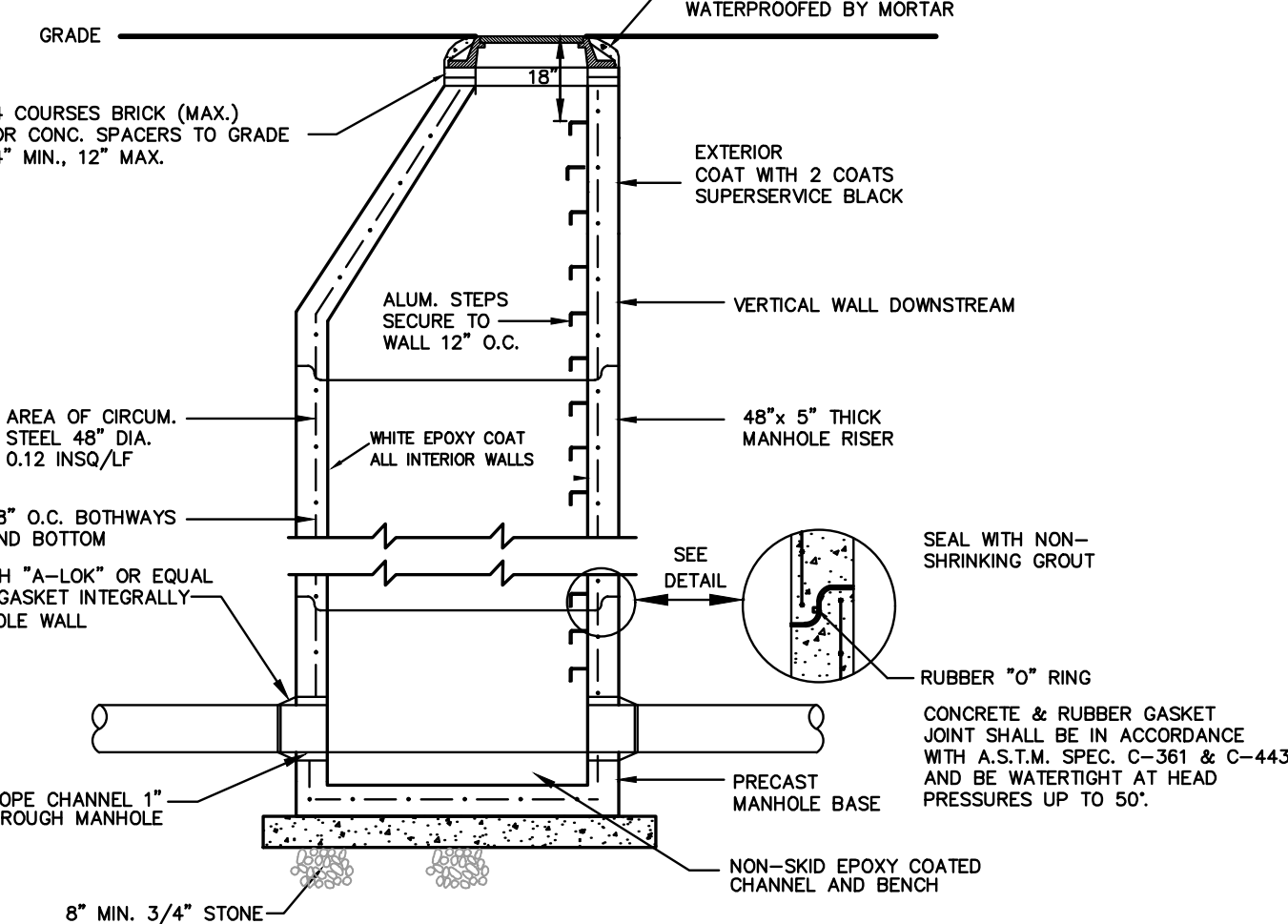
HALF SECTION  
GRANULAR BEDDING

CLASS C


ORDINARY BEDDING

FIRST TWO LIFTS- SHOVEL TAMPED  
REMAINING LIFTS- USE PNEUMATIC TAMPER  
IF IN SAND, USE VIBRATORY COMPACTOR

## NTS PB-00

[illegible]


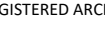
GREGORY PLOUSSAS  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
RICHARD G. RUCHAL  
PROFESSIONAL LAND SURVEYOR  
PROFESSIONAL PLANNER  
JOSEPH M. DELUCIA  
REGISTERED ARCHITECT



**GREGORY M. PLOUSSAS & ASSOCIATES, INC.**  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER

**MICHAEL PUCCI**  
PROFESSIONAL ENGINEER  
PROFESSIONAL PLANNER  
**ROBERT S. LARSEN**  
REGISTERED ARCHITECT  
PROFESSIONAL PLANNER

STATE OF NEW JERSEY  
S. PLOUSSAS  
No. 025518  
N.J. LIC. NO. 25518  
N.J. LIC. NO. 2135

<p><b>GREGORY PLOUSSAS</b> PROFESSIONAL ENGINEER PROFESSIONAL PLANNER</p>	<p><b>MICHAEL PUCCI</b> PROFESSIONAL ENGINEER PROFESSIONAL PLANNER</p>
<p><b>RICHARD G. RUCHALSKI</b> PROFESSIONAL LAND SURVEYOR PROFESSIONAL PLANNER</p>	<p><b>ROBERT S. LARSEN</b> REGISTERED ARCHITECT PROFESSIONAL PLANNER</p>
<p><b>JOSEPH M. DELUCCIA</b> REGISTERED ARCHITECT</p>	
	
<p><b>GREGORY PLOUSSAS</b> PROFESSIONAL ENGINEER PROFESSIONAL PLANNER</p>	

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partnership  
planning  
architecture  
engineering  
surveying

LOT 85.02, BLOCK 4400  
160 GOLD MINE ROAD, TOWNSHIP OF MOUNT OLIVE  
MORRIS COUNTY, NEW JERSEY

---

CHESTER PLOUSSAS LISOWSKY

CHESTER, FLOUSSAS, LISOWSKI  
PARTNERSHIP LLC

**PARTNERSHIP LLC**  
95 MATAWAN ROAD | SECOND FLOOR

MATAWAN, NJ 07747  
P. 732-566-0297 | [www.cplpartnership.com](http://www.cplpartnership.com)

THORIZATION - BOARD OF ENGINEERS & LAND SURVEYORS: 24GA28159000 | BOARD OF ARCHITECTS: 24GA00000000

FILE NO.	21001
DATE:	JAN. 21, 202
SCALE:	AS NOT
DRAWN BY:	JVB
CHECKED BY:	GP
DRAWING NO.	BM210
SHEET NO.	11 OF



