

PRELIMINARY AND FINAL MAJOR SITE PLAN

BENTLEY COMMON AT PARAGON VILLAGE

NEW MEMORY CARE BUILDING

CERTIFIED LIST OF PROPERTY OWNER'S WITHIN 200 FEET

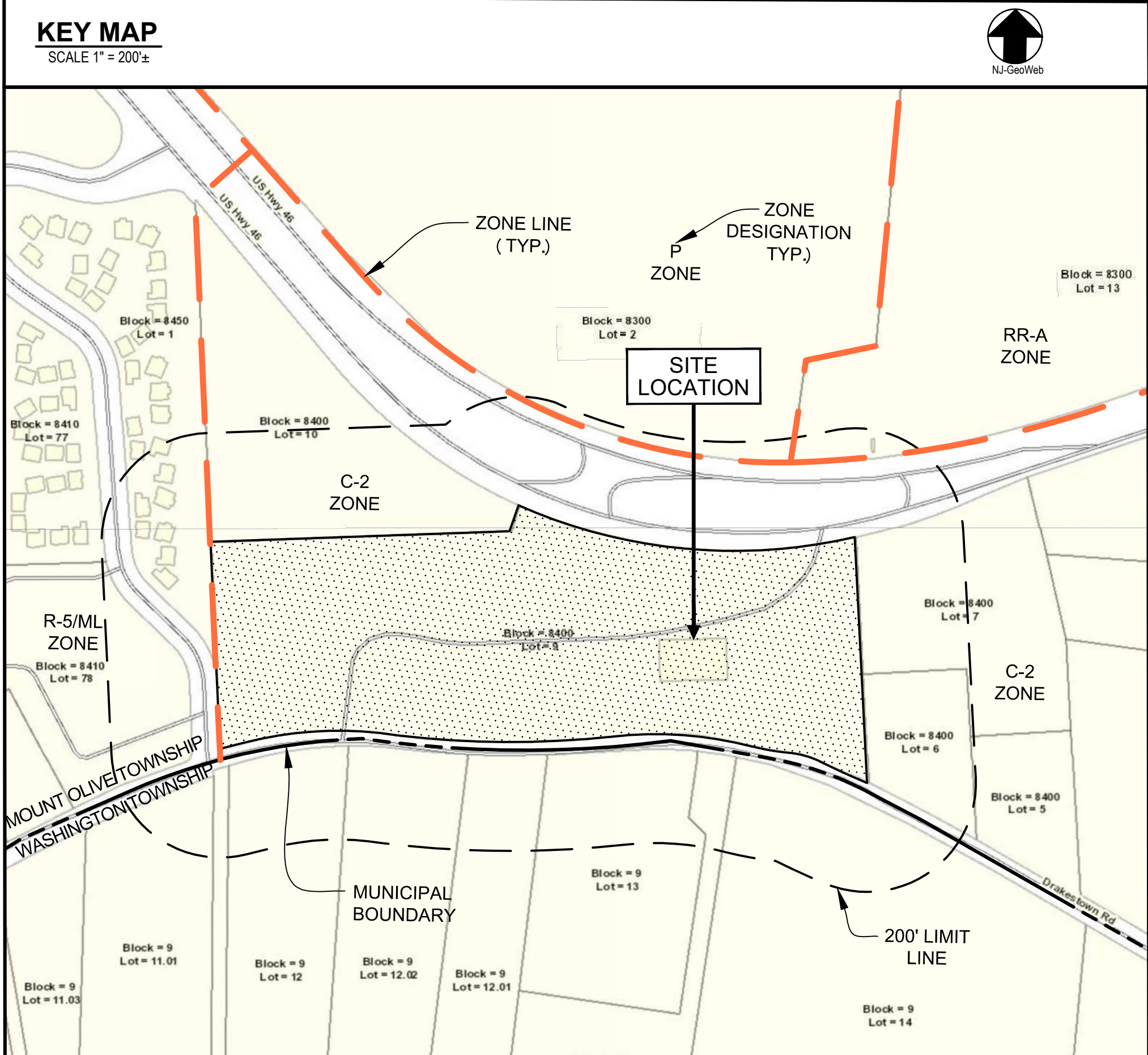
TOWNSHIP OF MOUNT OLIVE

BLOCK	LOT	LOCATION, OWNER & ADDRESS
8300	13	500 ROUTE 46 HILDEBRANT/OSS OUTDOOR,NJ RE 185 ROUTE 46 FAIRFIELD NJ 07004
8300	13 OFARM	500 ROUTE 46 HILDEBRANT POY M. ETALS 500 ROUTE 46 HACKETTSTOWN, N.J. 07840
8300	2 OFARM	458 ROUTE 46 IRONBOUND MOUNT OLIVE HOLDINGS LLC 113 GREENWICH ST BELVIDERE, NJ 07823
8400	10	493 ROUTE 46 BREAKPOINT COMMUNITY CHURCH PO BOX 735 HACKETTSTOWN, NJ 07840
8400	5	166 DRAKESTOWN RD GREGGORY, JESSY JEROME 166 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
8400	6	164 DRAKESTOWN RD OSANDO, LESLIE A 164 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
8400	7	417 ROUTE 46 ALI, MOHAMMAD 417 ROUTE 46 HACKETTSTOWN, NJ 07840
8400	9	425 ROUTE 46 PARAGON SENIOR LIVING LLC 30 JERICHO EXECUTIVE PLAZ JERICHO, NY #400 11753
8410	77	O COMMON AREA WOODFIELD HOMEOWNERS ASSN,EXEC MGMT 4-80 TOWNE CENTER DR NORTH BRUNSWICK,NJ 08902
8410	78	1-11 BROCK LN CAMELOT AT WOODFIELD,LLC 433 RIVER RD HIGHLAND PARK, NJ 08904
8450	1	BROCK LN WOODFIELD COMMUNITY ASSN, EXEC. MCM 4-80 TOWNE CENTER DR NORTH BRUNSWICK, NJ 08902
8450	1 CU02	2 BROCK LN GALLO, VINCENTI/CARMELA 2 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU04	4 BROCK LN RUIZ, VICTOR RROSA A 4 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU06	6 BROCK LN DAIGLER, JOSEPH MICHAEL/REBECCA M. 6 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU08	8 BROCK LN YU, JONGSUN 8 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU10	10 BROCK LN WANG, HONGGICHUNXIA DENG 10 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU12	12 BROCK LN KANE, DANIEL M 12 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU14	14 BROCK LN GEO, JEFFREY 14 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU16	16 BROCK LN HAYNES, RENETA L 16 BROCK LN HACKETTSTOWN, NJ 07840
8450	1 CU18	18 BROCK LN DI MARCO, ERALDOMARIA 18 BROCK LN HACKETTSTOWN, NJ 07840

TOWNSHIP OF WASHINGTON

9	11.01	139 DRAKESTOWN RD FIORELLO, ROBERT F & MARY K 139 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	11.02	141 DRAKESTOWN RD FL ESPOSITO, LOUIS P JR 141 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	12	143 DRAKESTOWN RD VARGAS, NITZA C & BIENVENDO 143 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	12.01	153 DRAKESTOWN RD CONNER, CATHERINE I & SCOTT E 153 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	12.02	149 DRAKESTOWN RD MOLL, KENNETH R & KAREN L 149 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	13	159 DRAKESTOWN RD DI FIGLIA, JOSEPH B PO BOX 217 BUDD LAKE, NJ 07828
9	13.01	161 DRAKESTOWN RD FL MAC MORRIS, DAVID & ANNE 161 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	14	169 DRAKESTOWN RD TISCHLER, JAMES & EMILY 169 DRAKESTOWN RD HACKETTSTOWN, NJ 07840
9	14.01OFAR	DRAKESTOWN RD CANDELA, CALOGERO & CARMELA 314 MAPLE ST MOONACHIE, NJ 07074
9	14 OFARM	169 DRAKESTOWN RD DUBRIEL, AIMEE & PAUL 169 DRAKESTOWN RD HACKETTSTOWN, NJ 07840

UTILITY COMPANIES
BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKETTSTOWN, NJ 07840
R. ALBANESE NEW JERSEY NATURAL GAS 1415 WYCKOFF ROAD WALL, NJ 07719
PSE & G MANAGER CORPORATE PROPERTIES 80 PARK PLAZA, T80 NEWARK, NJ 07102
BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP 1470 RODRIGUEZ ROAD DOWNTOWN, PA 19335-342
NJ DEPARTMENT OF TRANSPORTATION 1035 PARKWAY DR CN 800 TRENTON, NJ 08625
MT OLIVE TOWNSHIP, WATER & SEWER DEPARTMENT P.O. BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT OLIVE, NJ 07028
NEW JERSEY - AMERICAN WATER CO. INC P.O. BOX 5627 CHERRY HILL, NEW JERSEY 08034
APPLIED WASTEWATER MANAGEMENT 2 CLERICO LANE HILLSBOROUGH, NJ 08844
MORRIS COUNTY PLANNING BOARD 30 SCHUYLER PLACE MORRISTOWN, NJ 07960
NEW JERSEY NATURAL GAS CO. RIGHT OF WAY REPRESENTATIVE P.O. BOX 1464 WALL, NJ 07719
HIGHLANDS COUNCIL 100 NORTH RD CHESTER, NJ 07930
COLUMBIA GAS TRANSMISSION CORP. ATTN: LAND AGENT 4900 FREEMANSBURG AVE EASTON, PA 18045
MOUNT OLIVE TOWNSHIP MORRIS COUNTY



SITUATED IN

425 U.S. ROUTE 46 EAST
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY
BLOCK 8400 - LOT 9

AERIAL MAP

SCALE 1" = 200'±



DRAWING LIST	Sheet No.
CIVIL DRAWINGS	
COVER PAGE	1 OF 15
EXISTING CONDITIONS	2 OF 15
OVERALL SITE PLAN	3 OF 15
DEMOLITION PLAN	4 OF 15
DIMENSIONAL SITE PLAN	5 OF 15
GRADING PLAN	6 OF 15
UTILITY PLAN	7 OF 15
LANDSCAPE AND LIGHTING PLAN	8 OF 15
SOIL EROSION & SEDIMENT CONTROL PLAN	9 OF 15
SITE DETAILS	10, 11, 12 OF 15
ARCHITECTURAL DRAWINGS	
FLOOR PLAN	13 OF 15
ROOF PLAN	14 OF 15
BUILDING ELEVATIONS	15 OF 15

PLANNING BOARD

CHAIRMAN

DATE

SECRETARY

DATE

OWNER'S CONSENT (GLENN KAPLAN FOR
PARAGON SENIOR LIVING, LLC)

DATE

OWNER AND APPLICANT:

PARAGON SENIOR LIVING, LLC
c/o KAPLAN DEVELOPMENT GROUP, LLC
100 JERICHO QUADRANGLE, SUITE 142
JERICHO, NY 11753

ATTORNEY:

EINHORN BARBARITO
ATTORNEYS AT LAW
165 EAST MAIN STREET
P.O. BOX 3010
DENVER, NJ 07834-3010
ATTN: JASON R. RITTIE, ESQ.
(973) 627-7300

H2M

H2M Associates, Inc.

119 Cherry Hill Road, Suite 110
Parapinn, NJ 07054
862.207.5900 • www.h2m.com
NJ Certificate of Authorization No. 240A38019100

PROJECT NO:	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
KAPD 1902	OCTOBER 12, 2021	RBS	JM	RBS/CRS

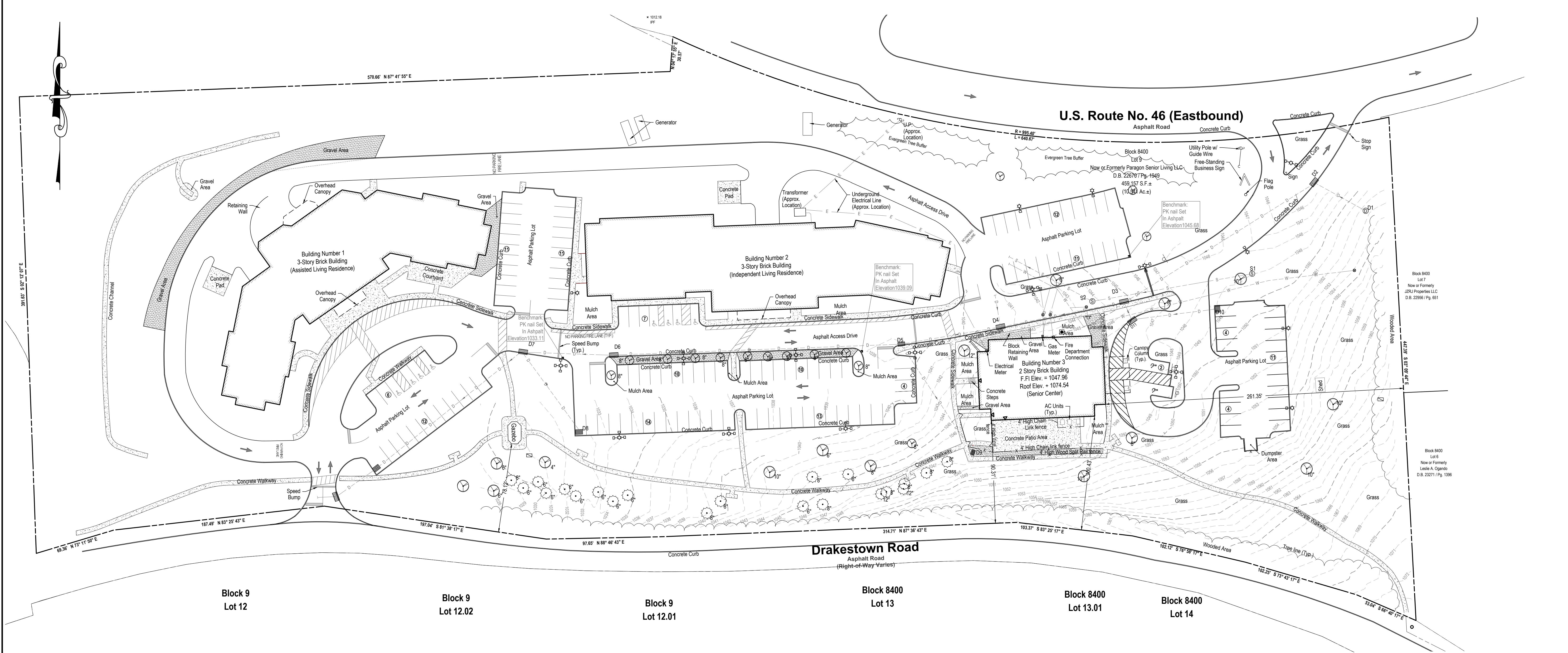
RICHARD B. SCHOMMER, JR., P.E.
NJ PROFESSIONAL ENGINEER Lic. No. 24GE03253400
THIS SHALL NOT BE CONSIDERED AN OFFICIAL DOCUMENT UNLESS IT
CONTAINS THE RAISED SEAL OF THE LICENSEE

PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

COVER SHEET	
STATUS: REGULATORY REVIEW	DRAWING # 1 OF 15

THESE PLANS ARE FOR MUNICIPAL AND REVIEW AGENCY
APPROVALS AND ARE NOT INTENDED AS CONSTRUCTION
DOCUMENTS, UNLESS SPECIFICALLY NOTED.



STRUCTURE SCHEDULE			
STRUCT. NUMBER	STRUCTURE TYPE	RIM/Gr. ELEVATION (FEET)	INVERT ELEVATIONS (FEET)
S1	DRAINAGE MANHOLE, 8"Ø SOLID BRICK & CONCRETE STRUCTURE	1052.59	NW 1041.3 (24" HDPE)
S2	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1044.25	SE 1040.3 (24" HDPE), SW 1040.1 (24" HDPE)
S3	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1044.64	SW 1038.3 (24" CPEP), SE 1040.3 (15" HDPE), NE 1039.2 (24" HDPE)
S4	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1040.38	SW 1033.6 (30" CPEP), NE 1034.9 (24" CPEP), NW 1033.8 (15" CPEP)
S5	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1038.80	W 1033.6 (30" HDPE), E 1033.8 (30" CPEP), SE 1034.9 (15" HDPE)
S6	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1036.03	E 1030.8 (30" HDPE), W 1027.3 (30" HDPE)
S7	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1031.60	E 1024.9 (30" HDPE), SE 1027.9 (15" HDPE), SW 1021.1 (36" CPEP)
S8	RECTANGULAR 'E' INLET, 4'X4' CONCRETE	1032.00	NW 1028.3 (15" HDPE)
S9	RECTANGULAR 'E' INLET, 4'X4' CONCRETE	1046.17	NW 1041.7 (15" HDPE)
S10	RECTANGULAR 'E' INLET, 4'X4' CONCRETE	1048.60	W 1044.5 (12" HDPE)
S11	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1046.38	NE 1041.7 (15" HDPE), NW 1041.2 (12" HDPE)
S12	SANITARY MANHOLE, 8"Ø SOLID BRICK & CONCRETE STRUCTURE	1048.97	SW 1037.9 (8" PVC)
S13	SANITARY MANHOLE, 8"Ø SOLID BRICK & CONCRETE STRUCTURE	1043.78	NE 1031.1 (8" PVC), NW 1036.3 (8" PVC)

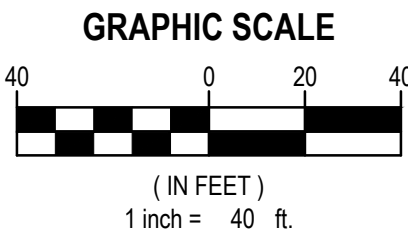
SURVEY NOTES

- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "AS-BUILT PLAN BLOCK 8400, LOT 9 PARAGON VILLAGE", TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, PREPARED BY MACE CONSULTING ENGINEERS, DATED AUGUST 14, 2006.
- PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE APPROXIMATE. THESE LINES ARE REPRESENTATIVE OF PROPERTY LINES SHOWN ON GIS MAPS INFORMATION FROM THE TOWNSHIP OF MOUNT OLIVE AND ARE NOT CERTIFIED. A BOUNDARY SURVEY WAS NOT CONDUCTED.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED BY THIS FIRM ON APRIL 18, 2019 & SEPTEMBER 6, 2019.
- ELEVATIONS REFER TO N.A.V.D. 1988. BENCHMARK SHOWN ON PLAN.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A COMPLETE TITLE REPORT.
- THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, MARKOUTS AND RECORD DRAWINGS, AND ARE NOT CERTIFIED. LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED STRUCTURES AND UTILITIES MAY BE ENCOUNTERED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- THERE ARE NO KNOWN EXISTING PROTECTIVE COVENANTS, DEED RESTRICTIONS, EASEMENTS, AND RIGHTS-OF-WAY AFFECTING THE USE OF THE PROPERTY, BEYOND THOSE SHOWN HEREON, SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.

UTILITY NOTE

QL-D = QUALITY LEVEL D (RECORDS DRAFTING)
DEPICTION OF UNDERGROUND UTILITY LINES BY TRANSPPOSITION FROM AS-BUILT PLAN PER GENERAL NOTE NUMBER 1, AND FIELD OBSERVATIONS. ACCURACY OF INFORMATION IS QUESTIONABLE.

LEGEND	
BENCHMARK	CURB
HYDRANT	DROP CURB
WATER VALVE	STORM DRAIN (QL-D)
UTILITY POLE	WATER MAIN (QL-D)
GAS VALVE	SANITARY SEWER (QL-D)
DRAINAGE MANHOLE	UNDERGROUND GAS (QL-D)
SANITARY MANHOLE	UNDERGROUND ELECTRIC (QL-D)
SIGN	OVERHEAD WIRES
CATCH BASIN	FENCE
LIGHT	EDGE OF PAVEMENT
CLEAN OUT	CONTOUR
PULL BOX	SPOT ELEVATION
EVERGREEN TREE	TOP/BOT CURB GRADE
DECIDUOUS TREE	HANDICAP PARKING STALL
SANITARY/DRAINAGE FLOW ARROW	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL AREA



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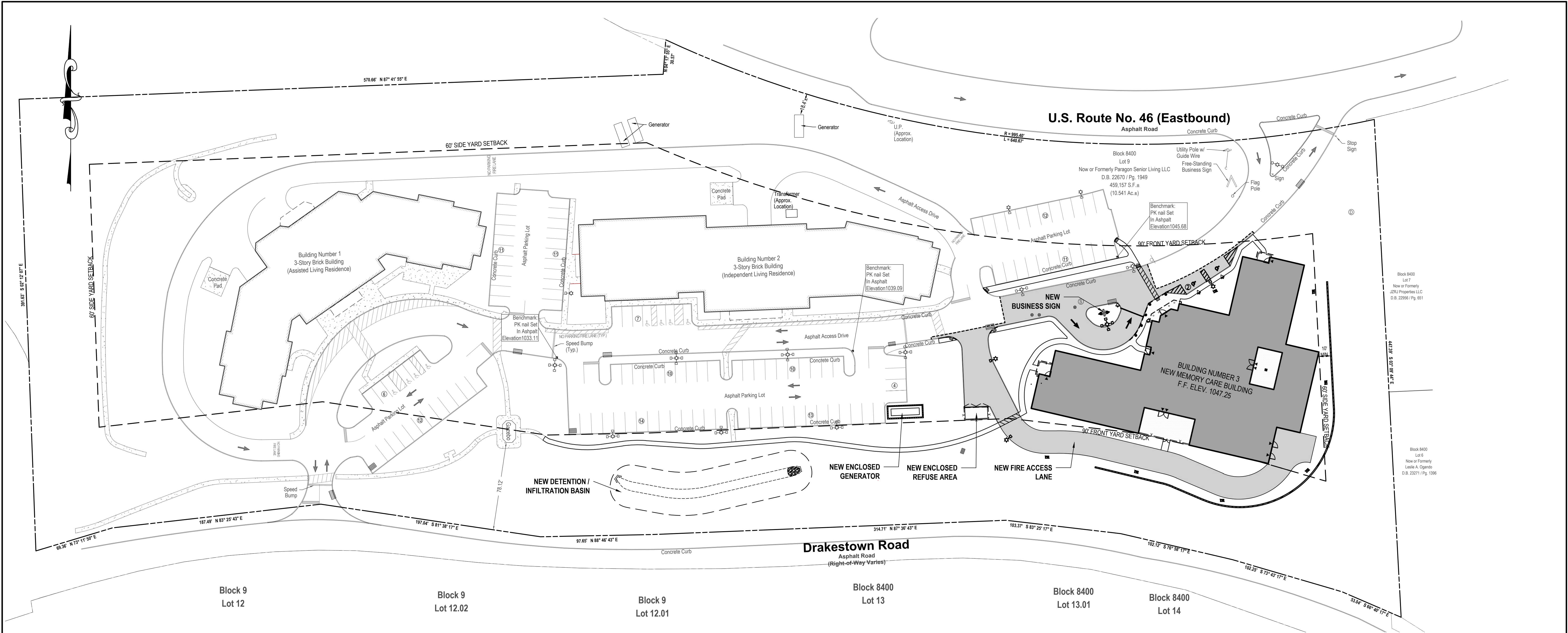
DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	DATE OCTOBER 12, 2021	SCALE 1" = 40'
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**PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9**

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

EXISTING CONDITIONS

STATUS REGULATORY REVIEW	DRAWING # 2 OF 15
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Block 9
Lot 12

Block 9
Lot 12.02

Block 9
Lot 12.01

Block 8400
Lot 13

Block 8400
Lot 13.01

Block 8400
Lot 14

LEGEND

EXISTING

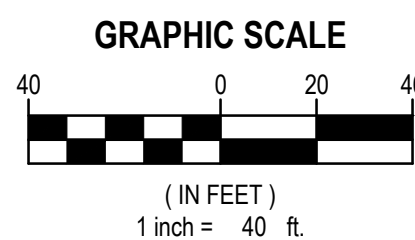
	BENCHMARK
	HYDRANT
	WATER VALVE
	UTILITY POLE
	GAS VALVE
	DRAINAGE MANHOLE
	SANITARY MANHOLE
	SIGN
	CATCH BASIN
	LIGHT
	CLEAN OUT
	PULL BOX
	EVERGREEN TREE
	DECIDUOUS TREE
	SANITARY/DRAINAGE FLOW ARROW
	CURB
	DEPRESSED CURB
	STORM DRAIN (QL-D)
	WATER MAIN (QL-D)
	SANITARY SEWER (QL-D)
	UNDERGROUND GAS (QL-D)
	UNDERGROUND ELECTRIC (QL-D)
	OVERHEAD WIRES
	FENCE
	EDGE OF PAVEMENT
	SPOT ELEVATION
	TOP/BOT CURB GRADE

NEW

	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	SEE LANDSCAPE AND LIGHTING PLAN
	SEE LANDSCAPE AND LIGHTING PLAN
	N/A
	N/A
	N/A
	N/A
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	N/A
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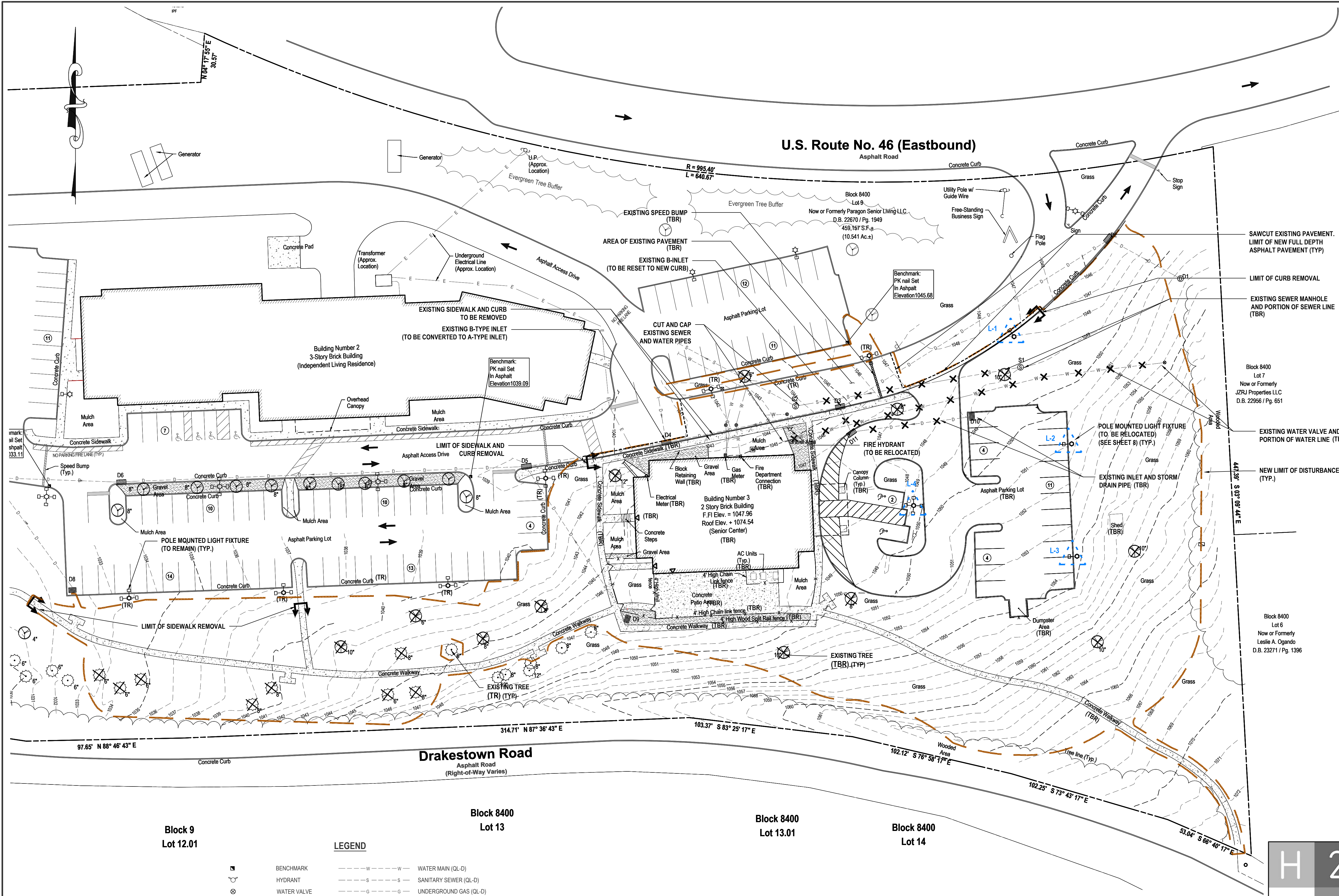
SITE PLAN NOTES:

- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "AS-BUILT PLAN BLOCK 8400, LOT 9 PARAGON VILLAGE," TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, PREPARED BY MACE CONSULTING ENGINEERS, DATED AUGUST 14, 2006.
- CERTAIN ADDITIONAL EXISTING FEATURES INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "PARTIAL TOPOGRAPHIC SURVEY," PREPARED BY H2M ASSOCIATES, DATED OCTOBER 16, 2019. ADDITIONAL EXISTING FEATURES SHOWN HEREON ARE BASED ON A SITE VISIT IN MARCH 2019 BY H2M ASSOCIATE, INC.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED BY H2M ASSOCIATES, INC. ON APRIL 18, 2019 & SEPTEMBER 6, 2019. ELEVATIONS REFER TO N.A. V.D. 1988. BENCHMARK SHOWN ON PLAN.
- PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE APPROXIMATE. THESE LINES ARE REPRESENTATIVE OF PROPERTY LINES SHOWN ON GIS MAPS INFORMATION FROM THE TOWNSHIP OF MOUNT OLIVE AND ARE NOT CERTIFIED. A BOUNDARY SURVEY WAS NOT CONDUCTED.
- THE PROPOSED BUILDING CONFIGURATION SHOWN HEREON IS BASED ON PLANS PREPARED BY H2M ARCHITECTS AND ENGINEERS, INC. DATED OCTOBER 2021. BUILDING DIMENSIONS SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP OF MOUNT OLIVE, COUNTY, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS AND DIRECTIVES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF FIELD CONDITIONS OR CONFLICTS THAT WOULD ADVERSELY IMPACT CONSTRUCTION AS SHOWN ON THE PLANS.
- H2M ASSOCIATES, INC. HAS NO RESPONSIBILITY FOR THE METHODS, TECHNIQUES OR PROCEDURES OF CONSTRUCTION, FOR SAFETY MEASURES OR PRECAUTIONS RELATED TO CONSTRUCTION, OR ANY FAILURE TO COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES OR CODES.
- ALL SIGNAGE AND STRIPING SHALL BE INSTALLED IN CONFORMANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS ADOPTED BY THE NJ DEPARTMENT OF TRANSPORTATION.
- THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS AFFECTING THE SUBJECT PROPERTY. SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- MECHANICAL EQUIPMENT SHALL COMPLY WITH JUDE NOISE LIMIT OF 50 DECIBELS AT PROPERTY LINES. ON SITE TESTING OF EQUIPMENT SHALL BE PERFORMED AS REQUIRED BY TOWNSHIP ENGINEER.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA BASED ON CURRENT FLOOD HAZARD MAPPING.
- THE SUBJECT PROPERTY DOES NOT CONTAIN ANY FRESHWATER WETLANDS, WETLANDS TRANSITION AREAS OR RIPARIAN ZONES BASED ON A SITE INVESTIGATION PERFORMED BY H2M ASSOCIATES, INC.
- THE SUBJECT PROPERTY DOES NOT CONTAINS REGULATED STEEP SLOPE AREAS AS DEFINED BY THE MOUNT OLIVE STEEP SLOPE ORDINANCES. THEREFORE, A STEEP SLOPES ANALYSIS PLAN HAS NOT BEEN PREPARED.
- ALL IMPORTED FILL MATERIALS SHALL BE TESTED AS "CLEAN FILL" BASED ON THE TARGET ANALYTE LIST (TAL) TARGET COMPOUND LIST (TCL) PLUS 30 PLUS EXTRACTABLE PETROLEUM HYDROCARBONS (EPH) IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION TECHNICAL GUIDELINES. TESTING INTERVALS TO BE ONE (1) TEST PER EACH SOURCE OF MATERIAL. TESTING INTERVALS FOR ALL OTHER SOURCES TO BE DETERMINED BASED UPON THE VOLUME OF FILL TO BE IMPORTED.
- ANY PAVEMENT, CURBING AND SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED.
- THE APPLICANT SHALL SATISFY THE REQUIREMENTS OF THE TRASH COLLECTION STANDARDS AND REGULATION FOR THE TOWNSHIP OF MOUNT OLIVE, INCLUDING SEPARATION OF RECYCLABLES.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE SURFACE MARKOUTS AND OBSERVATIONS AND ARE NOT CERTIFIED. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND CALL 1-800-272-1000 FOR MARKOUTS.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING VEGETATION INTENDED TO REMAIN.
- ALL EXISTING FEATURES TO REMAIN UNLESS NOTED TO BE REMOVED.
- THE PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWAGE SYSTEMS.
- ANY UTILITY CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANY.
- ALL EXCESS DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR AND PROPERLY DISPOSED OF OFFSITE.
- ALL UNPAVED AREAS SHALL BE STABILIZED WITH TOPSOIL, FERTILIZER, SEED AND MULCH, OR LANDSCAPING AS INDICATED ON THE SITE PLAN.
- THERE ARE NO PROPOSED EASEMENTS, RIGHT-OF-WAYS, OR OTHER DEDICATIONS OF LAND TO THE TOWNSHIP OF MOUNT OLIVE.
- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THOSE HOURS PERMITTED BY ORDINANCE.
- THE PROJECT SITE SHALL COMPLY WITH THE MUNICIPAL REQUIREMENTS REGARDING EMISSION OF NOISE, GLARE, VIBRATION, HEAT, ODOR, AIR, AND WATER POLLUTION.



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				H2M Associates, Inc.		
				119 Cherry Hill Road, Suite 110 Parsippany, NJ 07054 862.207.5900 • www.h2m.com		
				NJ Certificate of Authorization No. 24GA28019100		
DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	DATE OCTOBER 12, 2021	PROJECT NO. KAPD 1902	SCALE 1" = 40'	
PRELIMINARY AND FINAL MAJOR SITE PLAN NEW MEMORY CARE BUILDING BLOCK 8400 - LOT 9						
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ						
OVERALL SITE PLAN						
STATUS: REGULATORY REVIEW				DRAWING # 3 OF 15		



SITE PLAN NOTES:

1. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "AS-BUILT PLAN BLOCK 8400, LOT 9 PARAGON VILLAGE, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, PREPARED BY H2M CONSULTING ENGINEERS, DATED AUGUST 14, 2008.
2. CERTAIN ADDITIONAL EXISTING FEATURES INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "PARTIAL TOPOGRAPHIC SURVEY, PREPARED BY H2M ASSOCIATES, DATED OCTOBER 16, 2019. ADDITIONAL EXISTING FEATURES SHOWN HEREON ARE BASED ON A SITE VISIT IN MARCH 2019 BY H2M ASSOCIATE, INC.
3. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED BY H2M ASSOCIATES, INC. ON APRIL 16, 2019 & SEPTEMBER 6, 2019. ELEVATIONS REFER TO N.A. V.D. 1988. BENCHMARK SHOWN ON PLAN.
4. PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE APPROXIMATE. THESE LINES ARE REPRESENTATIVE OF PROPERTY LINES SHOWN ON GIS MAPS INFORMATION FROM THE TOWNSHIP OF MOUNT OLIVE AND ARE NOT CERTIFIED. A BOUNDARY SURVEY WAS NOT CONDUCTED.
5. THE PROPOSED BUILDING CONFIGURATION SHOWN HEREON IS BASED ON PLANS PREPARED BY H2M ARCHITECTS AND ENGINEERS, INC. DATED OCTOBER 2021. BUILDING DIMENSIONS SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.
6. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP OF MOUNT OLIVE, COUNTY, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS AND DIRECTIVES.
7. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF FIELD CONDITIONS OR CONFLICTS THAT WOULD ADVERSELY IMPACT CONSTRUCTION AS SHOWN ON THE PLANS.
8. H2M ASSOCIATES, INC. HAS NO RESPONSIBILITY FOR THE METHODS, TECHNIQUES OR PROCEDURES OF CONSTRUCTION, FOR SAFETY MEASURES OR PRECAUTIONS RELATED TO CONSTRUCTION, OR ANY FAILURE TO COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES OR CODES.
9. ALL SIGNAGE AND STRIPING SHALL BE INSTALLED IN CONFORMANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS ADOPTED BY THE NJ DEPARTMENT OF TRANSPORTATION.
10. THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS AFFECTING THE SUBJECT PROPERTY, SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
11. MECHANICAL EQUIPMENT SHALL COMPLY WITH JUDE NOISE LIMIT OF 50 DECIBELS AT PROPERTY LINES. ON SITE TESTING OF EQUIPMENT SHALL BE PERFORMED AS REQUIRED BY TOWNSHIP ENGINEER.
12. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA BASED ON CURRENT FLOOD HAZARD MAPPING.
13. THE SUBJECT PROPERTY DOES NOT CONTAIN ANY FRESHWATER WETLANDS, WETLANDS TRANSITION AREAS OR RIPARIAN ZONES BASED ON A SITE INVESTIGATION PERFORMED BY H2M ASSOCIATES, INC.
14. THE SUBJECT PROPERTY DOES NOT CONTAINS REGULATED STEEP SLOPE AREAS AS DEFINED BY THE MOUNT OLIVE STEEP SLOPE ORDINANCES. THEREFORE, A STEEP SLOPES ANALYSIS PLAN HAS NOT BEEN PREPARED.
15. ALL IMPORTED FILL MATERIALS SHALL BE TESTED AS "CLEAN FILL" BASED ON THE TARGET ANALYTE LIST (TAL) TARGET COMPOUND LIST (TCL) PLUS 30 PLUS EXTRACTABLE PETROLEUM HYDROCARBONS (EPH) IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION TECHNICAL GUIDELINES. TESTING INTERVALS TO BE ONE (1) TEST PER EACH SOURCE OF MATERIAL. TESTING INTERVALS FOR ALL OTHER SOURCES TO BE DETERMINED BASED UPON THE VOLUME OF FILL TO BE IMPORTED.
16. ANY PAVEMENT, CURBING AND SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED.
17. THE APPLICANT SHALL SATISFY THE REQUIREMENTS OF THE TRASH COLLECTION STANDARDS AND REGULATION FOR THE TOWNSHIP OF MOUNT OLIVE, INCLUDING SEPARATION OF RECYCLABLES.
18. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE SURFACE MARKOUTS AND OBSERVATIONS AND ARE NOT CERTIFIED. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND CALL 1-800-272-1000 FOR MARKOUTS.
19. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING VEGETATION INTENDED TO REMAIN.
20. ALL EXISTING FEATURES TO REMAIN UNLESS NOTED TO BE REMOVED.
21. THE PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWAGE SYSTEMS.
22. ANY UTILITY CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANY.
23. ALL EXCESS DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR AND PROPERLY DISPOSED OF OFFSITE.
24. ALL UNPAVED AREAS SHALL BE STABILIZED WITH TOPSOIL, FERTILIZER, SEED AND MULCH, OR LANDSCAPING AS INDICATED ON THE SITE PLAN.
25. THERE ARE NO PROPOSED EASEMENTS, RIGHT-OF-WAYS, OR OTHER DEDICATIONS OF LAND TO THE TOWNSHIP OF MOUNT OLIVE.
26. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THOSE HOURS PERMITTED BY ORDINANCE.
27. THE PROJECT SITE SHALL COMPLY WITH THE MUNICIPAL REQUIREMENTS REGARDING EMISSION OF NOISE, GLARE, VIBRATION, HEAT, ODOOR, AIR, AND WATER POLLUTION.

Block 9
Lot 12.01

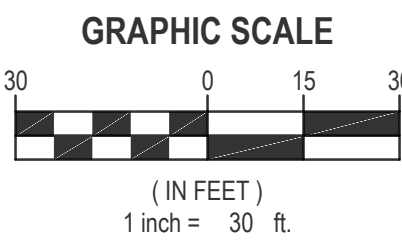
Block 8400
Lot 13

Block 8400
Lot 13.01

Block 8400
Lot 14

LEGEND

	BENCHMARK		WATER MAIN (QL-D)
	HYDRANT		SANITARY SEWER (QL-D)
	WATER VALVE		UNDERGROUND GAS (QL-D)
	UTILITY POLE		UNDERGROUND ELECTRIC (QL-D)
	GAS VALVE		OVERHEAD WIRES
	DRAINAGE MANHOLE		FENCE
	SANITARY MANHOLE		EDGE OF PAVEMENT
	SIGN		CONTOUR
	CATCH BASIN		SPOT ELEVATION
	LIGHT		TOP/BOT CURB GRADE
	CLEAN OUT		HANDICAP PARKING STALL
	PULL BOX		ASPHALT PAVEMENT
	EVERGREEN TREE		CONCRETE PAVEMENT
	DECIDUOUS TREE		GRAVEL AREA
	SANITARY/DRAINAGE FLOW ARROW		TO BE REMOVED
	CURB		TO REMAIN
	DROP CURB		
	STORM DRAIN (QL-D)		



THESE PLANS ARE FOR MUNICIPAL AND REVIEW AGENCY APPROVALS AND ARE NOT INTENDED AS CONSTRUCTION DOCUMENTS, UNLESS SPECIFICALLY NOTED.

H2M

H2M Associates, Inc.

119 Cherry Hill Road, Suite 110
Parsippany, NJ 07054
862.207.5900 • www.h2m.com

NJ Certificate of Authorization No. 24GA28019100

DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	DATE OCTOBER 12, 2021	SCALE 1" = 30'
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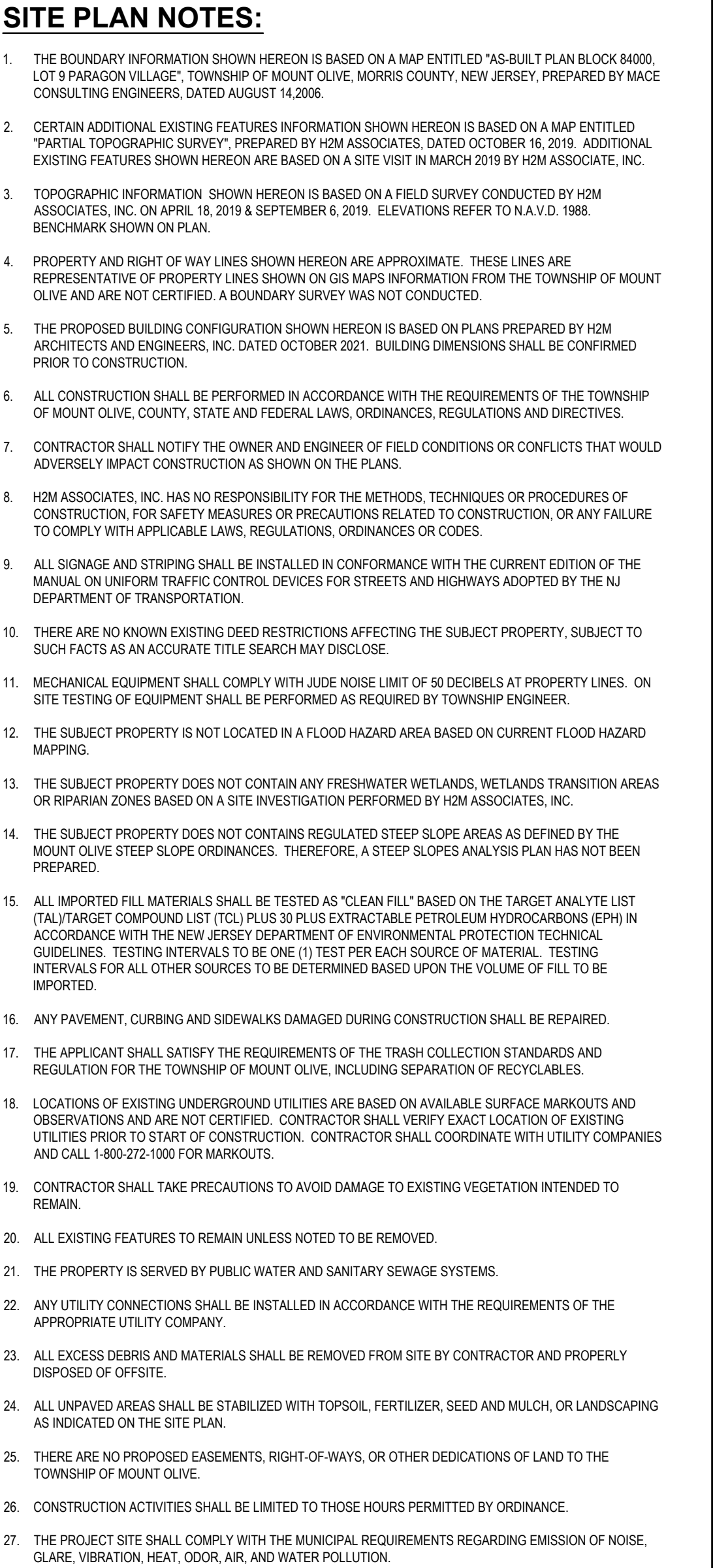
PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

DEMOLITION PLAN

STATUS: REGULATORY REVIEW DRAWING #: 4 OF 15

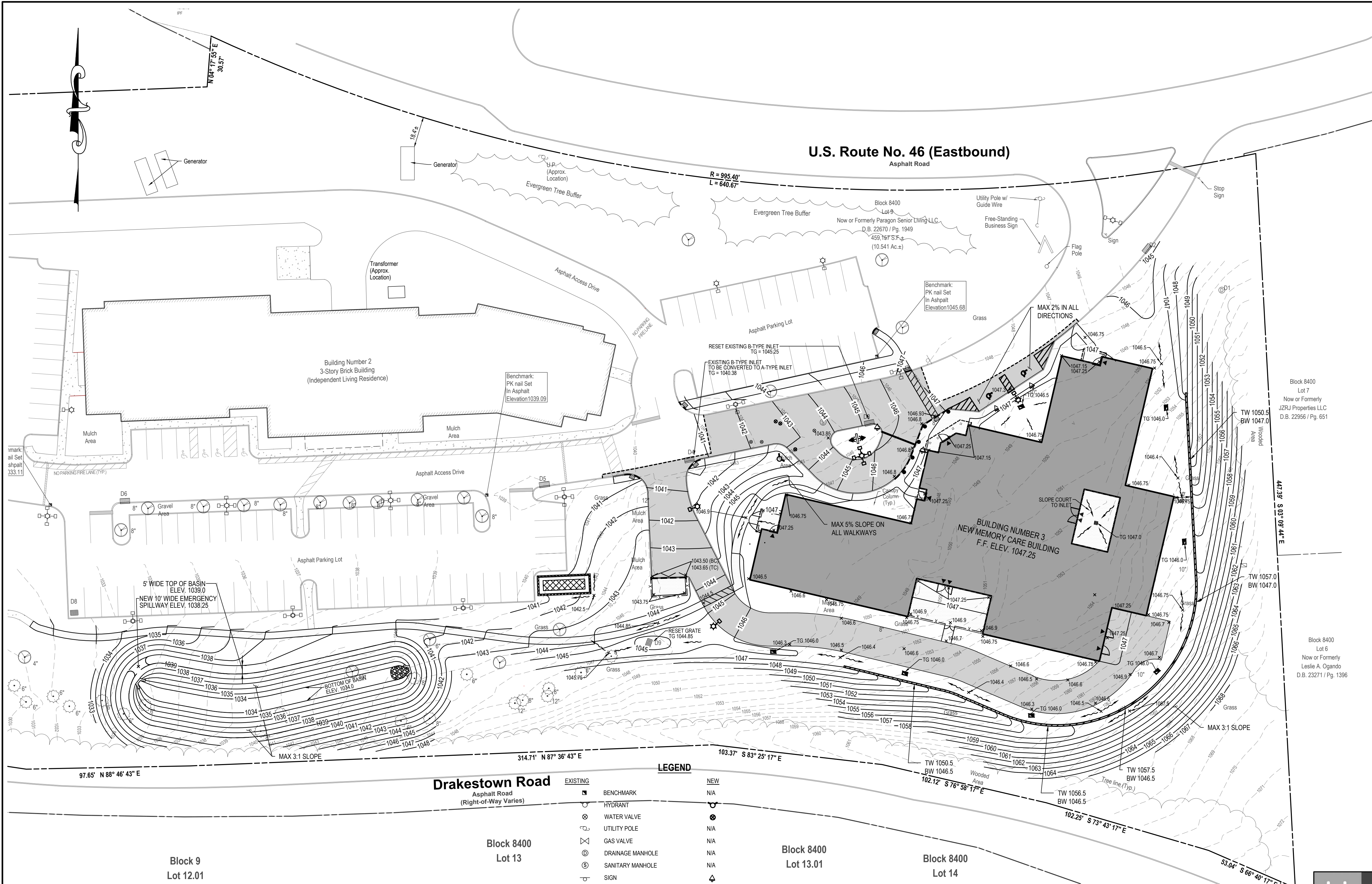
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- 1) **SECTION 550-103A PERMITTED PRINCIPAL USES IN THE C-2 COMMERCIAL DISTRICT**
Proposed: Memory Care Facility, not a permitted principal use
- 2) **SECTION 550-103(5)(B) SCHEDULE OF LIMITATIONS, NON-RESIDENTIAL DISTRICTS (FOR THE C-2 COMMERCIAL DISTRICT)**
 - Floor Area Ratio
 - Required: 0.30
 - Proposed: 0.31
- 3) **SECTION 550-103(5)(B) SCHEDULE OF LIMITATIONS, NON-RESIDENTIAL DISTRICTS (FOR THE C-2 COMMERCIAL DISTRICT)**
 - Front Yard Setback for Accessory Structures
 - Required: 100 FT
 - Proposed: 96.6 FT (New Generator)

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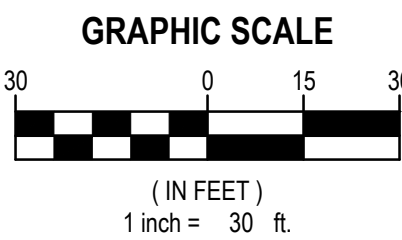


SITE PLAN NOTES:

1. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "AS-BUILT PLAN BLOCK 8400, LOT 9 PARAGON VILLAGE", TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, PREPARED BY MACE CONSULTING ENGINEERS, DATED AUGUST 14, 2006.
2. CERTAIN ADDITIONAL EXISTING FEATURES INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY H2M ASSOCIATES, DATED OCTOBER 16, 2019. ADDITIONAL EXISTING FEATURES SHOWN HEREON ARE BASED ON A SITE VISIT IN MARCH 2019 BY H2M ASSOCIATE, INC.
3. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED BY H2M ASSOCIATES, INC. ON APRIL 18, 2019 & SEPTEMBER 6, 2019. ELEVATIONS REFER TO N.A.V.D. 1988. BENCHMARK SHOWN ON PLAN.
4. PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE APPROXIMATE. THESE LINES ARE REPRESENTATIVE OF PROPERTY LINES SHOWN ON GIS MAPS INFORMATION FROM THE TOWNSHIP OF MOUNT OLIVE AND ARE NOT CERTIFIED. A BOUNDARY SURVEY WAS NOT CONDUCTED.
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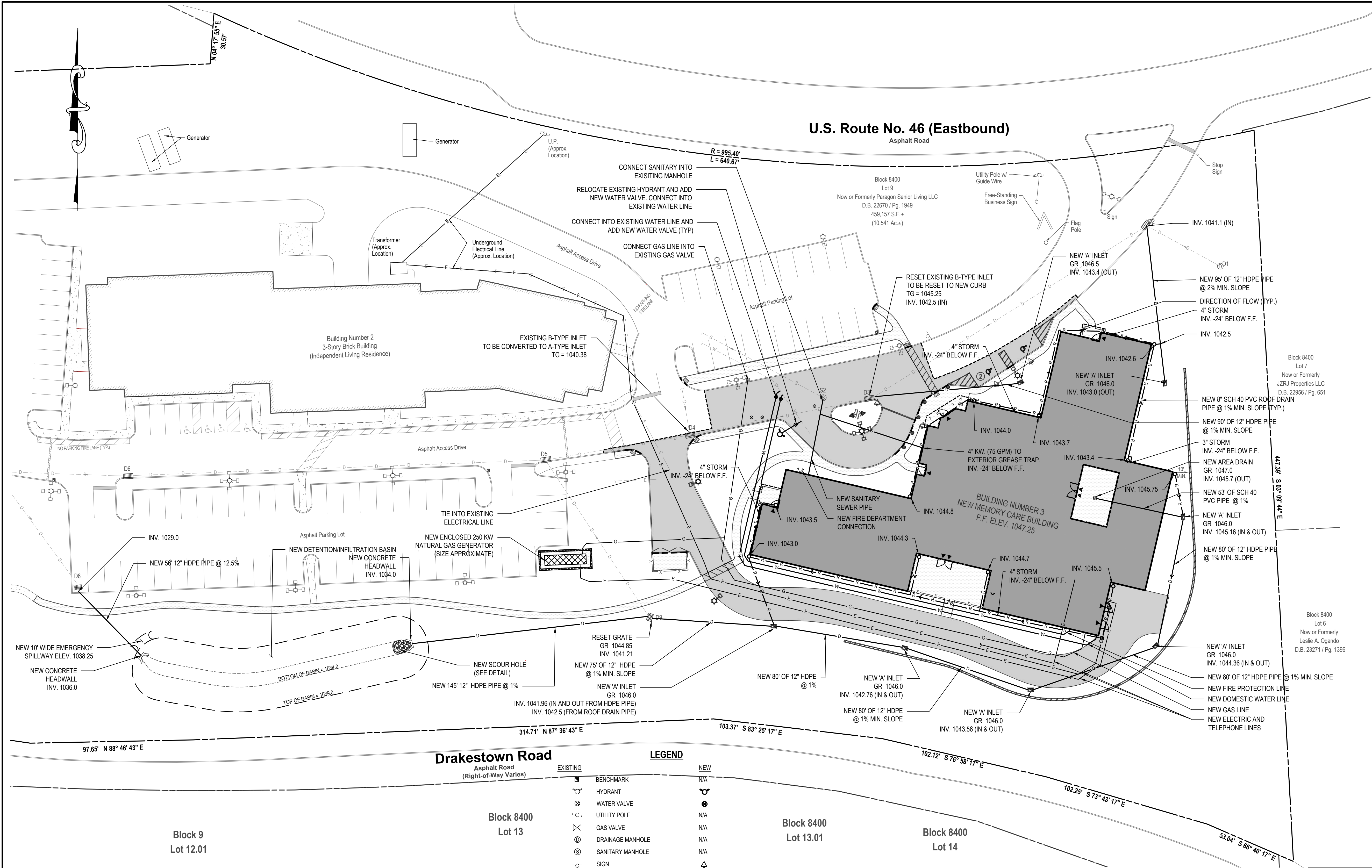
LEGEND	
EXISTING	NEW
BENCHMARK	N/A
HYDRANT	N/A
WATER VALVE	N/A
UTILITY POLE	N/A
GAS VALVE	N/A
DRAINAGE MANHOLE	N/A
SANITARY MANHOLE	N/A
SIGN	N/A
CATCH BASIN	N/A
LIGHT	SEE LANDSCAPE AND LIGHTING PLAN
CLEAN OUT	N/A
PULL BOX	N/A
EVERGREEN TREE	SEE LANDSCAPE AND LIGHTING PLAN
DECIDUOUS TREE	SEE LANDSCAPE AND LIGHTING PLAN
SANITARY/DRAINAGE FLOW ARROW	N/A
CURB	
DEPRESSED CURB	
STORM DRAIN (QL-D)	
WATER MAIN (QL-D)	
SANITARY SEWER (QL-D)	
UNDERGROUND GAS (QL-D)	
UNDERGROUND ELECTRIC (QL-D)	
OVERHEAD WIRES	N/A
FENCE	
EDGE OF PAVEMENT	
CONTOUR	
SPOT ELEVATION	
TOP/BOT CURB GRADE	



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		H2M Associates, Inc.	
119 Cherry Hill Road, Suite110 Parsippany, NJ 07054 862.207.5900 • www.h2m.com			
NJ Certificate of Authorization No. 24GA28019100			
DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	DATE OCTOBER 12, 2021
PROJECT NO. KAPD 1902		SCALE 1" = 30'	
PRELIMINARY AND FINAL MAJOR SITE PLAN NEW MEMORY CARE BUILDING BLOCK 8400 - LOT 9			
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ			
GRADING PLAN			
STATUS REGULATORY REVIEW		DRAWING # 6 OF 15	

X:\MAPD\Mapd Development Group\KAPD1902 Site Eng at Paragon\1902-BM-CAD\CD\Condo-schematic Grading Plan.dwg Last Modified: Oct 12, 2021 - 10:18am Plotted on: Oct 12, 2021 - 10:18am By: extension



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EXISTING STRUCTURE SCHEDULE			
STRUCT. NUMBER	STRUCTURE TYPE	EXIST. RIM/GR. ELEVATION (FEET)	EXISTING INVERT ELEVATIONS (FEET)
S1	DRAINAGE MANHOLE, 8'Ø SOLID BRICK & CONCRETE STRUCTURE	1062.59	NW 1041.3 (24" HDPE)
S2	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1044.25	SE 1040.3 (24" HDPE), SW 1040.1 (24" HDPE)
S3	RECTANGULAR 'B' INLET, 4'X4' CONCRETE (SEE PLAN FOR CHANGES)	1044.64	SW 1038.3 (24" CPEP), SE 1040.3 (15" HDPE), NE 1039.2 (24" HDPE)
S4	RECTANGULAR 'B' INLET, 4'X4' CONCRETE (SEE PLAN FOR CHANGES)	1040.38	SW 1033.6 (30" CPEP), NE 1034.9 (24" CPEP), NW 1033.8 (15" CPEP)
S5	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1038.80	W 1033.6 (30" HDPE), E 1033.8 (30" CPEP), SE 1034.9 (15" HDPE),
S6	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1036.03	E 1030.8 (30" HDPE), W 1027.3 (30" HDPE)
S7	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1031.60	E 1024.9 (30" HDPE), SE 1027.9 (15" HDPE), SW 1021.1 (36" CPEP)
S8	RECTANGULAR 'E' INLET, 4'X4' CONCRETE (SEE PLAN FOR CHANGES)	1032.00	NW 1028.3 (15" HDPE)
S9	RECTANGULAR 'E' INLET, 4'X4' CONCRETE (SEE PLAN FOR CHANGES)	1046.17	NW 1041.7 (15" HDPE)
S10	RECTANGULAR 'E' INLET, 4'X4' CONCRETE	1048.60	W 1044.5 (12" HDPE)
S11	RECTANGULAR 'B' INLET, 4'X4' CONCRETE	1046.38	NE 1041.7 (15" HDPE), NW 1041.2 (12" HDPE)
S12	SANITARY MANHOLE, 8'Ø SOLID BRICK & CONCRETE STRUCTURE	1048.97	SW 1037.9 (8" PVC)
S13	SANITARY MANHOLE, 8'Ø SOLID BRICK & CONCRETE STRUCTURE	1043.78	NE 1031.1 (8" PVC), NW 1036.3 (8" PVC)

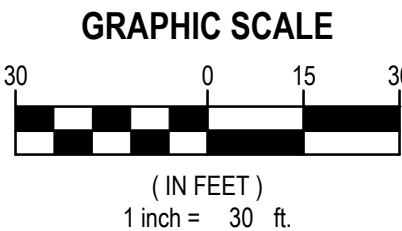
Block 8400 Lot 13

Block 8400 Lot 13.01

Block 8400 Lot 14

LEGEND

EXISTING	NEW
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	SEE LANDSCAPE AND LIGHTING PLAN
	N/A
	N/A
	SEE LANDSCAPE AND LIGHTING PLAN
	SEE LANDSCAPE AND LIGHTING PLAN
	N/A
	N/A
	N/A
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	N/A
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	N/A
	N/A



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NJ Certificate of Authorization No. 24GA28019100

DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	Q
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PROJECT NO. KAPD 1902	DATE OCTOBER 12, 2021	SCALE 1" = 30'
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**PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9**

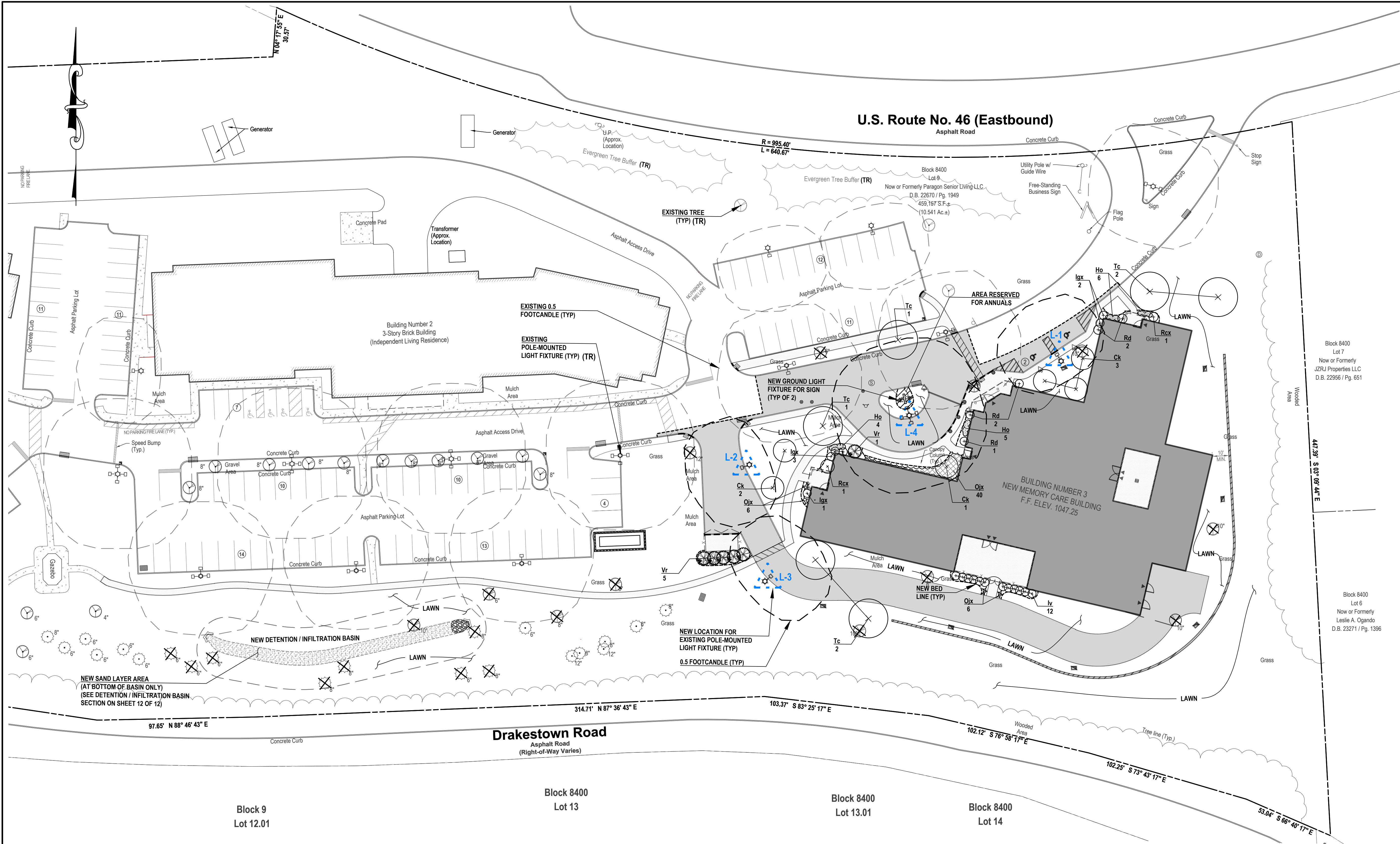
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

UTILITY PLAN

STATUS:
REGULATORY REVIEW

DRAWING #
7 OF 15

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 - ALL SIGNAGE AND STRIPING SHALL BE INSTALLED IN CONFORMANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS ADOPTED BY THE NJ DEPARTMENT OF TRANSPORTATION.
 - THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS AFFECTING THE SUBJECT PROPERTY, SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 - MECHANICAL EQUIPMENT SHALL COMPLY WITH JUDE NOISE LIMIT OF 50 DECIBELS AT PROPERTY LINES. ON SITE TESTING OF EQUIPMENT SHALL BE PERFORMED AS REQUIRED BY TOWNSHIP ENGINEER.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA BASED ON CURRENT FLOOD HAZARD MAPPING.
 - THE SUBJECT PROPERTY DOES NOT CONTAIN ANY FRESHWATER WETLANDS, WETLANDS TRANSITION AREAS OR RIPARIAN ZONES BASED ON A SITE INVESTIGATION PERFORMED BY H2M ASSOCIATES, INC.
 - THE SUBJECT PROPERTY DOES NOT CONTAINS REGULATED STEEP SLOPE AREAS AS DEFINED BY THE MOUNT OLIVE STEEP SLOPE ORDINANCES. THEREFORE, A STEEP SLOPES ANALYSIS PLAN HAS NOT BEEN PREPARED.
 - ALL IMPORTED FILL MATERIALS SHALL BE TESTED AS "LEAN FILL" BASED ON THE TARGET ANALYTE LIST (TAL) TARGET COMPOUND LIST (TCL) PLUS 30 PLUS EXTRACTABLE PETROLEUM HYDROCARBONS (EPH) IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION TECHNICAL GUIDELINES. TESTING INTERVALS TO BE ONE (1) TEST PER EACH SOURCE OF MATERIAL. TESTING INTERVALS FOR ALL OTHER SOURCES TO BE DETERMINED BASED UPON THE VOLUME OF FILL TO BE IMPORTED.
 - ANY PAVEMENT, CURBING AND SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED.
 - THE APPLICANT SHALL SATISFY THE REQUIREMENTS OF THE TRASH COLLECTION STANDARDS AND REGULATION FOR THE TOWNSHIP OF MOUNT OLIVE, INCLUDING SEPARATION OF RECYCLABLES.
 - LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON AVAILABLE SURFACE MARKOUTS AND OBSERVATIONS AND ARE NOT CERTIFIED. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AND CALL 1-800-272-1000 FOR MARKOUTS.
 - CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING VEGETATION INTENDED TO REMAIN.
 - ALL EXISTING FEATURES TO REMAIN UNLESS NOTED TO BE REMOVED.
 - THE PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWAGE SYSTEMS.
 - ANY UTILITY CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE UTILITY COMPANY.
 - ALL EXCESS DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR AND PROPERLY DISPOSED OF OFFSITE.
 - ALL UNPAVED AREAS SHALL BE STABILIZED WITH TOPSOIL, FERTILIZER, SEED AND MULCH, OR LANDSCAPING AS INDICATED ON THE SITE PLAN.
 - THERE ARE NO PROPOSED EASEMENTS, RIGHT-OF-WAYS, OR OTHER DEDICATIONS OF LAND TO THE TOWNSHIP OF MOUNT OLIVE.
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THOSE HOURS PERMITTED BY ORDINANCE.
 - THE PROJECT SITE SHALL COMPLY WITH THE MUNICIPAL REQUIREMENTS REGARDING EMISSION OF NOISE, GLARE, VIBRATION, HEAT, ODOR, AIR, AND WATER POLLUTION.

LANDSCAPE NOTES

- ALL SUPPLIED AND INSTALLED PLANT MATERIAL SHALL BE NURSERY GROWN STOCK IN ACCORDANCE WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1). PLANT MATERIAL SHALL BE OF THE APPROVED SPECIES AND GROWN UNDER THE SAME CLIMATIC CONDITIONS AS THE SUBJECT SITE. THEY SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS, AND DISEASE. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER.
- CONFIRM THE LOCATION OF EXISTING SUBSURFACE UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES AND COORDINATE WITH THE GRADING AND DRAINAGE PLAN OR UTILITY PLAN FOR THE LOCATION OF PROPOSED SUBSURFACE UTILITY LINES AND STRUCTURES PRIOR TO ANY EXCAVATION. NOTIFY THE LANDSCAPE ARCHITECT IF ANY CONFLICTS EXIST.
- NOTIFY THE OWNER IMMEDIATELY AND PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS IF SUB-GRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE.
- IF ANY DISCREPANCY EXISTS BETWEEN THE PLANT COUNT SHOWN IN THE PLANTING SCHEDULE AND THE LANDSCAPE PLAN, THE PLAN SHALL TAKE PRECEDENCE.
- UNLESS OTHERWISE APPROVED IN WRITING, INSTALL VEGETATION DURING THE FOLLOWING PERIODS:
 - DECIDUOUS WOODY PLANTS: SEPTEMBER 15 TO MAY 15 OR WHENEVER TEMPERATURE IS ABOVE 40 DEGREES F.
 - EVERGREENS: AUGUST 15 TO SEPTEMBER 30 OR DURING MARCH 15 AND MAY 30 BEFORE THE START OF NEW GROWTH.
 - SEEDING: APRIL 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 30.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE EXISTING GRADE IN THE NURSERY.
- DO NOT LOCATE TREE TRUNKS WITHIN THREE (3) FEET OF ANY PARKING LOT OR STREET CURBS.
- INSTALL A 2" 3" LAYER OF SHREDDED DARK MULCH IN ALL TREE PLANTING AREAS AND SHRUB BEDS. DO NOT PLACE MULCH DIRECTLY AGAINST TRUNKS OF TREES. FORM AN EARTH SAUCER AROUND EACH PLANT OR SHRUB BED SO AS TO HOLD WATER AND MULCH. PROVIDE SUFFICIENT IRRIGATION FOR ALL PLANT MATERIALS TO MAINTAIN HEALTHY AND VIGOROUS CONDITION UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.
- REMOVE TREE STAKES AND OTHER PLANTING GUIDE MATERIALS, IF SPECIFIED, AFTER ONE YEAR FROM THE TIME OF PLANTING.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER PLANTING FOLLOWING ACCEPTANCE BY THE OWNER. UPON COMPLETION OF THE ONE YEAR PLANT GUARANTEE PERIOD, REPLACE ALL PLANT MATERIAL DEEMED DEAD, DYING OR DISEASED AS DETERMINED BY THE OWNER. REPLACE PLANT WITH THE SAME SPECIES AND SIZE IMMEDIATELY DURING THE CURRENT GROWING SEASON OR AT THE BEGINNING OF THE NEXT GROWING SEASON.
- UPON COMPLETION OF PLANTING OPERATION CULTIVATE AND NEATLY RAKE ALL PLANTING AREAS.
- RESTORE ALL DISTURBED LAWN AREAS AND ALL AREAS NOT SPECIFICALLY IDENTIFIED FOR OTHER IMPROVEMENTS WITH 4 INCHES OF TOPSOIL AND SEED. PROVIDE SUFFICIENT MULCH AND IRRIGATION TO ESTABLISH AND MAINTAIN A HEALTHY STAND OF LAWN UNTIL PROJECT IS ACCEPTED BY THE OWNER.

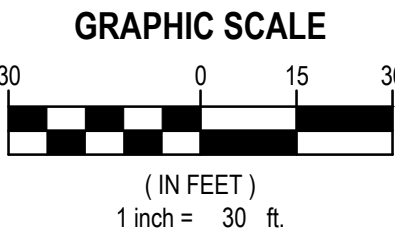
PLANT LEGEND

- NEW SHRUB (DECIDUOUS/EVERGREEN)
- NEW PERENNIAL / GRASSES
- NEW SHADE TREE / ORNAMENTAL TREE
- (TBR) TO BE REMOVED
- (TR) TO REMAIN

PLANTING SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
SHADE TREES / ORNAMENTAL TREES						
Ck	6	CORNUS KOUSA "SUMMER STARS"	SUMMER STARS KOUSA DOGWOOD	6'-8" HIGH	-	B & B, SPECIMEN
Tc	6	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	3'-3 1/2" CAL.	35' O.C. MIN.	B & B
LARGE SHRUBS						
Rcx	2	RHOODODENDRON CATAWBIENSE "NOVA ZEMBLA"	NOVA ZEMBLA CATAWBA RHOODODENDRON	30"-36"	5' O.C.	B & B (RED FLOWERS)
Vr	6	VIBURNUM RHYTIDOPHYLLOIDES "ALLEGHENY"	ALLEGHENY VIBURNUM	3'-4"	6' O.C.	B & B (WHITE FLOWER) (EVERGREEN LEAVES)
EVERGREEN / DECIDUOUS SHRUBS						
Igx	6	ILEX GLABRA "GEM BOX"	GEM BOX INKERRY HOLLY	18"-24"	3' O.C.	NO. 2 CAN (DWARF BROADLEAF)
Iv	12	ITEA VIRGINICA "HENRY'S GARNET"	HENRY'S GARNET VIRGINIA SWEETSPICE	24"-30"	3 1/2' O.C.	NO. 3 CAN (RED FLOWERS)
Rd	5	RHOODODENDRON "DELAWARE VALLEY WHITE"	DELAWARE VALLEY WHITE AZALEA	24"-30"	3' O.C.	NO. 3 CAN (WHITE FLOWERS)
PERENNIALS / GRASSES						
Ho	15	HELLEBORUS ORIENTALIS "BRANDYWINE SERIES"	BRANDYWINE LENTEN ROSE	12"-18"	2' O.C.	NO. 2 CAN (PURPLE-WHITE-PINK-FLOWERS)
Ojx	52	OPHIOPOGON JAPONICUS "NANA"	DWARF MONDO GRASS	12"-18"	3' O.C.	NO. 2 CAN

B & B = BALLED AND BURLAPPED



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H

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M

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NJ Certificate of Authorization No. 24GA28019100

DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	DATE OCTOBER 12, 2021	SCALE 1" = 30'
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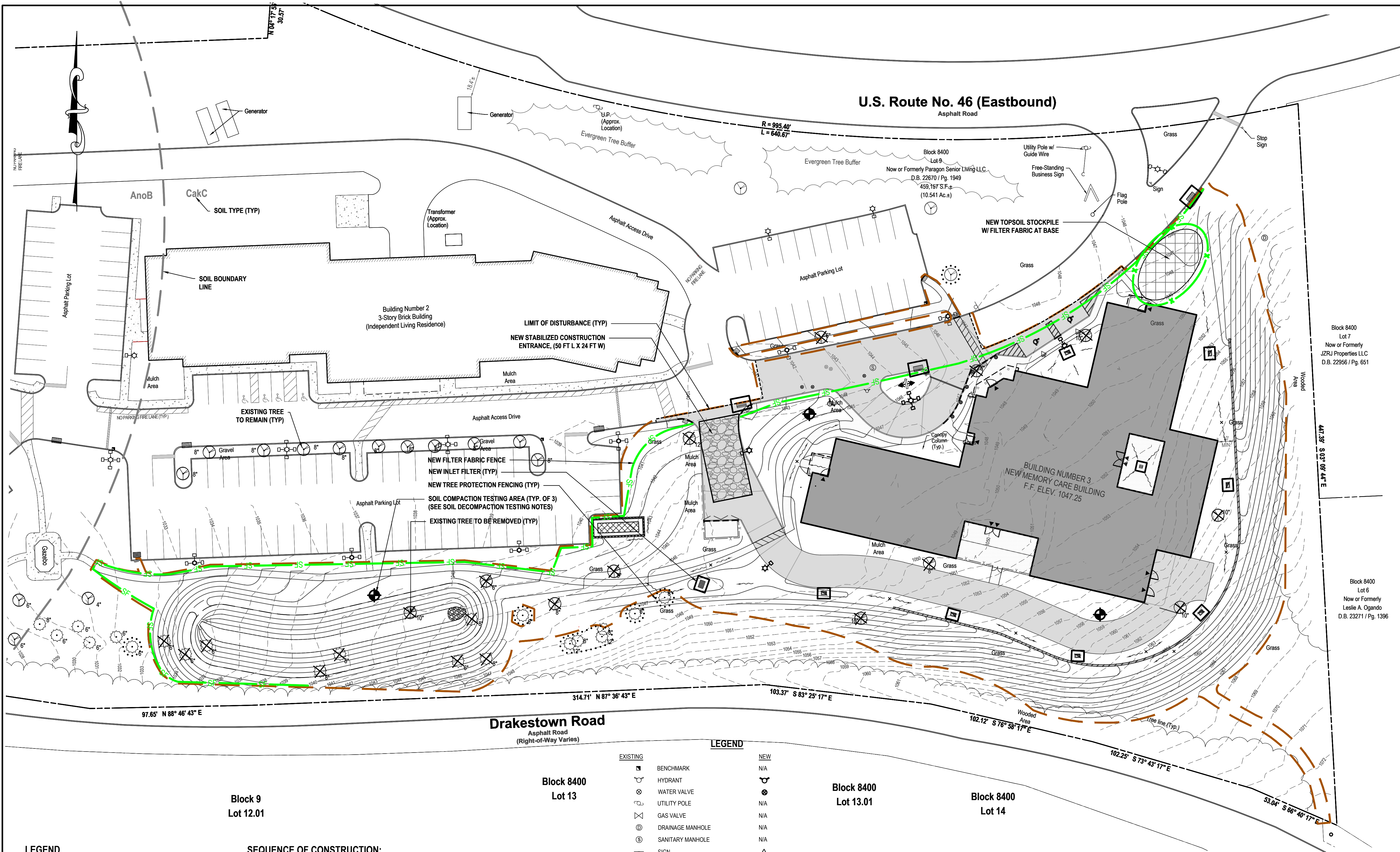
**PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9**

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

**LANDSCAPING AND
LIGHTING PLAN**

STATUS:
REGULATORY REVIEW

DRAWING #
8 OF 15



- SITE PLAN NOTES:**
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "AS-BUILT PLAN BLOCK 8400, LOT 9 PARAGON VILLAGE", TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY, PREPARED BY MACE CONSULTING ENGINEERS, DATED AUGUST 14, 2006.
 - CERTAIN ADDITIONAL EXISTING FEATURES INFORMATION SHOWN HEREON IS BASED ON A MAP ENTITLED "PARTIAL TOPOGRAPHIC SURVEY", PREPARED BY H2M ASSOCIATES, DATED OCTOBER 16, 2019. ADDITIONAL EXISTING FEATURES SHOWN HEREON ARE BASED ON A SITE VISIT IN MARCH 2019 BY H2M ASSOCIATE, INC.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY CONDUCTED BY H2M ASSOCIATES, INC. ON APRIL 18, 2019 & SEPTEMBER 6, 2019. ELEVATIONS REFER TO N.A.V.D. 1988. BENCHMARK SHOWN ON PLAN.
 - PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE APPROXIMATE. THESE LINES ARE REPRESENTATIVE OF PROPERTY LINES SHOWN ON GIS MAPS INFORMATION FROM THE TOWNSHIP OF MOUNT OLIVE AND ARE NOT CERTIFIED. A BOUNDARY SURVEY WAS NOT CONDUCTED.
 - THE PROPOSED BUILDING CONFIGURATION SHOWN HEREON IS BASED ON PLANS PREPARED BY H2M ARCHITECTS AND ENGINEERS, INC. DATED OCTOBER 2021. BUILDING DIMENSIONS SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP OF MOUNT OLIVE, COUNTY, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS AND DIRECTIVES.
 - CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF FIELD CONDITIONS OR CONFLICTS THAT WOULD ADVERSELY IMPACT CONSTRUCTION AS SHOWN ON THE PLANS.
 - H2M ASSOCIATES, INC. HAS NO RESPONSIBILITY FOR THE METHODS, TECHNIQUES OR PROCEDURES OF CONSTRUCTION, FOR SAFETY MEASURES OR PRECAUTIONS RELATED TO CONSTRUCTION, OR ANY FAILURE TO COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES OR CODES.
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 - THERE ARE NO KNOWN EXISTING DEED RESTRICTIONS AFFECTING THE SUBJECT PROPERTY, SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 - MECHANICAL EQUIPMENT SHALL COMPLY WITH ADEQUATE NOISE LIMIT OF 50 DECIBELS AT PROPERTY LINES. ON SITE TESTING OF EQUIPMENT SHALL BE PERFORMED AS REQUIRED BY TOWNSHIP ENGINEER.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA BASED ON CURRENT FLOOD HAZARD MAPPING.
 - THE SUBJECT PROPERTY DOES NOT CONTAIN ANY FRESHWATER WETLANDS, WETLANDS TRANSITION AREAS OR RIPARIAN ZONES BASED ON A SITE INVESTIGATION PERFORMED BY H2M ASSOCIATES, INC.
 - THE SUBJECT PROPERTY DOES NOT CONTAIN REGULATED STEEP SLOPE AREAS AS DEFINED BY THE MOUNT OLIVE STEEP SLOPE ORDINANCES. THEREFORE, A STEEP SLOPES ANALYSIS PLAN HAS NOT BEEN PREPARED.
 - ALL IMPORTED FILL MATERIALS SHALL BE TESTED AS "CLEAN FILL" BASED ON THE TARGET ANALYTE LIST (TAL) TARGET COMPOUND LIST (TCL) PLUS 30 PLUS EXTRACTABLE PETROLEUM HYDROCARBONS (EPH) IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION TECHNICAL GUIDELINES. TESTING INTERVALS TO BE ONE (1) TEST PER EACH SOURCE OF MATERIAL. TESTING INTERVALS FOR ALL OTHER SOURCES TO BE DETERMINED BASED UPON THE VOLUME OF FILL TO BE IMPORTED.
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 - ALL EXCESS DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR AND PROPERLY DISPOSED OF OFFSITE.
 - ALL UNPAVED AREAS SHALL BE STABILIZED WITH TOPSOIL, FERTILIZER, SEED AND MULCH, OR LANDSCAPING AS INDICATED ON THE SITE PLAN.
 - THERE ARE NO PROPOSED EASEMENTS, RIGHT-OF-WAYS, OR OTHER DEDICATIONS OF LAND TO THE TOWNSHIP OF MOUNT OLIVE.
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THOSE HOURS PERMITTED BY ORDINANCE.
 - THE PROJECT SITE SHALL COMPLY WITH THE MUNICIPAL REQUIREMENTS REGARDING EMISSION OF NOISE, GLARE, VIBRATION, HEAT, ODOR, AIR, AND WATER POLLUTION.

LEGEND

DESCRIPTION	SYMBOL
LIMIT OF DISTURBANCE	— — — — —
NEW FILTER FABRIC FENCE	— SF — SF —
NEW STABILIZED CONSTRUCTION ENTRANCE	
TOPSOIL STOCKPILE AREA	
SOIL COMPACTION TESTING LOCATION	

SEQUENCE OF CONSTRUCTION:

ITEM	DAY(S)
• INSTALL FILTER FABRIC, GRAVEL TRACKING BLANKET, AND TREE PROTECTION FENCING	1
• REMOVE EXISTING PAVEMENT AND EXISTING BUILDING	10
• STRIP TOPSOIL & STOCKPILE AND ADD FILTER FABRIC FENCE AT BASE (AS NEEDED)	2
• ROUGH GRADE AREA	10
• CONSTRUCT BUILDING	270
• INSTALL UNDERGROUND UTILITIES	10
• CONSTRUCT DRIVEWAY CURBING AND WALKWAY	10
• PERFORM SOIL COMPACTION TESTING	1
• FINE GRADES, SPREAD TOPSOIL, AND INSTALL LANDSCAPE PLANTS	5
• REMOVE ALL SOIL EROSION CONTROL MEASURES UPON COMPLETION OF PROJECT	1

AREA OF DISTURBANCE:

TOTAL AREA OF DISTURBANCE = 105,920 SF / 2.43 ACRES

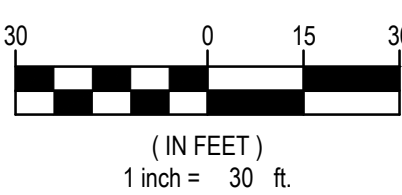
SOIL TYPE:

AnoB: ANNANDALE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
CakC: CALIFON LOAM, 8 TO 15 PERCENT SLOPES

LEGEND

EXISTING	NEW
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	N/A
	SEE LANDSCAPE AND LIGHTING PLAN
	N/A
	N/A
	SEE LANDSCAPE AND LIGHTING PLAN
	SEE LANDSCAPE AND LIGHTING PLAN
	N/A
	— — — — —
	— — — — —
	— — — — —
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	— — — — —
	— — — — —
	— — — — —
	N/A
	— — — — —
	— — — — —
	— — — — —
	100.0
	100.0

GRAPHIC SCALE



THESE PLANS ARE FOR MUNICIPAL AND REVIEW AGENCY APPROVALS AND ARE NOT INTENDED AS CONSTRUCTION DOCUMENTS, UNLESS SPECIFICALLY NOTED.

H2M

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NJ Certificate of Authorization No. 24GA28019100

DESIGNED BY: RBS

DRAWN BY: TDG

CHECKED BY: RBS/CRS

DATE: OCTOBER 12, 2021

SCALE: 1" = 30'

PROJECT NO: KAPD 1902

DATE: OCTOBER 12, 2021

SCALE: 1" = 30'

PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

SOIL EROSION AND
SEDIMENT CONTROL PLAN

STATUS: REGULATORY REVIEW

DRAWING # 9 OF 15

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY. AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR THEY HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREA. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAIN DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEARED WHEN THE CAPACITY HAS BEEN REDUCED BY 50 %. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- TOPSOIL STOCKPILE PROTECTION** (APPLY DURING GROWING SEASON)
 - A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.
 - C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
 - D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
 - F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS** (APPLY DURING GROWING SEASON)
 - A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - B) APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.
 - C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
 - D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
- PERMANENT STABILIZATION SPECIFICATIONS** (APPLY DURING GROWING SEASON)
 - A) APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
 - B) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT. AND WORK FOUR INCHES INTO
 - C) APPLY FERTILIZER (10-20-00) AT A RATE 11 LBS. PER 1000 SQ. FT.
 - D) APPLY SESC MIX #16 SEEDING MIXTURE (80% TURF TYPE TALL FESCUE/10% PERENNIAL RYE/ 10% KENTUCKY BLUEGRASS SEEDS) AT A RATE OF 200 LBS PER ACRE.
 - E) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

1. CONTRACTOR SHALL EMPLOY MEASURES TO CONTROL BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, AS NECESSARY.
2. METHODS FOR CONTROLLING DUST SHALL INCLUDE MULCHES, VEGETATIVE COVER, SPRAY-ON ADHESIVES, TILLAGE, SPRINKLING, BARRIERS, CALCIUM CHLORIDE, AND STONE COVER.
3. DUST CONTROLS SHALL COMPLY WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

NOTE: IMMEDIATELY UPON COMPLETION OF FINE GRADING ON THE STEEP SLOPE AREAS (3:1 SLOPES AND GREATER), THE SLOPES SHALL BE HYDROSEEDING AS FOLLOWS:

1. INSPECT AREA. SURFACE SHALL BE REASONABLY UNIFORM, FREE OF ALL STONES 2 INCHES OR LARGER, ALL DEBRIS, ROOTS, CLODS, OR OTHER UNSUITABLE MATERIAL. SOIL SHALL BE ROLLED FIRM BUT NOT COMPACTED.
2. APPLY LIMESTONE AND FERTILIZER AT THE FOLLOWING RATES:
 - 3 TONS PER ACRE GROUND LIMESTONE
 - 500 LBS. PER ACRE OF A 5-10-10 FERTILIZER.
3. APPLY SEED UNIFORMLY USING SEEDING MIXTURE SPECIFIED ABOVE, AT A RATE OF 220 LBS/ACRE. USE WOOD FIBER OR PAPER FIBER MULCH AT A RATE OF 1,500 LBS PER ACRE TO SEEDING MIXTURE.

SEEDING DATES: 4/1 - 5/31 OR 8/16 - 10/15, LEAVE NO BARE SPOTS.

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SHALL BE PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATION.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR EACH SOIL TYPE, THE CONTRACTOR SHALL HAVE THE OPTION TO EITHER (1) PERFORM MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTS TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION. IF THE CONTRACTOR CHOOSES TO PERFORM ADDITIONAL TESTING, COMPACTION MITIGATION, ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND
ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.

18-21"

Hold Wire here:

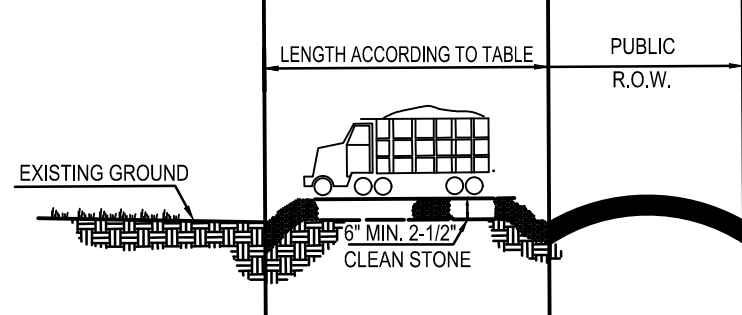
Wire must penetrate a minimum of 6" without deformation.

6.0" min. visible mark on wire at depth

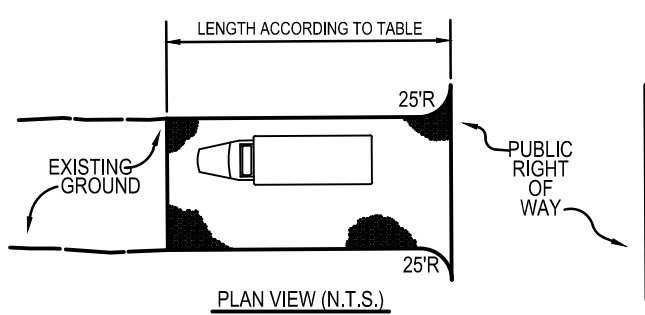
Wire may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

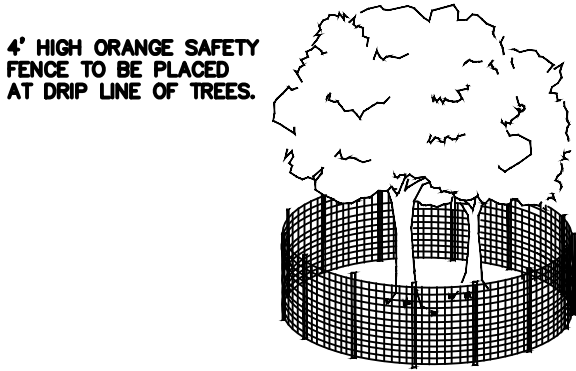
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

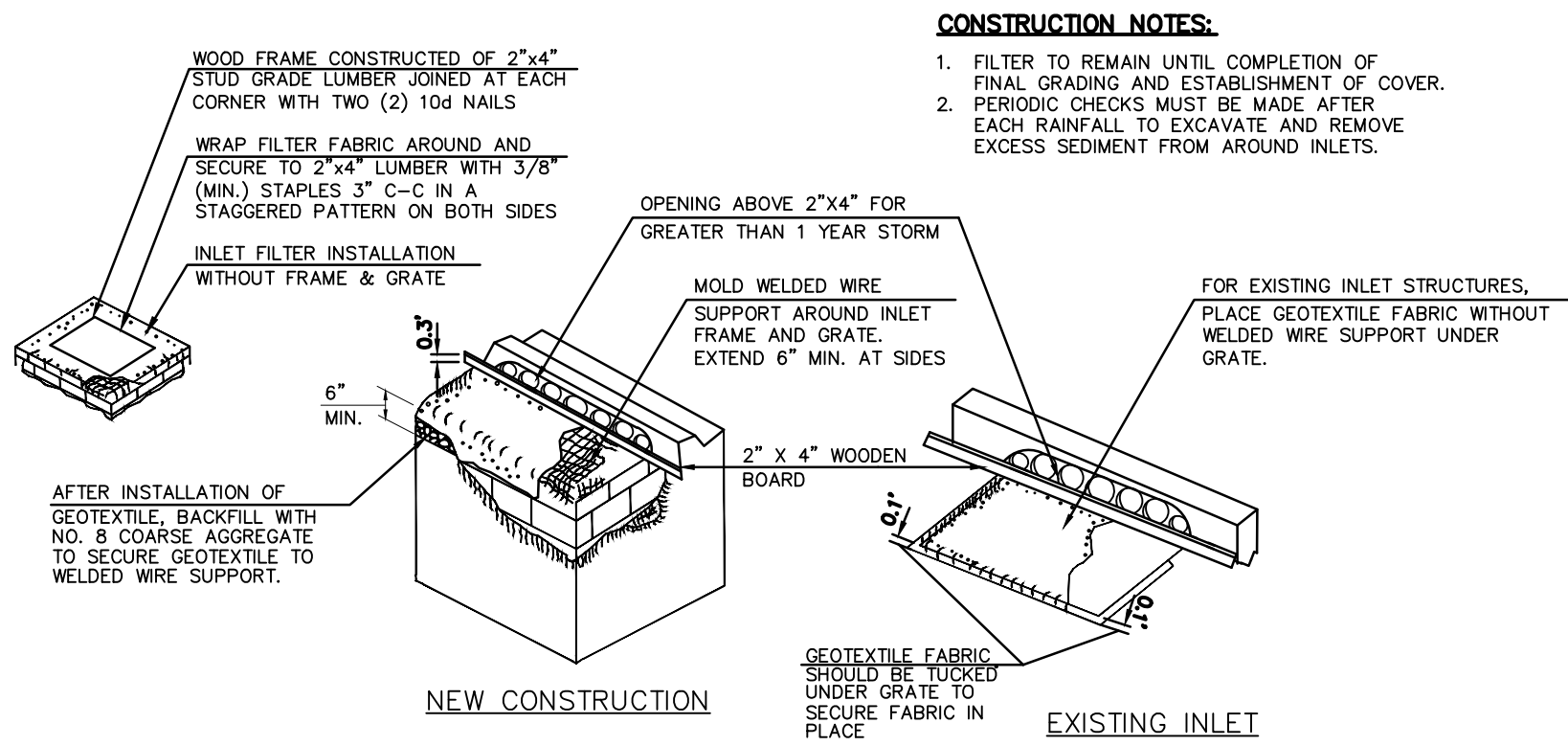


NOTE:	<u>PROFILE (N.T.S.)</u>
IF APPLICABLE, LOCATION TO BE COORDINATED WITH OCEAN COUNTY SOIL CONSERVATION DISTRICT OFFICIAL	PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC ROW

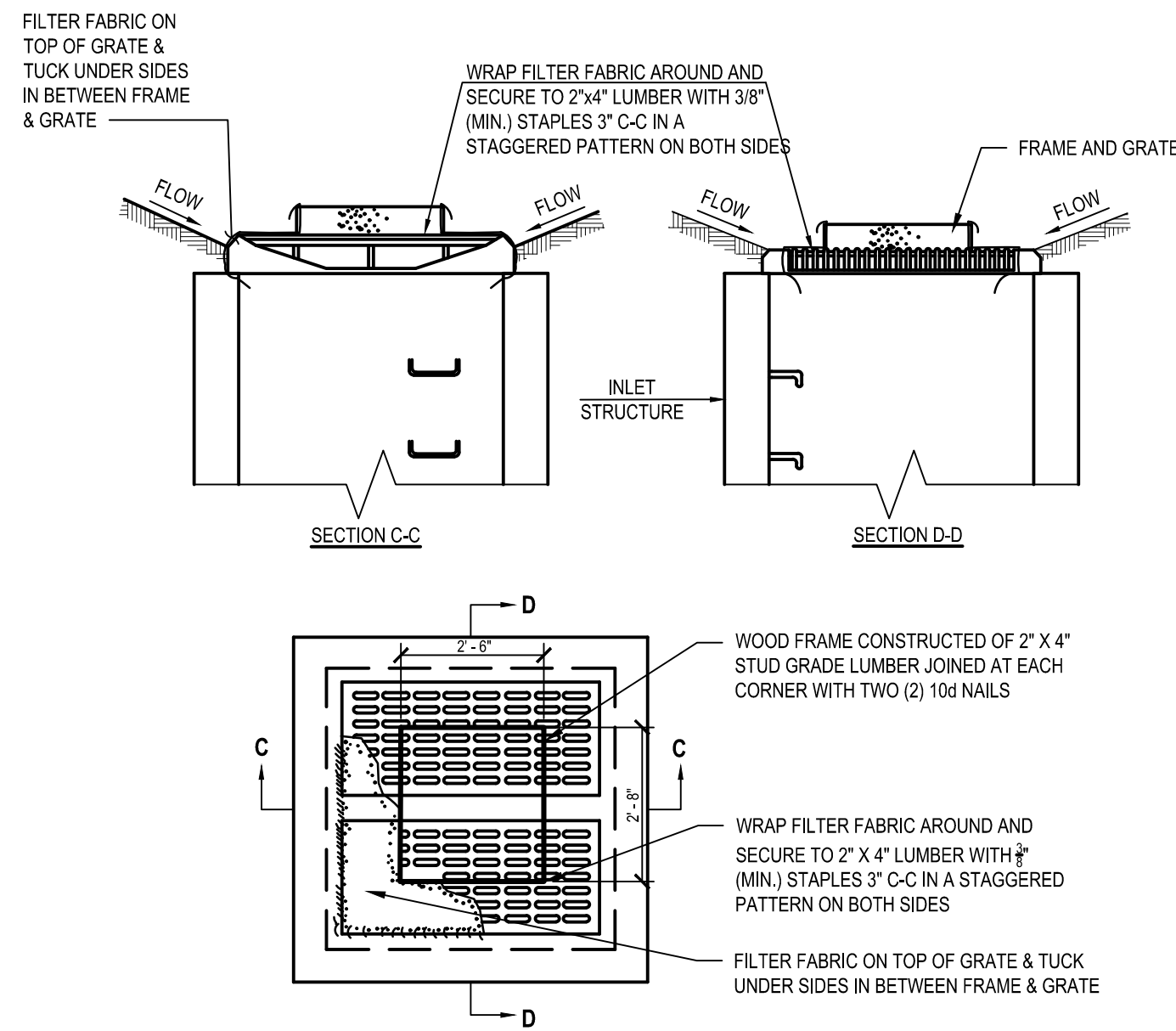


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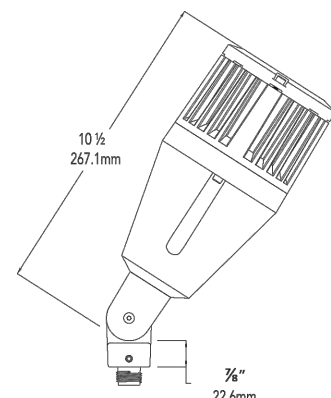
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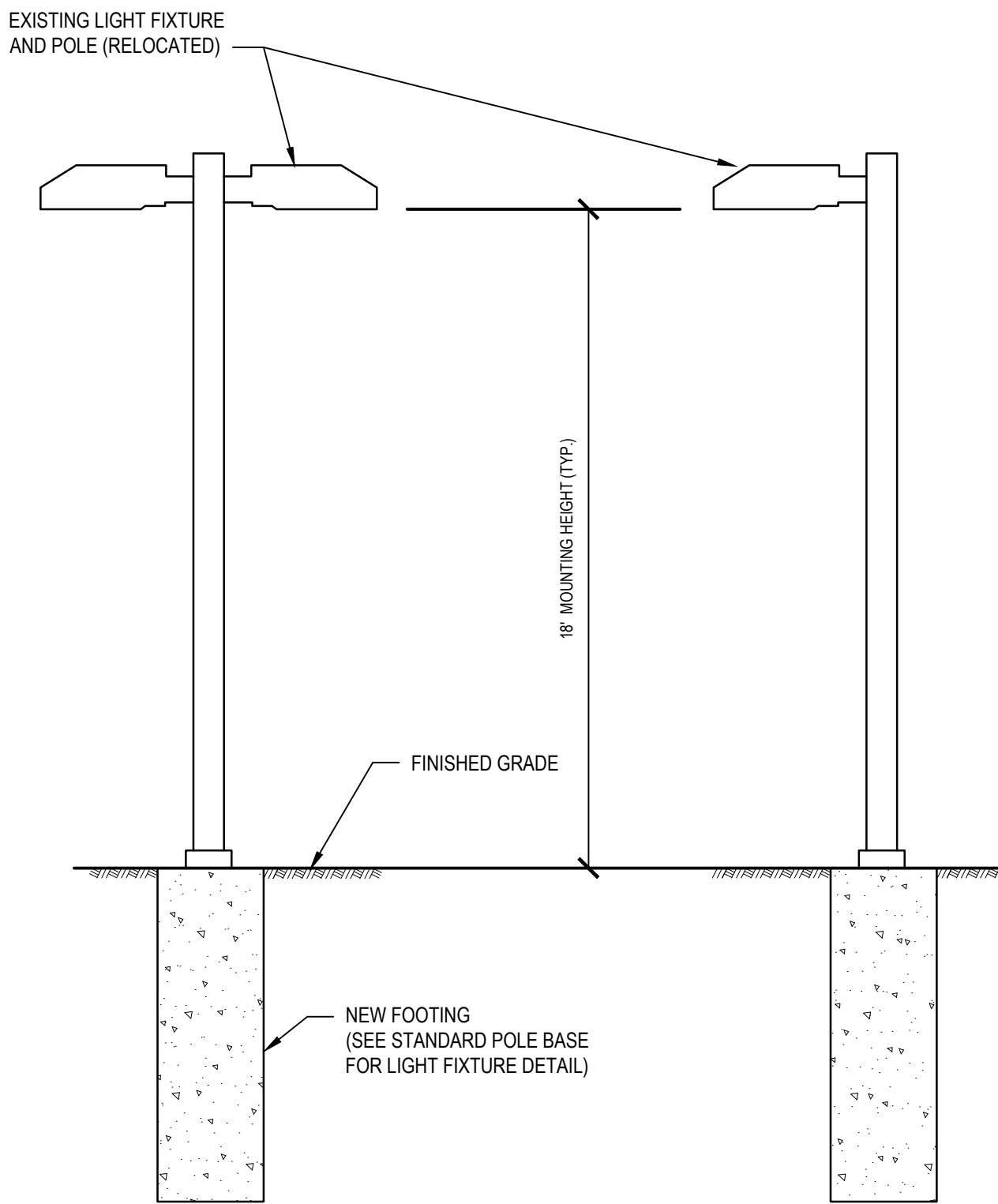


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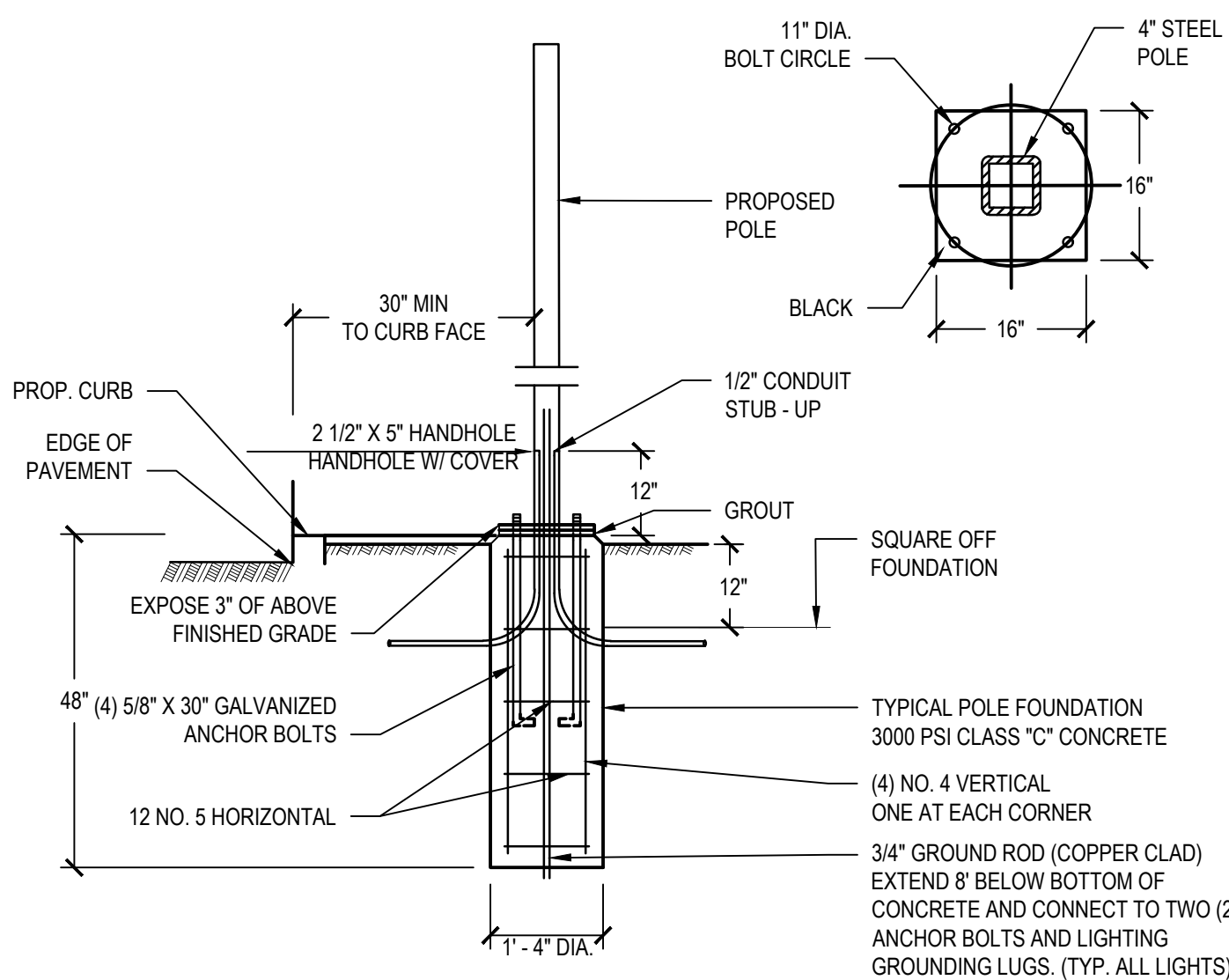


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(VISTA PROFESSIONAL OUTDOOR
LIGHTING LED FLOOD)



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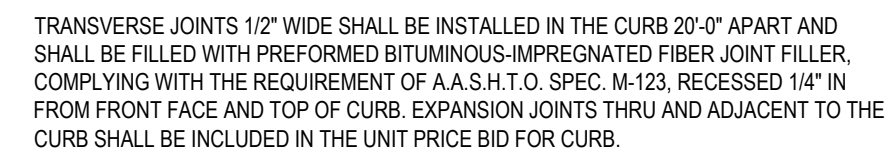
NOTE

LIGHT FIXTURE AND POLE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

NTS

<div style="font-size: 48px; font-weight: bold; letter-spacing: 10px;">H 2 M</div>		<h1 style="margin: 0;">H2M Associates, Inc.</h1>	
<p>119 Cherry Hill Road, Suite110 Parsippany, NJ 07054 862.207.5900 • www.h2m.com</p>			
<p>NJ Certificate of Authorization No. 24GA28019100</p>			
DESIGNED BY RBS	DRAWN BY TDG	CHECKED BY RBS/CRS	G.
PROJECT NO: KAPD 1902		DATE: OCTOBER 12, 2021	
		SCALE: AS NOTED	
<div style="border: 1px solid black; padding: 10px; margin-bottom: 10px;"> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">PRELIMINARY AND FINAL MAJOR SITE PLAN NEW MEMORY CARE BUILDING BLOCK 8400 - LOT 9</p> <p style="text-align: center;">TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ</p> </div> <div style="border: 1px solid black; padding: 10px;"> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">SITE DETAILS</p> </div>			
<div style="text-align: center;"> </div> <p style="text-align: center; font-weight: bold; font-size: 1.1em;">RICHARD B. SCHOMMER, JR., P.E.</p> <p style="text-align: center; font-size: 0.9em;">NJ PROFESSIONAL ENGINEER LIC. NO. 24GE00253400</p> <p style="text-align: center; font-size: 0.8em;">THIS SHALL NOT BE CONSIDERED AN OFFICIAL DOCUMENT UNLESS IT CONTAINS THE RAISED SEAL OF THE LICENSEE.</p>			
STATUS: REGULATORY REVIEW		DRAWING # 10 OF 15	

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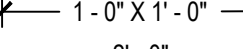
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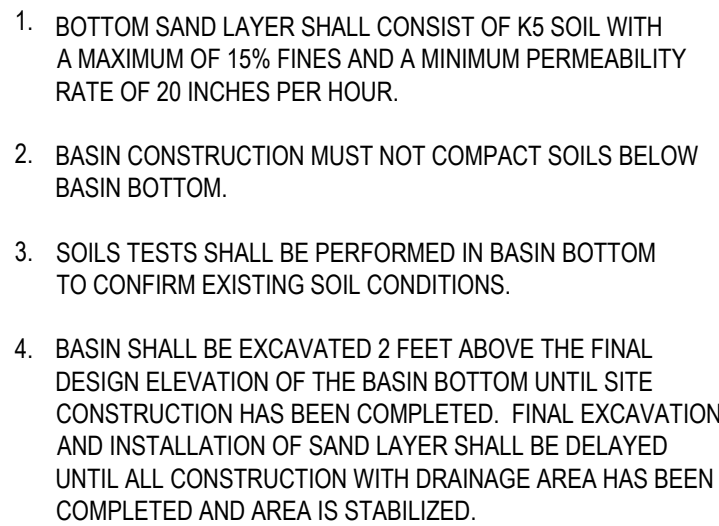
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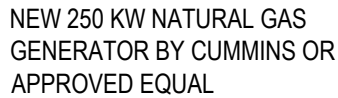
RICHARD B. SCHOMMER, JR. P.E.

NJ PROFESSIONAL ENGINEER Lic. No. 24GE03253400

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MODEL PERTAINING
TO THIS SITE

Data is based on a 100% rated load with a standard radiator-fan package.
Sound levels are subject to instrumentation, measurement, installation, and manufacturing variability.
The sound data for a GenSet with infinite exhaust does not include exhaust noise.

Specifications subject to change without notice.
Doc. A0427528 Rev.

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1. CONCRETE PLACED DURING COLD WEATHER PERIODS SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 501.11 AND 501.17 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED.
2. SLUMP TEST: 3" - 4".

NTS



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GENERAL NOTES:

1. CONCRETE PLACED DURING DULC WEATHER PERIODS SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 501.11 AND 501.17 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED.
2. SLUMP TEST: 3" - 4".
3. PROVIDE 1" MINIMUM SEPARATION BETWEEN CONCRETE AND ANY ADJACENT WALL OR OTHER STRUCTURE. INSTALL EXPANSION JOINT OR FLEXIBLE GROUT IN SEPARATION.
4. INSTALL MECHANICAL EXPANSION IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, INCLUDING FLEXIBLE SUPPLY LINES AND OTHER CONNECTIONS, VIBRATION PADS, MOUNTING HARDWARE AND OTHER APPURTENANCES AS REQUIRED.
5. THIS DETAIL IS FOR ILLUSTRATION PURPOSES. FINAL DESIGN SHALL BE PREPARED IN CONSULTATION WITH EQUIPMENT PROVIDERS AND OWNER PRIOR TO CONSTRUCTION.

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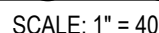
1. CONCRETE TO OBTAIN A STRENGTH OF 4,000 PSI. IN 28 DAYS.
2. REINFORCING STEEL TO HAVE A YIELD STRENGTH OF 60,000 PSI.

NTS



- EACH BOARD IS APPROXIMATELY 3/4" THICK X 5 1/2"
- 3 1/2" WIDE BOARDS ARE OPTIONAL.
- BOTH EDGES AND ONE SIDE OF BOARDS ARE SMOOTH, RESAWN FACE IS NORMALLY PLACED ON OUTSIDE PANEL.
- 2"x4" RS STRINGERS ARE POSITIONED ON EDGE FOR MAXIMUM STRENGTH.
- BOARDS ARE FASTENED TO STRINGERS WITH SIX 1 7/8" GALVANIZED SCREW OR RING SHANK NAILS.
- FENCE HEIGHT SHALL BE 3'-6" WHERE INSTALLED ABOVE RETAINING WALL.
- FINISHED SIDE OF FENCE SHALL FACE PROPERTY LINE.
- ALL BOARDS USED SHALL BE PRESSURE TREATED WOOD.
- BASED ON DESIGN PLANS, FOUR (4) GATES ARE REQUIRED.

NTS

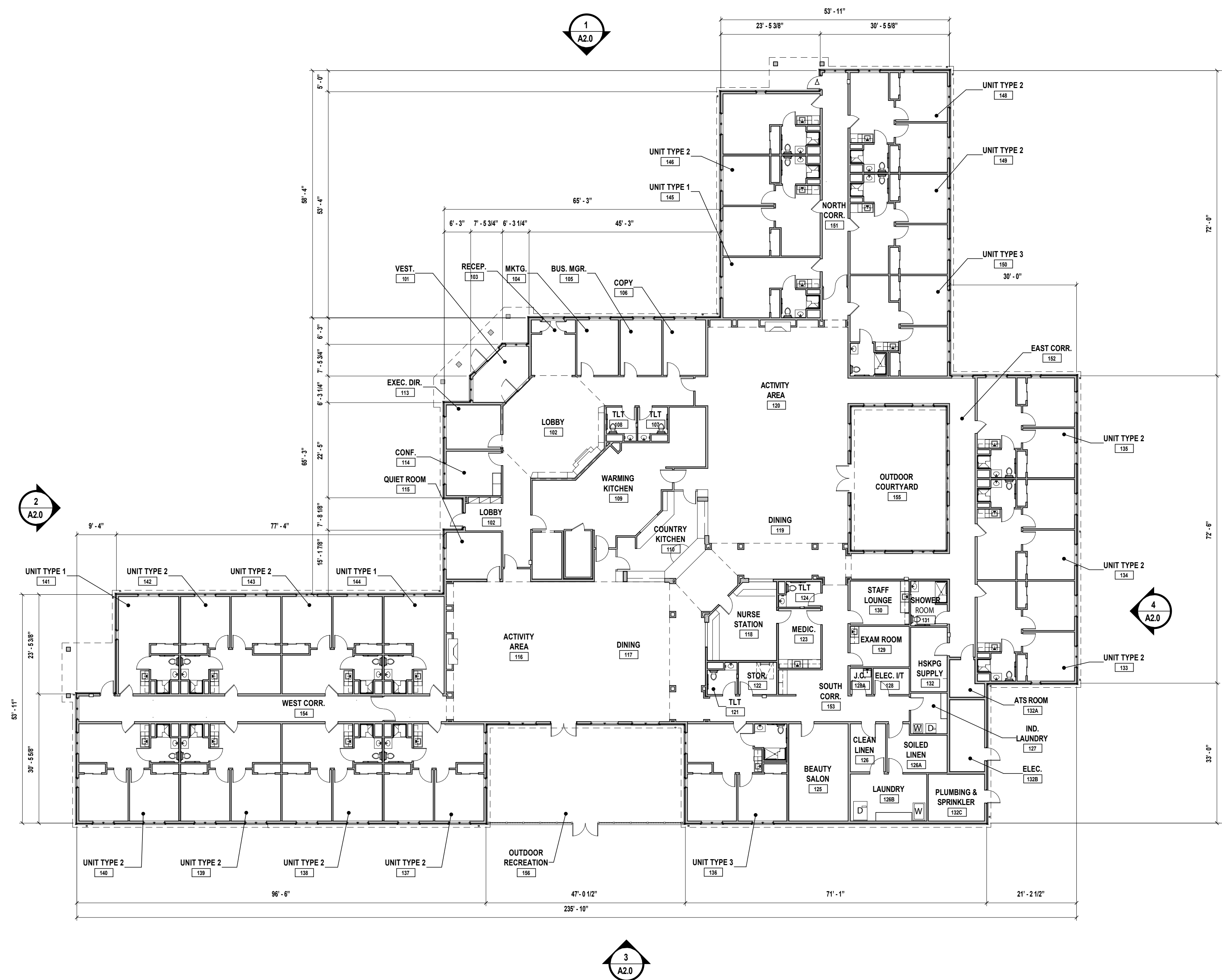


5 FT FROM BUILDING FOUNDATION (TYP.)



NT

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1 Overall First Floor Plan
SCALE: 1/16" = 1'-0"

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H2M

H2M Architects & Engineers, Inc.

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Parsippany, NJ 07054
862.207.5900 • www.h2m.com
NJ Architecture Certificate of Authorization No. 21AC00102900
NJ Engineering Certificate of Authorization No. 24GA28025500

DESIGNED BY: MAM	DRAWN BY: AMS/MLH	CHECKED BY: AMS	DATE: OCTOBER 12, 2021	SCALE: AS NOTED
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MICHAEL J. BONACASA, R.A.
NJ PROFESSIONAL ARCHITECT Lic. No. 21A01895500

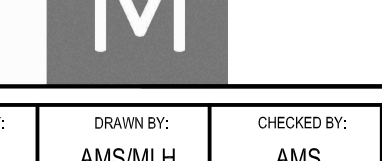
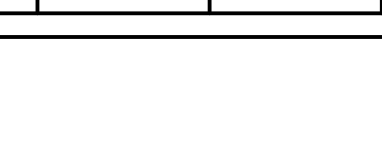
PROJECT NO.: KAPD 1901		DATE: OCTOBER 12, 2021		SCALE: AS NOTED
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PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ

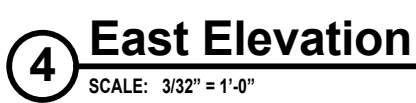
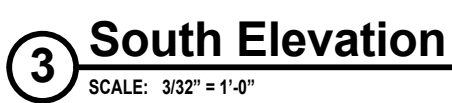
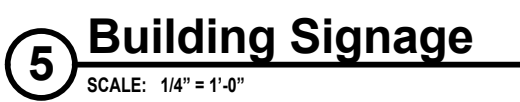
FLOOR PLAN

STATUS: REGULATORY REVIEW	DRAWING # 13 OF 15
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DESIGNED BY: MAM	DRAWN BY: AMS/MLH	CHECKED BY: AMS	D:
		PROJECT NO.: KAPD 1901	
		DATE: OCTOBER 12, 2021	SCALE: AS NOTED
		PRELIMINARY AND FINAL MAJOR SITE PLAN NEW MEMORY CARE BUILDING BLOCK 8400 - LOT 9 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NJ	
ROOF PLAN			
MICHAEL J. BONACASA, R.A.		NJ PROFESSIONAL ARCHITECT Lic. No. 21A001895000 <small>*THIS SHALL NOT BE CONSIDERED AN OFFICIAL DOCUMENT UNLESS IT CARRIES THE REGISTERED SEAL OF THE LICENSEE.</small>	
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\\c:\kcapd (Kaplan Development Group)\KAPD1901 (Addition at Paragon Vlg)\02-BLM-CADD\Con-docs\refgeneral\XR-24\36-NJ site plan submission.dwg Last Modified: Mar 01, 2021 - 10:39am Plotted on: Mar 01, 2021 - 10:53am By asideit



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PROJECT NO: KAPD 1901	DATE: OCTOBER 12, 2021	SCALE: AS NOTED	



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PRELIMINARY AND FINAL MAJOR SITE PLAN
NEW MEMORY CARE BUILDING
BLOCK 8400 - LOT 9

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NJ

BUILDING ELEVATIONS

STATUS: REGULATORY REVIEW	DRAWING IF 15 OF 15
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