

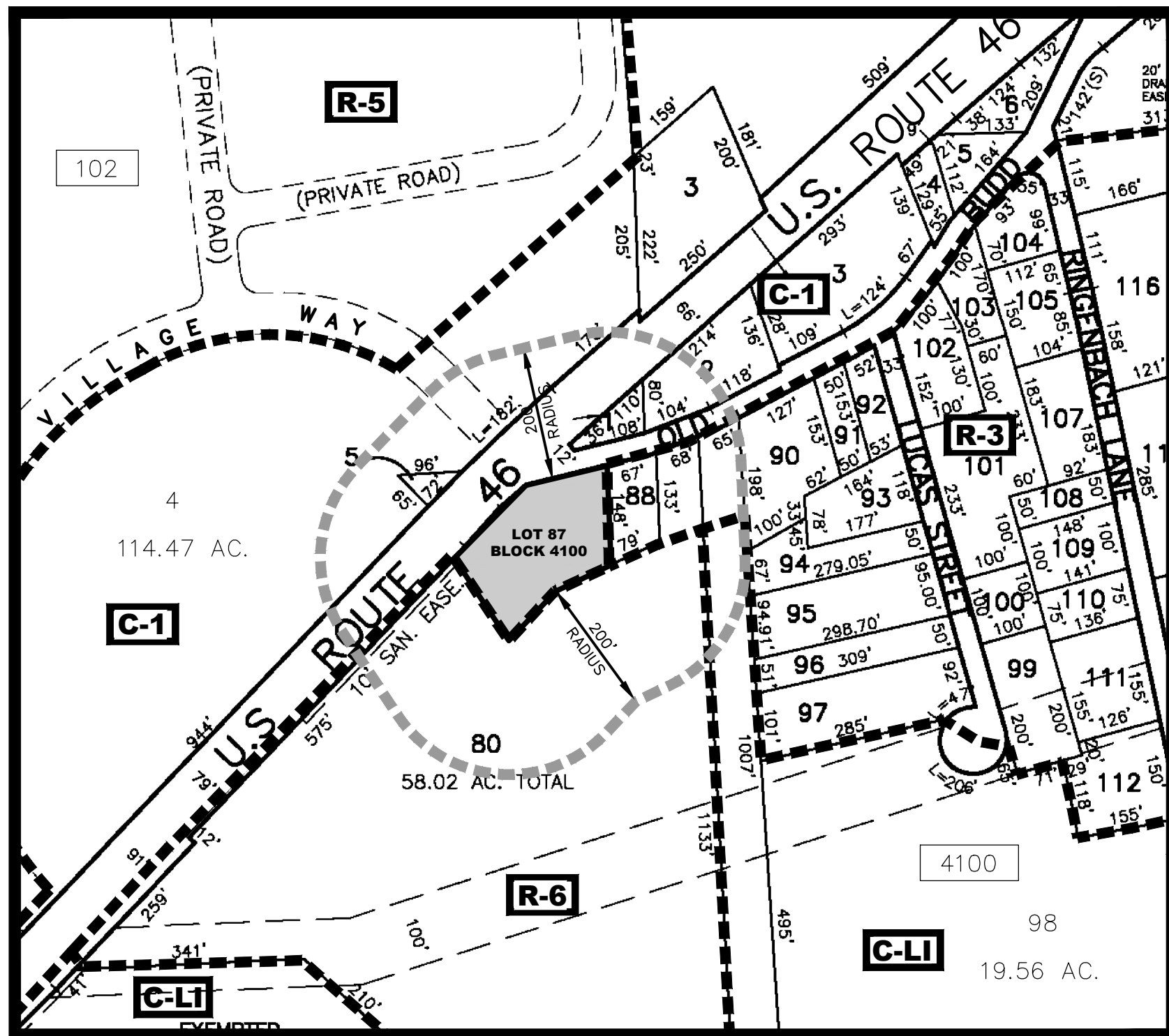
PRELIMINARY & FINAL SITE PLANS

FOR LOT 87 BLOCK 4100

"#67 US ROUTE 46"

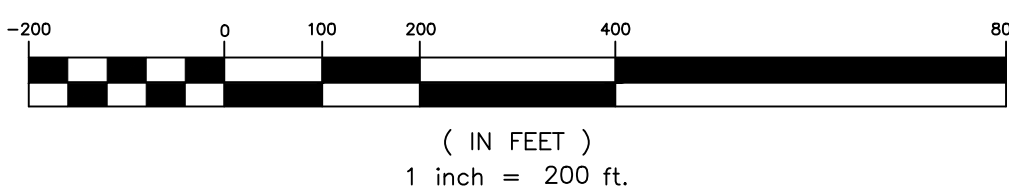
'KHAN MARKET'

SITUATED IN :
THE TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY



KEY MAP

GRAPHIC SCALE



PREPARED BY :

CIVIL ENGINEERING INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716

GENERAL NOTES

- PROJECT OWNER/APPLICANT: TARIQ MAJEED 1 ONDY ROAD PINE BROOK, NJ 07058 OWNER: ESSCALA REALTY LLC 10 FOREST RD BUDD LAKE, NJ 07828 973-960-3501 973-970-5466
- THE SUBJECT PROPERTY IS KNOWN AS LOT 87 BLOCK 4100 AS SHOWN ON SHEET 41.02 OF THE TOWNSHIP OF MOUNT OLIVE TAX MAPS. LOT 87 BLOCK 4100 CONTAINS 37,083 S.F. OR 0.851 AC.
- LOT DIMENSIONS (METES AND BOUNDS), AND BUILDING LOCATION PER SURVEY PREPARED BY JAMES P. DEADY SURVEYOR, LLC, JOHN C. RITT, NJPLS No. 43241, DATED 2/23/17.
- TOPOGRAPHY & ADDITIONAL LOCATIONS PERFORMED BY CIVIL ENGINEERING INC., ON 8/27/21. BENCHMARK ELEVATION TAKEN FROM CATCH BASIN IN VILLAGE GREEN SHOPPING CENTER, TOP OF GRATE 924.70 (SEE PLAN, SHEET 2), PER ORIGINAL VILLAGE GREEN SHOPPING CENTER SITE PLAN BY RICHARD JESKE, INC. DATED 12/18/80, LAST REVISED 8/31/81. DATUM PER NVD028.
- WATER IS SUPPLIED TO THE SUBJECT PROPERTY BY AN EXISTING ON SITE WELL LOCATED IN A MANHOLE ON THE EAST SIDE OF THE BUILDING.
- ELECTRICAL, TELEPHONE & CABLE SERVICE IS PROVIDED BY EXISTING OVERHEAD CONNECTIONS TO A UTILITY POLE LOCATED WITHIN THE ADJACENT NJ STATE HIGHWAY ROUTE 46 R.O.W.
- SANITARY SEWER SERVICE IS PROVIDED BY AN EXISTING CONNECTION TO A SANITARY MAIN LOCATED WITHIN THE OLD BUDD LAKE ROAD RIGHT OF WAY.
- WETLANDS LOCATIONS PER MAP ENTITLED 'SITE PLAN FOR MOUNT OLIVE MEWS, SHEET 5 OF 36' BY SIMOFF ENGINEERING ASSOCIATES, HAL SIMOFF, NJPE #28278, DATED 1/29/07, LAST REVISED 2/8/16. NJDEP LETTER OF INTERPRETATION: LINE VERIFICATION, FILE NO. 1427-02-0018.3 (FWW 140001), DATED SEPTEMBER 19, 2014. WETLANDS DEEMED INTERMEDIATE VALUE, SUBJECT TO A 50' TRANSITION AREA BUFFER.
- PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER #34035300048, DATED MAY 15, 1985, THE SUBJECT PROPERTY IS NOT WITHIN ANY KNOWN FLOOD ZONE.
- ALL CONSTRUCTION AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, AND MUNICIPAL REQUIREMENTS.
- ALL MATERIALS ACCUMULATED BY GRUBBING OR EXCAVATION SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE TOWNSHIP ENGINEER.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION.
- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S 'OCCUPATIONAL SAFETY AND HEALTH STANDARDS' (OSHA), 'SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION' OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING SAFETY, 'CONSTRUCTION SAFETY CODE', AND 'MAINTENANCE, CONSTRUCTION AND DEMOLITION,' AND 'BUILDING CODE'.
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOST TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITIONS.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE ACCEPTS RESPONSIBILITY FOR BUILDING ELEVATIONS SHOWN ON APPROVED ENGINEERING DESIGN PLANS. IF CHANGES ARE REQUESTED ONCE EXCAVATION HAS BEGUN, THE SITE DESIGN ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE ENGINEER ACCEPTS NO LIABILITY FOR ANY LOST TIME OR ADDITIONAL EXPENSE DUE TO ELEVATION CHANGES OCCURRING FROM FIELD MODIFICATIONS.

PROPOSAL

THE SUBJECT PROPERTY IS A DEVELOPED LOT WHICH IS LOCATED WITHIN THE C-1 COMMERCIAL BUSINESS ZONE, AT THE CORNER OF ROUTE 46 EAST AND OLD BUDD LAKE ROAD. THE PROPERTY IS NOW VACANT, BUT WAS MOST RECENTLY USED AS A NON-CONFORMING, DUAL USE RESIDENTIAL APARTMENT AND COMMERCIAL RETAIL STORE. THE SITE CONTAINS A SINGLE, ONE AND A HALF STORY FRAME & MASONRY STRUCTURE (5,455 S.F., FOOTPRINT), WITH A PAVED PARKING LOT (20,440 S.F.) THAT WRAPS AROUND THE BUILDING. THE LOT HAS TWO ACCESS POINTS FROM STATE HIGHWAY 46, AND A SINGLE ACCESS POINT TO OLD BUDD LAKE ROAD. THE PROPERTY WAS FORMERLY THE SITE OF 'SWEET DREAMZZZ BEDDING & FURNITURE', A RETAIL FURNITURE STORE. PRIOR TO THAT, THE SITE WAS THE LOCATION OF 'CHEROKEE TRADING POST' FOR OVER 70 YEARS. A RETAIL STORE OFFERING VARIOUS WESTERN & SOUTHWESTERN THEMED GOODS AND APPAREL. A SINGLE BEDROOM APARTMENT IS ALSO LOCATED ON THE SITE, ON THE NORTHEASTERN END OF THE BUILDING, UTILIZING BOTH THE FIRST AND SECOND FLOORS. THE LOT IS CURRENTLY SERVED BY AN EXISTING ON SITE WELL FOR WATER SERVICE AND AN EXISTING CONNECTION TO THE PUBLIC SANITARY SEWER SYSTEM FOR SANITARY SEWERAGE. ELECTRIC, TELEPHONE AND CABLE TV ARE PROVIDED BY AN OVERHEAD CONNECTION TO A UTILITY POLE LOCATED ADJACENT TO THE PROPERTY WITHIN THE STATE HIGHWAY ROUTE 46 RIGHT OF WAY. THE OWNER WISHES TO REDEVELOP THE PROPERTY AS A GROCERY & CONVENIENCE STORE ('KHAN MARKET'), OFFERING PACKAGED AND FRESHLY PREPARED GOODS, AND OFFERING SOME ETHNIC BAKERY SPECIALTY ITEMS. THE EXISTING BUILDING WILL BE REMODELED EXTENSIVELY AND THE OVERALL FOOTPRINT WILL BE ENLARGED, WITH NO CHANGE TO LOCATION. THESE PROPOSED RENOVATIONS INCLUDE:

- THE EXISTING FRONT THREE ENTRANCES TO THE BUILDING WILL BE REMOVED AND A NEW MAIN ENTRANCE IS PROPOSED;
- A SECOND FRONT ENTRANCE (FOR EMPLOYEES ONLY) WILL BE ADDED;
- THE EXISTING REAR ENTRANCE TO THE APARTMENT WILL BE REMOVED;
- THE SECOND FLOOR AND APARTMENT WILL BOTH BE ELIMINATED;
- A PORTION OF THE REAR BASEMENT WILL BE REMOVED AND REPLACED WITH A CONCRETE APRON AND OVERHANG;
- A PORTION OF THE REAR BASEMENT WALL WILL BE EXPANDED APPROXIMATELY 4 FT.;
- THE TWO EXISTING BASEMENT ENTRANCES WILL BE REMOVED, AND TWO NEW BASEMENT ENTRANCES ARE PROPOSED;
- A LOADING DOCK ADDITION WILL BE CONSTRUCTED IN THE REAR FOR SMALL VEHICLE DELIVERIES (< 20' VEHICLE LENGTH).
- THE EXISTING WATER AND THE EXISTING CONNECTIONS TO THE BUILDING WILL REMAIN UNCHANGED AND THE EXISTING OVERHEAD UTILITY CONNECTION WILL BE MOVED AS NECESSARY. THE EXISTING PARKING LOT WILL BE RECONFIGURED WITH SECTIONS OF NEW PAVEMENT AND OVERLAYS, AND RESTRIPTED. NEW SIGNAGE IS PROPOSED, ALONG WITH SITE LIGHTING AND LANDSCAPING. ALL STORMWATER RUNOFF CURRENTLY FLOWS SOUTHEAST TO THE REAR OF THE BUILDING OFFSITE TOWARDS LOT 80 INTO A WOODED AREA AS THE PROPOSED IMPROVEMENTS WILL REDUCE THE OVERALL IMPERVIOUS COVERAGE AND RUNOFF, THE EXISTING DRAINAGE PATTERNS WILL REMAIN AND NO OTHER STORM WATER MANAGEMENT IS PROPOSED.

BUSINESS NOTES

THE BUSINESS ('KHAN MARKET') WILL OPERATE FROM FROM 10:00 AM TO 7 PM, 7 DAYS A WEEK AND HAVE 4 FULL TIME EMPLOYEES. THE BUSINESS WILL RECEIVE DELIVERIES APPROXIMATELY TWICE A WEEK FROM SMALLER VEHICLES (<20') AND APPROXIMATELY ONCE A MONTH FROM LARGER, 'SU' SIZED (30') VEHICLES. THE MARKET WILL SELL VARIOUS GROCERIES AND ALSO OFFER SOME ETHNIC SPECIALTY ITEMS, BOTH FRESHLY PREPARED AND PACKAGED. THE STORE WILL OFFER CUSTOMERS LIMITED SEATING IN THE FORM OF 4 TABLES AND 8 CHAIRS (MAX.). THE BASEMENT OF THE BUILDING WILL ONLY BE UTILIZED FOR STORAGE FOR THE GROCERY STORE, USING SHELVES, COOLERS AND REFRIGERATORS. A SMALL PORTION OF THE BASEMENT WILL CONTAIN UTILITIES (WITH A LOWER CEILING HEIGHT). LASTLY, THE MARKET WILL OFFER DELIVERY SERVICE TO CUSTOMERS UTILIZING A SINGLE PASSENGER SIZED VEHICLE.

ZONE REQUIREMENTS

THE PROPERTY IS LOCATED IN THE C-1 COMMERCIAL ZONE AND IS SUBJECT TO THE FOLLOWING:

LOT:	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	1 AC.	0.851 AC.*	NO CHANGE
MINIMUM LOT WIDTH	200 FT.	243.385 FT.	NO CHANGE
MINIMUM LOT DEPTH	150 FT.	146.10 FT.*	NO CHANGE
MAXIMUM LOT COVERAGE	60%	70.94%	68.27%
MAXIMUM FLOOR AREA RATIO	0.4	0.27	0.27
MAXIMUM BUILDING COVERAGE	30%	14.39%	14.85%
PRINCIPAL STRUCTURE	REQUIRED	EXISTING	PROPOSED
MINIMUM FRONT YARD SETBACK	75 FT.	36.84 FT.* (RT.46)/	40.8 FT.*
MINIMUM SIDE YARD SETBACK	25 FT.	21.09 FT.* (OLD BUDD LAKE RD.)	NO CHANGE
MINIMUM REAR YARD SETBACK	20 FT.	71.13 FT. (L)	71.7 FT.
MAXIMUM BUILDING HEIGHT	30 FT.	30.32 FT. (R)	NO CHANGE
		69.15 FT.	65.9 FT.
		31.10 FT.*	21.81 FT.

* EXISTING NON-CONFORMING CONDITION
* PROPOSED VARIANCE CONDITION

EXISTING NON-CONFORMING CONDITIONS

LOT:	REQUIRED	EXISTING
MINIMUM LOT AREA	1 AC.	0.851 AC.*
MINIMUM LOT DEPTH	150 FT.	146.10 FT.*
MAXIMUM LOT COVERAGE	60%	70.94%
PRINCIPAL STRUCTURE	REQUIRED	EXISTING
MINIMUM FRONT YARD SETBACK	75 FT.	36.84 FT.* (RT.46)/
MINIMUM REAR YARD SETBACK	20 FT.	21.09 FT.* (OLD BUDD LAKE RD.)
MAXIMUM BUILDING HEIGHT	30 FT.	31.10 FT.*

PROPOSED VARIANCES

PRINCIPAL STRUCTURE	REQUIRED	PROPOSED
MINIMUM FRONT YARD SETBACK	75 FT.	40.8 FT.*

PROPOSED WAIVER CONDITIONS

§550-28 ENVIRONMENTAL IMPACT REPORT (NONE PROPOSED)

PROPOSED EXCEPTIONS

- §550-36 RESIDENTIAL ZONE BUFFER
- §550-53 MIN. LIGHTING INTENSITY OF 0.3 FC ANYWHERE
- §550-56A DRIVEWAY CENTERLINE WITHIN 30' OF A PROPERTY LINE
- §550-56C PARKING LOT BUFFER FROM STREETS & RESIDENTIAL USES
- §550-56D CURBING REQUIRED FOR ENTIRE PARKING AREA (LIMITED CURBING PROPOSED)
- §550-56E(2) LOADING SPACE (10' X 60' REQUIRED, 12' X 28' PROPOSED)
- §550-56E(3) PARKING SPACE SIZE - 9' X 18' (9' X 20' OR 10' X 18' REQUIRED PER ORDINANCE) - 17 SPACES PROPOSED AT 9' X 18'
- §550-56E TWO WAY ASLE WIDTH (00' PARKING) OF 25' WITHIN PROPERTY (18.7' PROPOSED)
- §550-56J PARKING SPACES REQUIRED - 60 REQUIRED, 28 PROPOSED
- §550-56K PARKING FOR RETAIL USE WITHIN 25' OF THE R.O.W. (18.2' PROPOSED)
- §550-73 STORMWATER MANAGEMENT

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE NJ HIGHLANDS ACT 'PLANNING' AREA. THERE ARE CURRENTLY NO LAWS RESTRICTING IMPROVEMENT PROJECTS IN THE 'PLANNING' ZONE, AND THEREFORE THIS APPLICATION IS EXEMPT FROM ANY NJDEP HIGHLANDS RULES OR REGULATIONS.

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF LOT 87 BLOCK 4100

BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
102	4_C01	SDK VILLAGE GREEN LLC SDK 1124 E RIDGEWOOD AVE #101 RIDGEWOOD, NJ 07450	4100	87	ESSCALA REALTY LLC 1 CEDAR RIDGE DR CHESTER, NJ 07930
102	4_C02	SDK VILLAGE GREEN LLC SDK 1124 E RIDGEWOOD AVE #101 RIDGEWOOD, NJ 07450	4100	88	KRANTI, ROHAN/SHILPA 1 CEDAR RIDGE DR CHESTER, NJ 07930
102	4_C03	OPW REAL PROPERTIES LLC 98 ROUTE 46 BUDD LAKE, NJ 07828	4100	89	MT OLIVE TOWNSHIP PO BOX 450 BUDD LAKE, NJ 07828
102	5	TYPINSKI, BARBARA E. 100 VALLEY RD OXFORD, NJ 07863	4100	90	COLON, RAYMOND F. & MAYRA I. 42 OLD BUDD LAKE RD BUDD LAKE, NJ 07828
102	5_B01	TYPINSKI, BARBARA E. 100 VALLEY RD OXFORD, NJ 07863	4100	94	MODAFFERI, NAOMI 8 LUCAS ST BUDD LAKE, NJ 07828
4100	80	MFC MOUNTAIN RIDGE ESTATES LLC 9 WESTERN DR COLTS NECK, NJ 07722	4101	1	DEPT OF TRANSPORTATION 1035 PARKWAY AVE TRENTON, NJ 08625
4100	80.01	MFC MOUNTAIN RIDGE ESTATES LLC 9 WESTERN DR COLTS NECK, NJ 07722	4101	2	LEYA LLC 140 CEDAR LAKE RD BLAIRSTOWN, NJ 07829

UTILITIES

BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY PO BOX 450 HACKETTSTOWN, NJ 07840	MT. OLIVE TWP. WATER & SEWER DEPT PO BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT. OLIVE, NJ 07828	NEW JERSEY-AMERICAN WATER CO. INC PO BOX 5627 CHERRY HILL, NJ 08034
R. ALBANESE NEW JERSEY NATURAL GAS 1415 WICKOFF ROAD WALL, NJ 07719	N.J. DEPT OF TRANSPORTATION 1035 PARKWAY DR, CN 600 TRENTON, NJ 08625	APPLIED WASTEWATER MGMT 2 CLERICO LN HILLSBOROUGH, NJ 08844
BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP 1470 POORHOUSE ROAD DOWNTON, PA 19335	PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T08 NEWARK, NJ 07102	

SHEET INDEX

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BOARD APPROVAL BOX:

CHAIRMAN	DATE
ENGINEER	DATE
SECRETARY	DATE

OWNER'S SIGNATURE

NAME	DATE
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SHEET 1 OF 9

COVER SHEET

FOR:

LOT 87 BLOCK 4100
"#67 US ROUTE 46"
'KHAN MARKET'

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 1/14/22
Drawn By: WBB	Project No: 6884

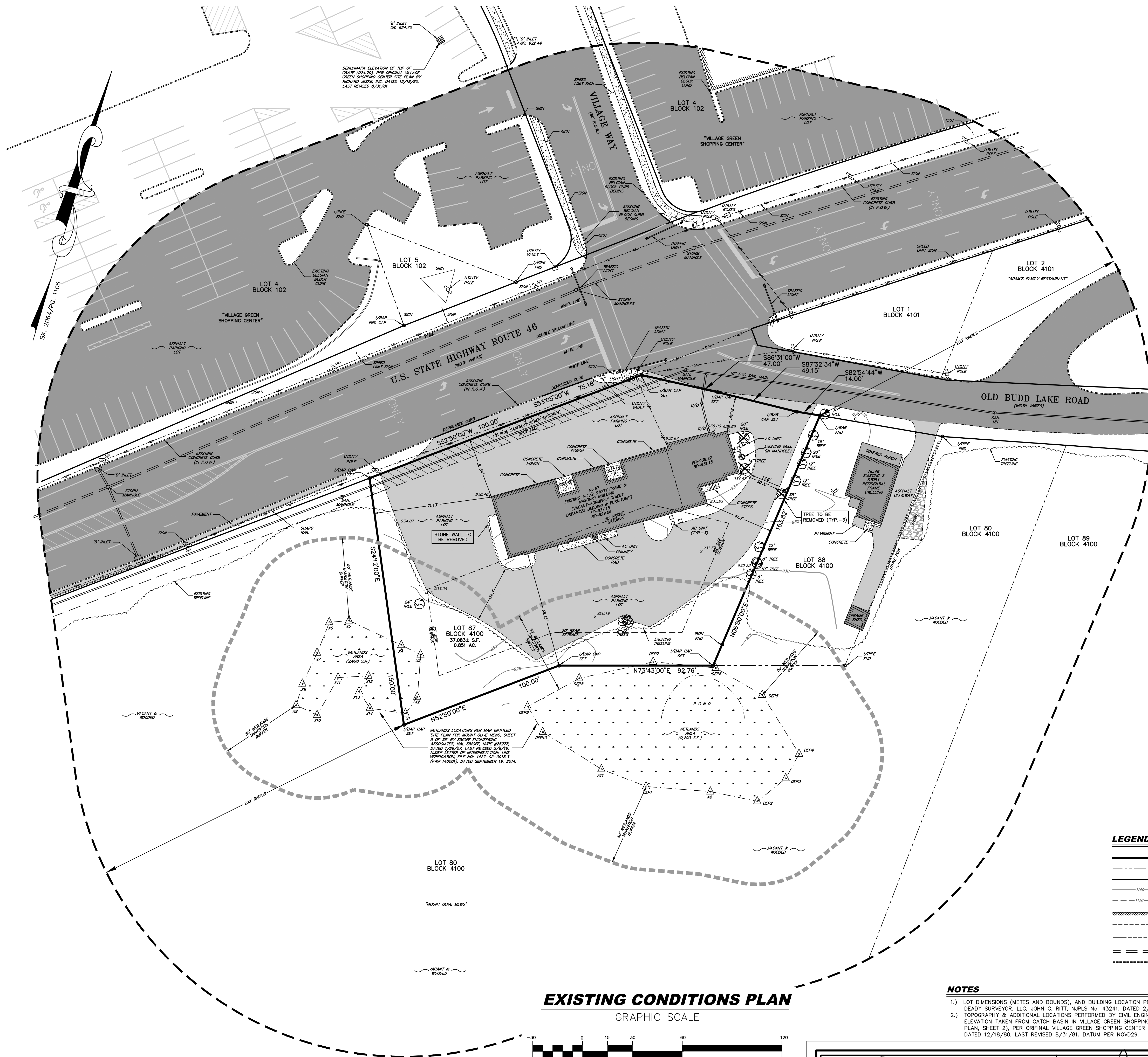
REVISED PER NJDOT COMMENTS 4/19/22, TWP. PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S REPORT 4/11/22	WBB	5/26/22
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Rev. No.	Description	By	Date
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CIVIL ENGINEERING, INC.

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Telephone: (973) 426-1776
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N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703



EXISTING IMPERVIOUS COVERAGE

EXISTING BUILDING INCLUDING CHIMNEY	5,337 S.F.
EXISTING CONCRETE FRONT PORCHES - 2	20,482 S.F.
EXISTING CONCRETE ALONG BUILDING FRONT	192 S.F.
EXISTING CONCRETE PAD IN REAR INCLUDING AC UNIT ON PAD	39 S.F.
EXISTING CONCRETE STEPS IN REAR	142 S.F.
EXISTING STONE WALL ON LEFT SIDE AND IN REAR	38 S.F.
EXISTING AC UNITS - 4 TOTAL	63 S.F.
TOTAL	26,309 S.F.

$$26,309 \text{ S.F.} / 37,083 \text{ S.F.} = 0.7094 \text{ OR } 70.94\%$$

EXISTING BUILDING COVERAGE

BUILDING COVERAGE	5,337 S.F.
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$$5,337 \text{ S.F.} / 37,083 \text{ S.F.} = 0.1439 \text{ OR } 14.39\%$$

EXISTING FLOOR AREA RATIO

FIRST FLOOR	5,337 S.F.
BASEMENT FLOOR	4,189 S.F.
TOTAL	9,526 S.F.

$$9,526 \text{ S.F.} / 37,083 \text{ S.F.} = 0.25$$

TREE REMOVAL

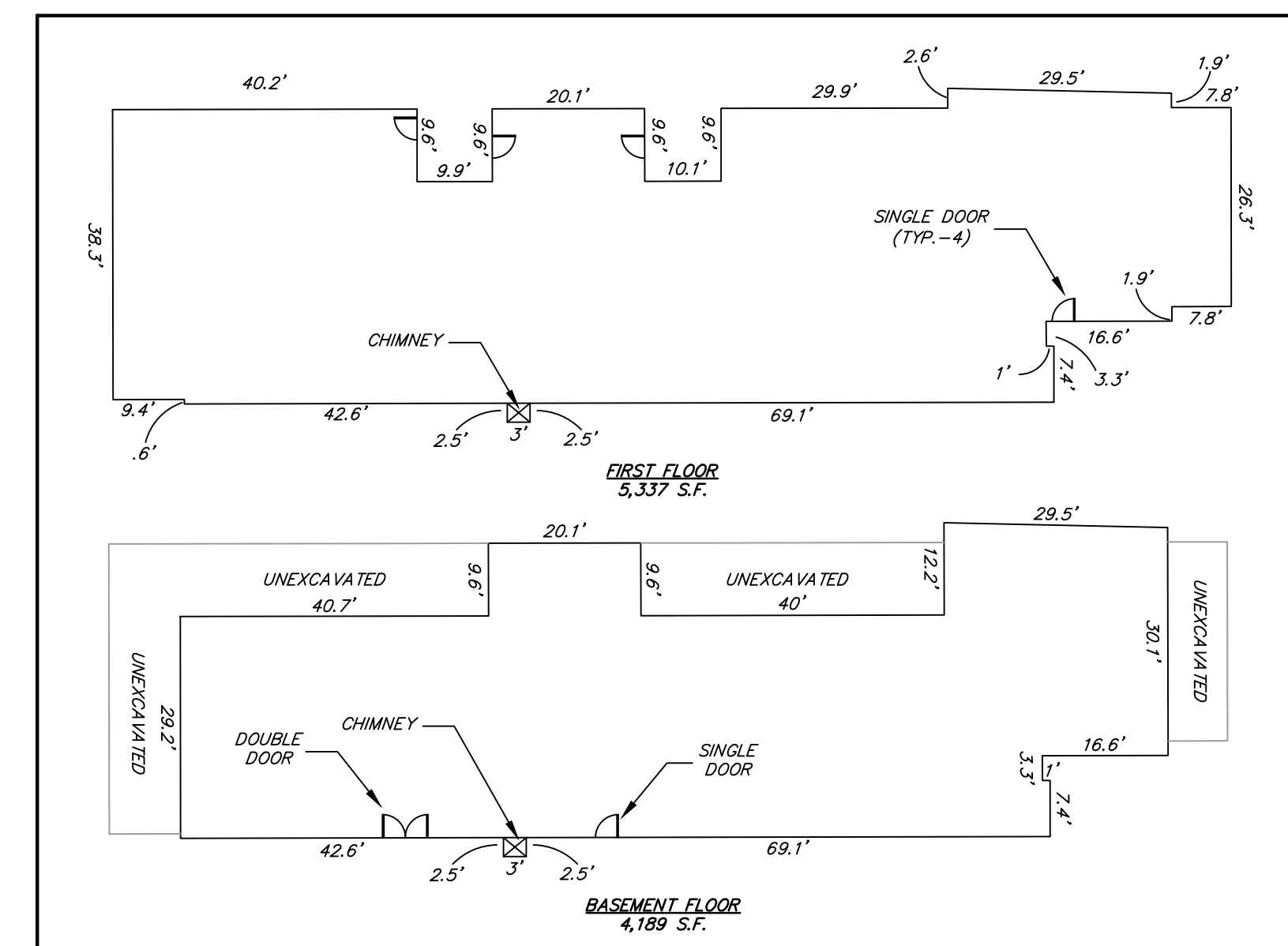
TREE SIZE	NUMBER OF TREES TO BE REMOVED	NUMBER OF REPLACEMENT TREES REQUIRED (EACH)	TOTAL
TREES BETWEEN 6" AND 10"	0	3	0
TREES BETWEEN 11" AND 18"	1	4	4
TREES BETWEEN 19" AND 24"	1	5	5
TREES BETWEEN 25" AND 30"	1	7	0
TREES BETWEEN 31" AND <36"	1	10	10
36" AND GREATER	0	DBH* DIVIDED BY 3	0
TOTAL REPLACEMENT TREES REQUIRED			19

*DIAMETER AT BREAST HEIGHT (4.5 FT.)

EXISTING BUILDING HEIGHT CALCULATION

THE VERTICAL DISTANCE MEASURED TO THE HIGHEST POINT OF THE BUILDING FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION.

- 1) AVERAGE GRADE = $935.91 + 936.38 + 935.25 + 934.00 + 933.31 + 931.70 = 934.42$
- 2) FIRST FLOOR ELEVATION = 937.15
- 3) FIRST FLOOR TO MAXIMUM ROOF PEAK = 28.37 FT.
- 4) PEAK ELEVATION = 965.52
- 5) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE
= $965.52 - 934.42 = 31.10 \text{ FT.}$



EXISTING BUILDING DETAIL

SCALE: 1" = 20'

LEGEND:

SUBJECT PROPERTY LINE (OUTBOUND)	EXISTING GRAVEL	EXISTING SIGN
ADJACENT PROPERTY LINES	EXISTING GUARD RAIL	EXISTING TREE
EXISTING R.O.W.	EXISTING GAS LINE	EXISTING B-INLET
INDEX CONTOUR	EXISTING SANITARY SEWER	EXISTING SURVEY IRON
INTERIOR CONTOUR	EXISTING STONE	EXISTING UTILITY POLE
EXISTING BUILDING	EXISTING PAVEMENT	EXISTING SANITARY MH
EXISTING PAVEMENT	EXISTING TREELINE	EXISTING STORM MH
EXISTING OVERHEAD UTILITY LINE	EXISTING SPOT GRADE	EXISTING WELL
EXISTING STORM SEWER	EXISTING TRAFFIC LIGHT	WETLANDS FLAG
EXISTING CURB		

NOTES

- 1.) LOT DIMENSIONS (METES AND BOUNDS), AND BUILDING LOCATION PER SURVEY PREPARED BY JAMES P. DEARY SURVEYOR, LLC, JOHN C. RITT, NJPLS No. 43241, DATED 2/23/17.
- 2.) TOPOGRAPHY & ADDITIONAL LOCATIONS PERFORMED BY CIVIL ENGINEERING, INC., ON 8/27/21. BENCHMARK ELEVATION TAKEN FROM CATCH BASIN IN VILLAGE GREEN SHOPPING CENTER, TOP OF GRATE 924.70 (SEE PLAN, SHEET 2), PER ORIGINAL VILLAGE GREEN SHOPPING CENTER SITE PLAN BY RICHARD JESKE, INC. DATED 12/18/90, LAST REVISED 8/31/81. DATUM PER NGVD29.

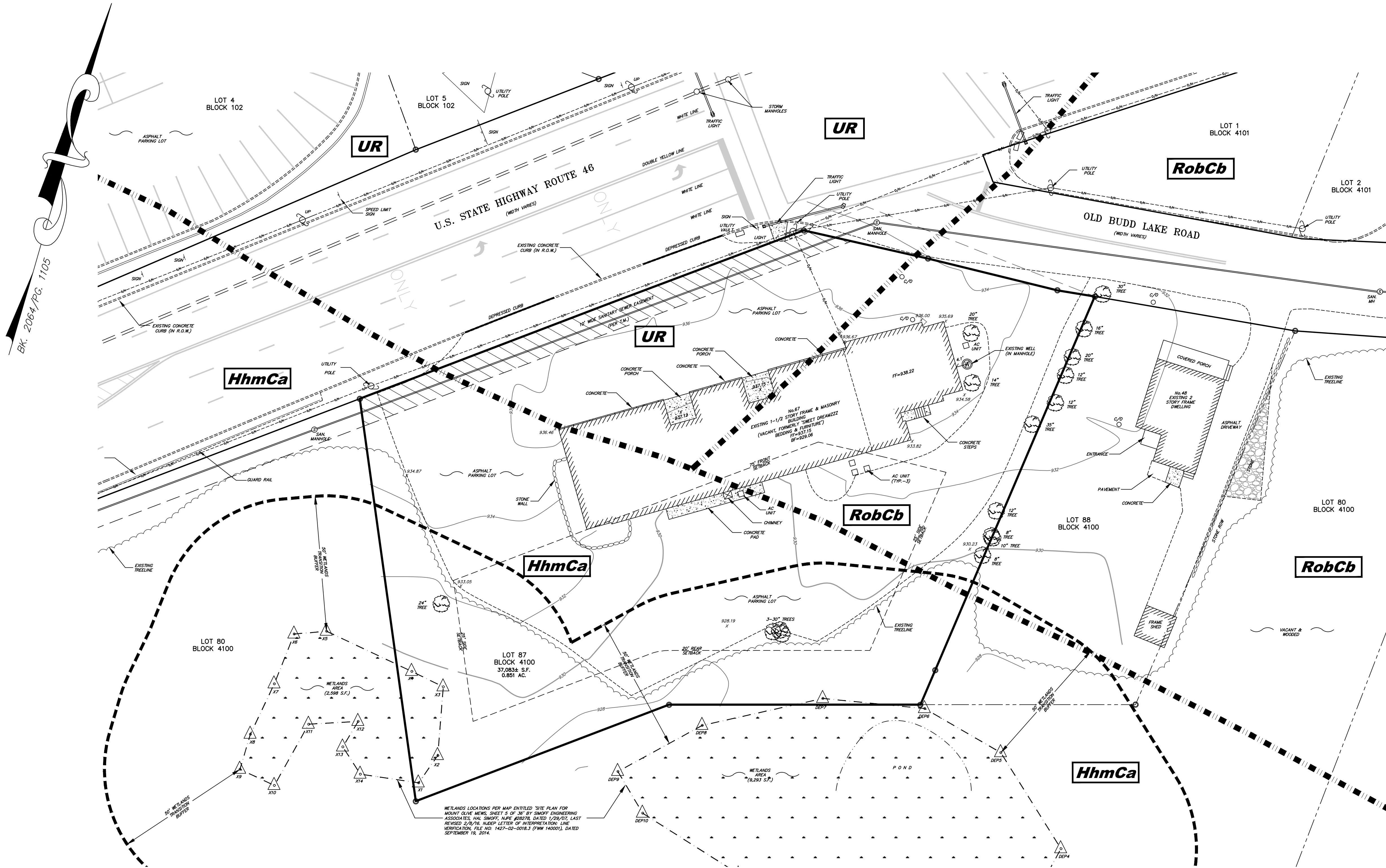
ROBERT H. JORDAN, JR.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 34485

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

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EXISTING CONDITIONS PLAN
FOR:
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"67 US ROUTE 46"
"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY
Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884

U:\6884 - Kramt-Majed-Mt Olive\Site Plan\Site Plan Rev 1\6884-3 Environmental Plan Rev 1.dwg PS: Civilinc.ctb



SOIL CATEGORIES:

APPROX. SOIL BOUNDARY LINE PER USDA WEB SOIL SURVEY

HhmCa HIBERNIA LOAM, 3 TO 15 PERCENT SLOPES, STONY

RobCb ROCKAWAY SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY

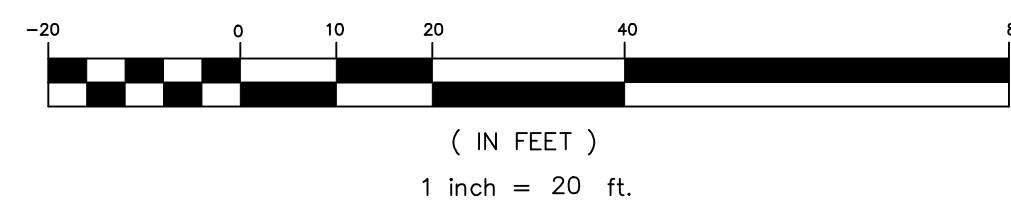
UR URBAN LAND

SLOPES

THERE ARE NO SLOPES EQUAL TO OR GREATER THAN 25% ON THE SUBJECT PROPERTY

ENVIRONMENTAL PLAN

GRAPHIC SCALE



LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING WETLANDS		EXISTING SIGN
	ADJACENT PROPERTY LINES		EXISTING GRAVEL		EXISTING TREE
	EXISTING R.O.W.		EXISTING GUARD RAIL		EXISTING B-INLET
	INDEX CONTOUR		EXISTING GAS LINE		EXISTING SURVEY IRON
	INTERIOR CONTOUR		EXISTING SANITARY SEWER		EXISTING UTILITY POLE
	EXISTING BUILDING		EXISTING STONE		EXISTING SANITARY MH
	EXISTING PAVEMENT		EXISTING TREELINE		EXISTING STORM MH
	EXISTING OVERHEAD UTILITY LINE		EXISTING SPOT GRADE		EXISTING WELL
	EXISTING STORM SEWER		EXISTING TRAFFIC LIGHT		WETLANDS FLAG
	EXISTING CURB				

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

REVISED PER N.J.DOT COMMENTS 4/19/22, TWP. PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S REPORT 4/11/22 WBB 5/26/22

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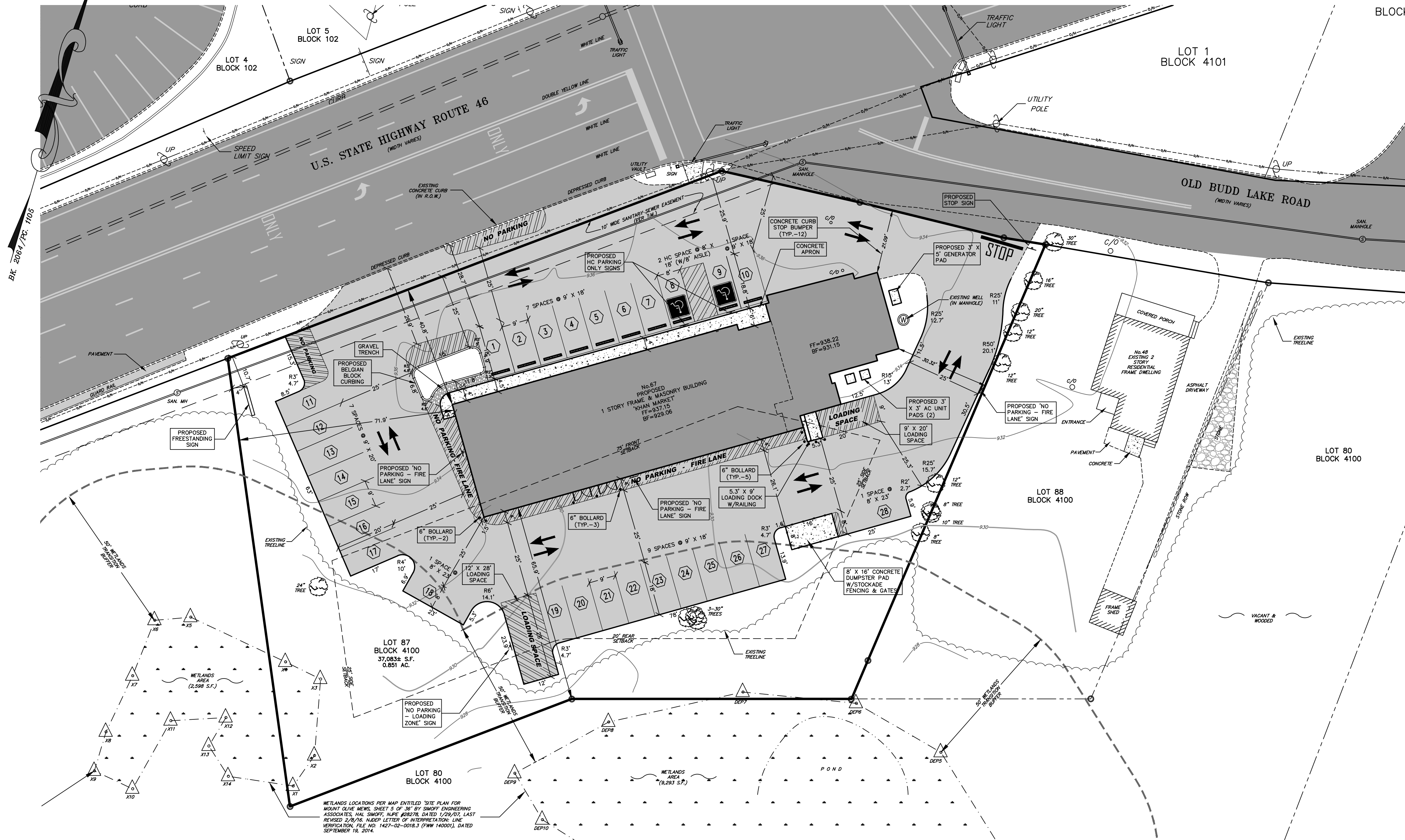
ENVIRONMENTAL PLAN

FOR:

LOT 87 BLOCK 4100
"67 US ROUTE 46"
"KHAN MARKET"

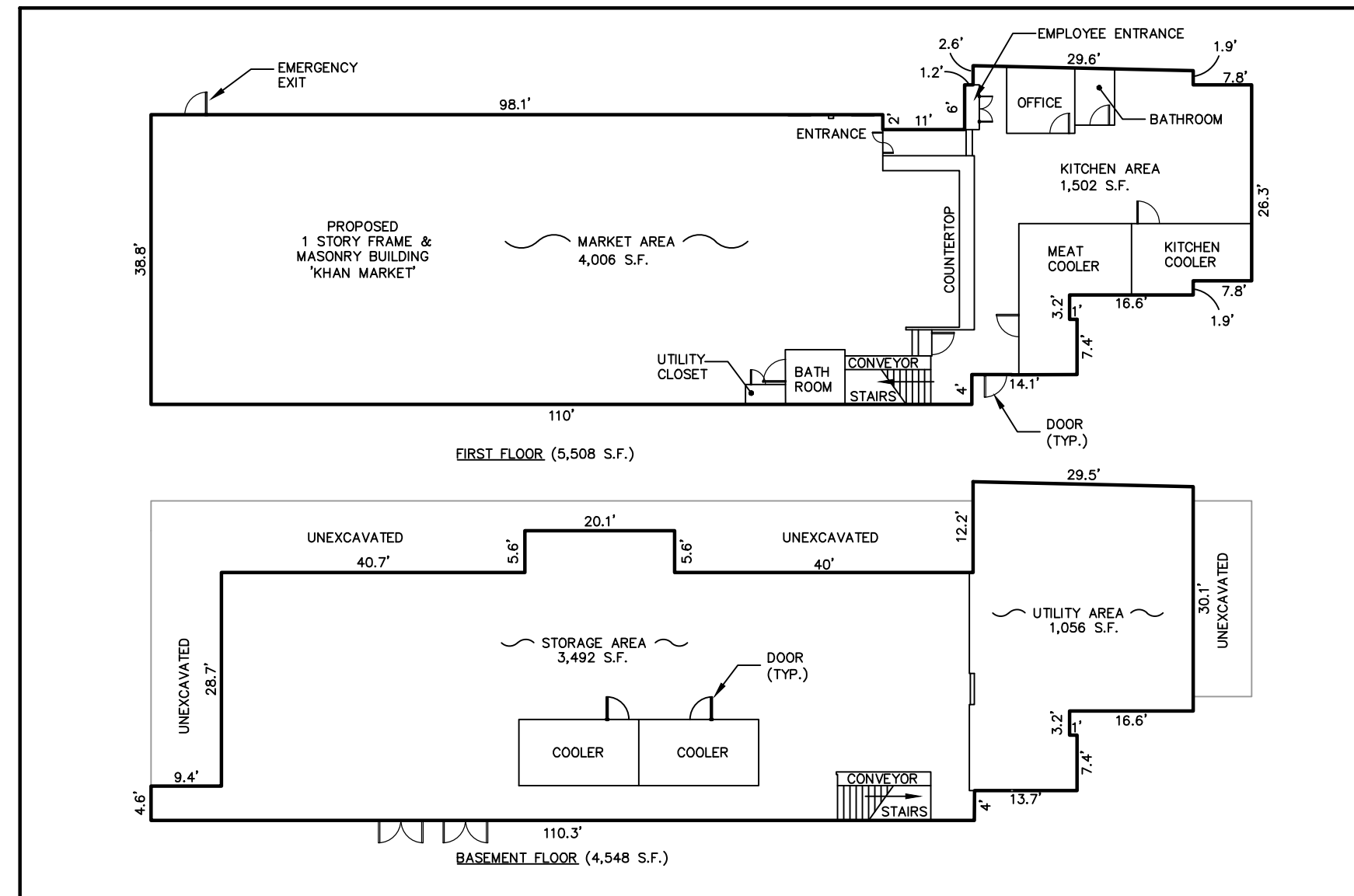
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884



LEGEND:

—	SUBJECT PROPERTY LINE (OUTBOUND)	—	EXISTING TREELINE	—	EXISTING TRAFFIC LIGHT
---	ADJACENT PROPERTY LINES	---	EXISTING WETLANDS	—	EXISTING SPOT GRADE
---	EXISTING R.O.W.	---	EXISTING WETLANDS BUFFER	—	EXISTING TREE
---	INDEX CONTOUR	---	EXISTING GRAVEL	—	EXISTING SURVEY IRON
---	INTERIOR CONTOUR	---	EXISTING GUARD RAIL	—	EXISTING UTILITY POLE
---	EXISTING BUILDING	---	PROPOSED RAILING	—	EXISTING SANITARY MH
---	PROPOSED BUILDING FOOTPRINT	---	PROPOSED STOCKADE FENCE	—	EXISTING STORM MH
---	EXISTING PAVEMENT	---	EXISTING SANITARY SEWER	—	EXISTING WELL
---	PROPOSED PAVEMENT	---	EXISTING GRAVEL	—	EXISTING SIGN
---	EXISTING OVERHEAD UTILITY LINE	---	EXISTING PAVEMENT	—	PROPOSED SIGN
---	EXISTING STORM SEWER	---	PROPOSED PAVEMENT	—	WETLANDS FLAG
---	EXISTING CURB	---	PROPOSED CONCRETE	---	
---	EXISTING EASEMENT	---	PROPOSED PARKING LOT STRIPING	---	



PROPOSED IMPERVIOUS COVERAGE

PROPOSED ENLARGED BUILDING FOOTPRINT	5,508 S.F.
PROPOSED RECONFIGURED PARKING LOT	10,134 S.F.
PROPOSED CONCRETE SIDEWALK	458 S.F.
PROPOSED CONCRETE LOADING DOCK	48 S.F.
PROPOSED CONCRETE DUMPSTER PAD	128 S.F.
PROPOSED FREESTANDING SIGN	10 S.F.
PROPOSED AC UNIT PADS (2)	18 S.F.
PROPOSED GENERATOR PAD	15 S.F.
TOTAL	25,319 S.F.

$25,319 \text{ S.F.} / 37,083 \text{ S.F.} = 0.6827 \text{ OR } 68.27\%$

PROPOSED BUILDING COVERAGE

BUILDING COVERAGE	5,508 S.F.
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$5,508 \text{ S.F.} / 37,083 \text{ S.F.} = 0.1485 \text{ OR } 14.85\%$

PROPOSED FLOOR AREA RATIO

FIRST FLOOR	5,508 S.F.
BASEMENT FLOOR	4,548 S.F.
TOTAL	10,056 S.F.

PARKING REQUIREMENTS

PARKING SPACE SIZE	9 FT. X 20 FT. OR 10 FT. X 18 FT.
RETAIL USE (5,508 S.F. - 1st FLOOR)	
1 P.S. PER 150 S.F.	5,508 S.F. / 150 S.F. = 36.72 SPACES REQUIRED
TOTAL	37 SPACES REQUIRED

PARKING PROVIDED

VAN ACCESSIBLE 8' X 18' HANDICAP SPACE	2 SPACES PROVIDED
STANDARD 9' X 20' PARKING SPACE	7 SPACES PROVIDED
STANDARD 9' X 18' PARKING SPACE*	17 SPACES PROVIDED
PARALLEL 8' X 23' PARKING SPACE	2 SPACES PROVIDED
TOTAL	28 SPACES PROVIDED

* EXEMPTION REQUIRED

LOADING SPACE REQUIRED

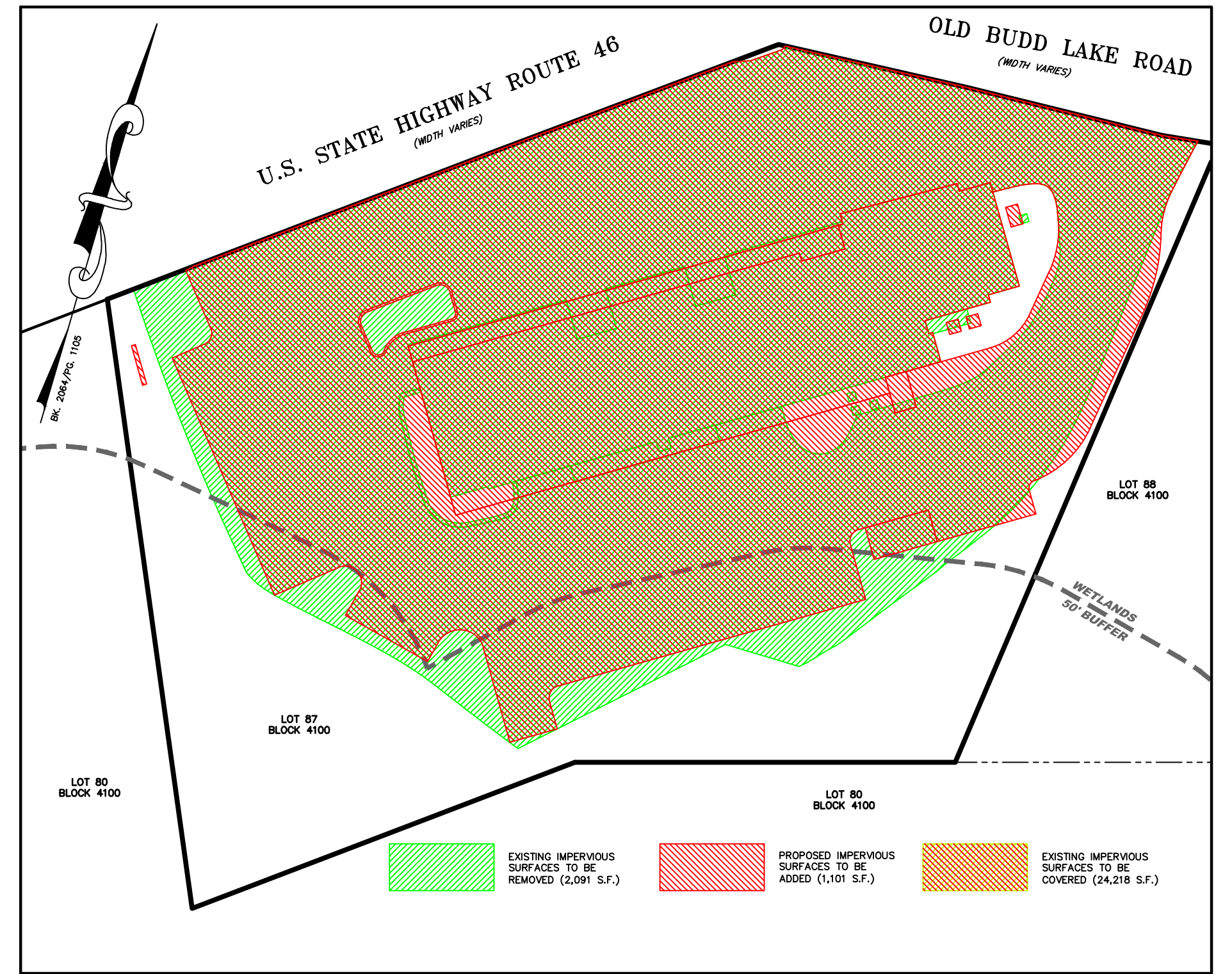
1 - 10 FT. X 60 FT. (600 S.F.) LOADING SPACE

LOADING SPACES PROVIDED

1 - 12 FT. X 28 FT. (336 S.F.) *

1 - 9 FT. X 20 FT. (180 S.F.)

* EXEMPTION REQUIRED



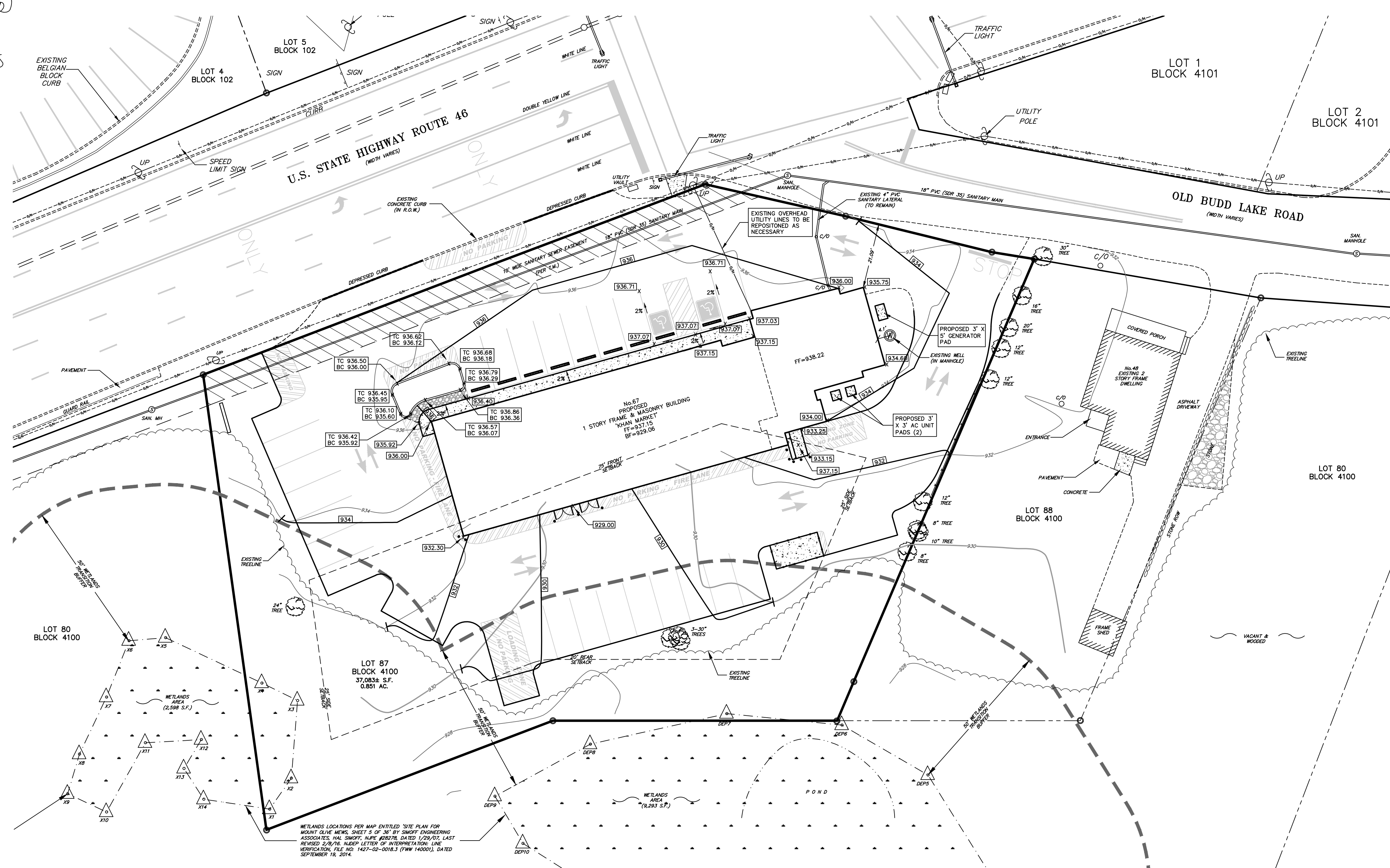
EXISTING IMPERVIOUS SURFACES TO BE REMOVED (2,091 S.F.)	PROPOSED IMPERVIOUS SURFACES TO BE ADDED (1,101 S.F.)	EXISTING IMPERVIOUS SURFACES TO BE COVERED (24,216 S.F.)
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PROPOSED SITE LAYOUT PLAN FOR:

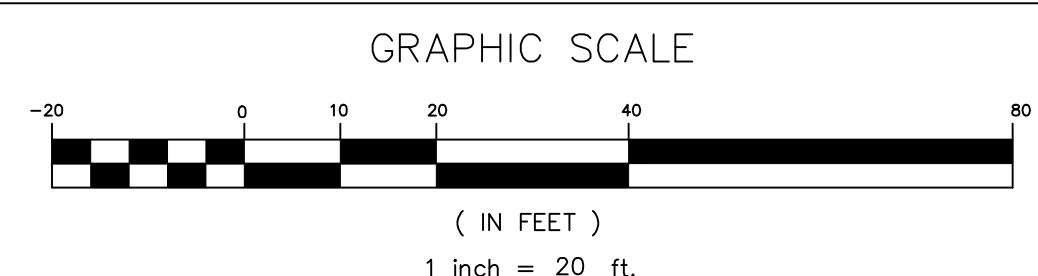
LOT 87 BLOCK 4100
"#67 US ROUTE 46"
"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 1/14/22
Drawn By: WBB	Project No: 6884

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703



PROPOSED GRADING & UTILITY PLAN



LEGEND:			
	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING EASEMENT
	ADJACENT PROPERTY LINES		EXISTING WETLANDS
	EXISTING R.O.W.		EXISTING WETLANDS BUFFER
	INDEX CONTOUR		EXISTING GRAVEL
	INTERIOR CONTOUR		EXISTING GUARD RAIL
	PROPOSED CONTOUR		PROPOSED RAILING
	EXISTING BUILDING		PROPOSED STOCKADE FENCE
	PROPOSED BUILDING FOOTPRINT		EXISTING SANITARY SEWER
	EXISTING PAVEMENT		EXISTING GRAVEL
	PROPOSED PAVEMENT		PROPOSED CONCRETE
	EXISTING OVERHEAD UTILITY LINE		EXISTING TREELINE
	EXISTING STORM SEWER		EXISTING TRAFFIC LIGHT
	EXISTING CURB		

WETLANDS LOCATIONS PER MAP ENTITLED "SITE PLAN FOR MOUNT OLIVE WETLANDS, SHEET 5 OF 36" BY SMOOT ENGINEERING ASSOCIATES, INC. DATED 1/26/07. LAST REVISION 2/17/16. UNDER LETTER OF INTERPRETATION. LINE IDENTIFICATION, FILE NO. 1427-02-0016.1 (TOWN 140000), DATED SEPTEMBER 19, 2014.

- UTILITY NOTES:**
- 1.) CONTRACTOR TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - 2.) WATER TO BE PROVIDED BY THE EXISTING WELL.
 - 3.) SANITARY SEWER TO BE PROVIDED BY THE EXISTING CONNECTION TO THE PUBLIC SANITARY SEWER SYSTEM LOCATED IN OLD BUDD LAKE RD. EXISTING SANITARY SEWER LINE TO BE TV INSPECTED AND REPAIRED (IF NECESSARY) PRIOR TO USE.
 - 4.) ELECTRIC, CATV & PHONE TO BE PROVIDED BY A PROPOSED OVERHEAD CONNECTION TO AN EXISTING UTILITY POLE LOCATED WITHIN THE ADJACENT RIGHT OF WAY.
 - 5.) REFUSE PICKUP (TRASH & RECYCLABLES) TO BE CONTRACTED BY A PRIVATE HAULER.
 - 6.) FACILITY TO BE REQUIRED TO COMPLY WITH REQUIREMENTS OF SAFE DRINKING WATER ACT, REQUIRING REGISTRATION WITH THE MORRIS COUNTY HEALTH DEPARTMENT AND QUARTERLY WATER SAMPLING.

- PROPOSED BUILDING HEIGHT CALCULATION**
- THE VERTICAL DISTANCE MEASURED TO THE HIGHEST POINT OF THE BUILDING FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION.
- 1.) AVERAGE GRADE = $935.60 + 936.67 + 935.60 + 934.10 + 933.30 + 931.80 = 934.51$
 - 2.) FIRST FLOOR ELEVATION = 937.15
 - 3.) FIRST FLOOR TO MAXIMUM ROOF PEAK = 19.17 FT.
 - 4.) PEAK ELEVATION = 956.32
 - 5.) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE = $956.32 - 934.51 = 21.81$ FT.

U:\6884 - Kramt-Mogel-Mt Olive\Site Plan\6884-5 Grading & Utility Plan Rev. 1.dwg PS:Chillicoth

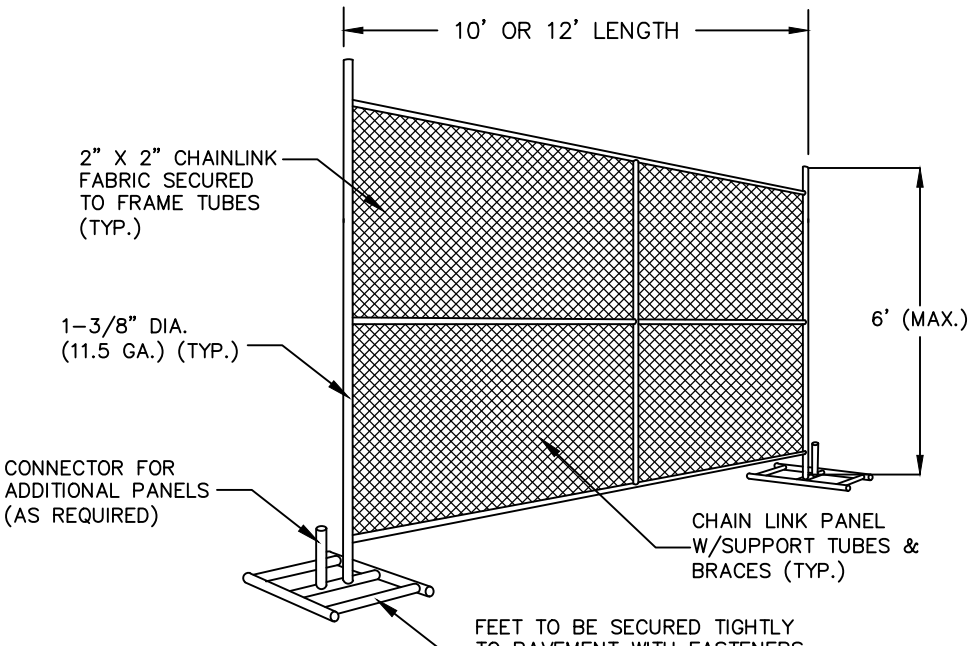
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

REVISED PER N.J.O.T COMMENTS 4/19/22. TWP. PLANNER'S REPORT 3/30/22. TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S REPORT 4/11/22		WBB 5/26/22	
Rev. No.	Description	By	Date
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			
PROPOSED GRADING & UTILITY PLAN		FOR: LOT 87 BLOCK 4100 "KHAN MARKET" TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	
Checked By:	JG	Date:	1/14/22
Drawn By:	WBB	Project No:	6884

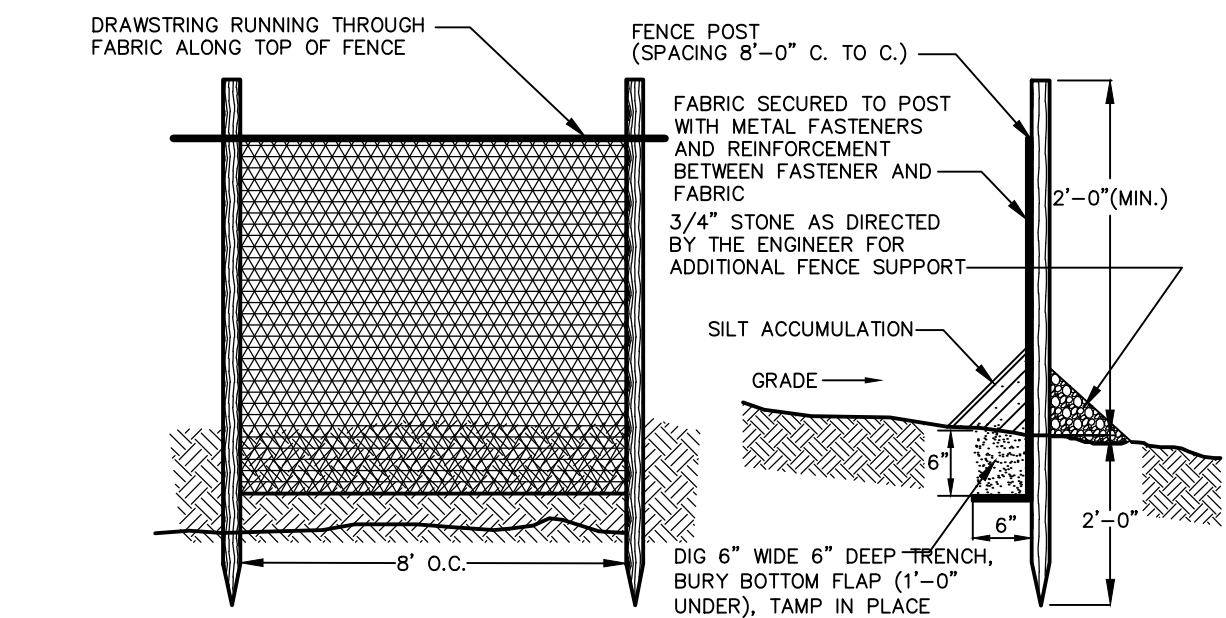
MORRIS COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
 - PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
 - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
 - TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
 - PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 - ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED & MAINTAINED DAILY.
 - STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT TOE OF SLOPE.
 - A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR CHART AND DIMENSIONS.
 - ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
 - PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 - BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
 - ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
 - ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
 - ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION, ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
 - THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
 - THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
 - TOPSOIL STOCKPILE PROTECTION**
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

- TEMPORARY STABILIZATION SPECIFICATIONS**
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT 1 LB/1,000 SF AND ANNUAL RYEGRASS AT 1 LB/1,000 SF.
 - MULCH STOCKPILE WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS**
 - APPLY TOPSOIL TO A DEPTH OF 5" (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F. AND WORK FOUR INCHES (4") INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY HARD FESCUE AT 2.7 LBS/1,000 SF, CREEPING RED FESCUE 0.7 LBS/1,000 SF, AND PERENNIAL RYEGRASS AT 0.25 LBS/1,000 SF.
 - MULCH WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.



TEMPORARY FENCE DETAIL
(N.T.S.)



SILT FENCE DETAIL
(N.T.S.)

DUST CONTROL MATERIALS			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.	COARSE SPRAY	1200
POLYACRYLAMIDE (PAM) - DRY SPREAD			
AGGULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

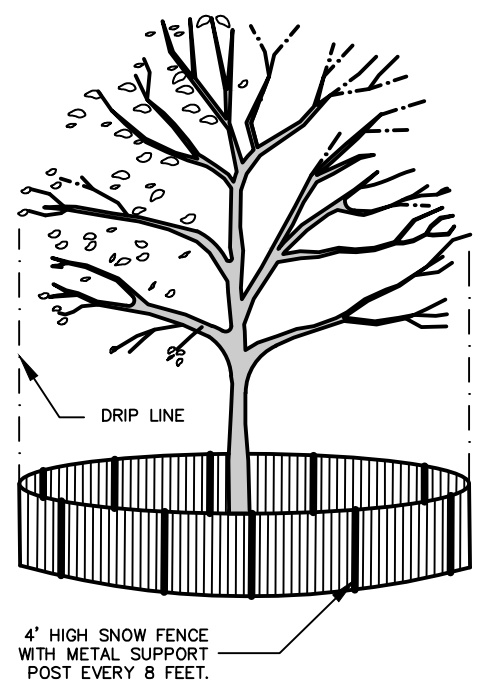
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

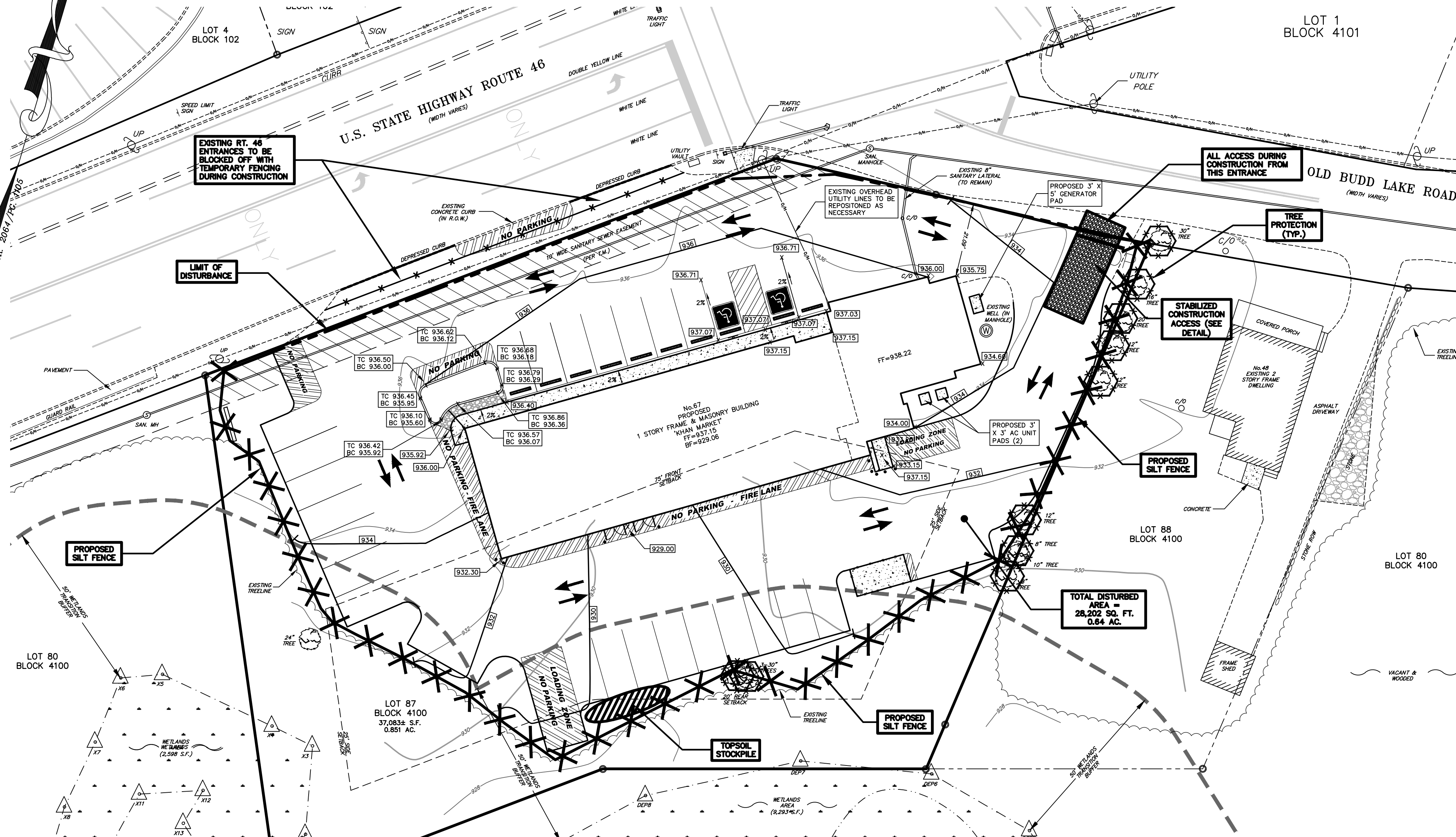
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

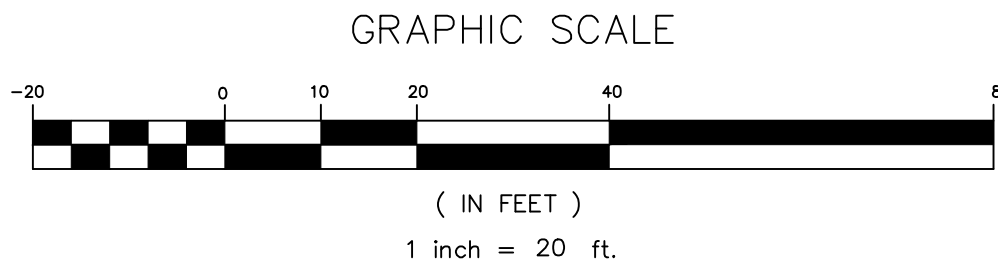


TREE PROTECTION DETAIL
(N.T.S.)

- NOTES:
- BOX TREES WITHIN 25 FT OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING BARRIER SHOULD BE INSTALLED AT THE DRIP LINE OF A TREE OR BEYOND.
 - BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
 - FEEDEE ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES.
 - DAMAGED TRUNKS OR EXPOSED ROOTS SHALL HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A FORESTER OR CERTIFIED TREE EXPERT.
 - TREE LIMB REMOVAL, WHEN NECESSARY WILL BE DONE TO AS NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH AS CLOSE AS POSSIBLE TO THE BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. REMOVAL OF A "V" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.
 - TREE PROTECTION (SEE DETAIL) TO BE USED AROUND ALL TREES TO REMAIN WITHIN LIMIT OF DISTURBANCE.



PROPOSED SOIL EROSION & SEDIMENT CONTROL PLAN



LEGEND:

SUBJECT PROPERTY LINE (OUTBOUND)	EXISTING EASEMENT	X 113.8	EXISTING SPOT GRADE
ADJACENT PROPERTY LINES	EXISTING WETLANDS	X 113.8	PROPOSED SPOT GRADE
EXISTING R.O.W.	EXISTING WETLANDS BUFFER		EXISTING TREE
INDEX CONTOUR	EXISTING GRAVEL		EXISTING SURVEY IRON
INTERIOR CONTOUR	EXISTING GUARD RAIL		EXISTING UTILITY POLE
PROPOSED CONTOUR	PROPOSED RAILING		EXISTING SANITARY MH
EXISTING BUILDING	PROPOSED STOCKADE FENCE		EXISTING STORM MH
PROPOSED BUILDING FOOTPRINT	EXISTING SANITARY SEWER		EXISTING WELL
EXISTING PAVEMENT	EXISTING GRAVEL		EXISTING SIGN
PROPOSED PAVEMENT	PROPOSED CONCRETE		PROPOSED SIGN
EXISTING OVERHEAD UTILITY LINE	EXISTING TREELINE		WETLANDS FLAG
EXISTING STORM SEWER	EXISTING TRAFFIC LIGHT		
EXISTING CURB			

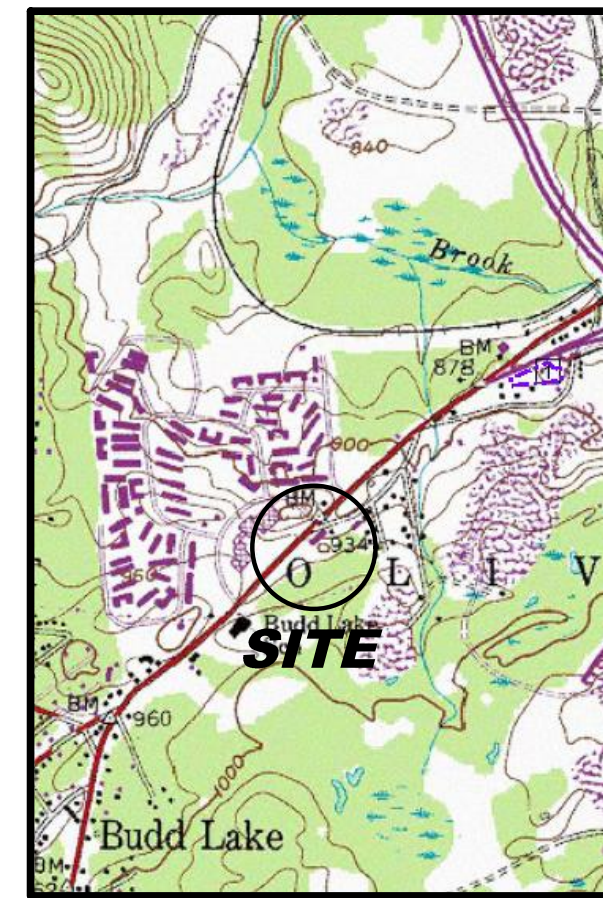
SOIL EROSION LEGEND

CONSTRUCTION ENTRANCE	
LIMIT OF DISTURBANCE	
SILT FENCE	
TOPSOIL STOCKPILE	
TREE PROTECTION	



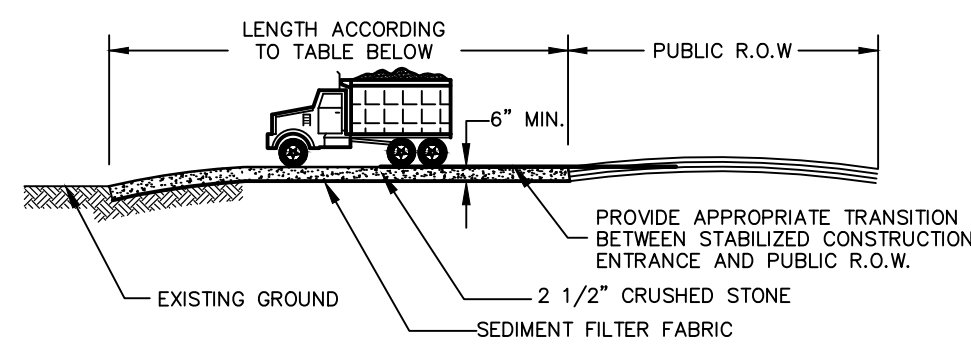
LOCATION PLAN SOIL SURVEY

SCALE: 1"=2000'



LOCATION PLAN FROM U.S.G.S.

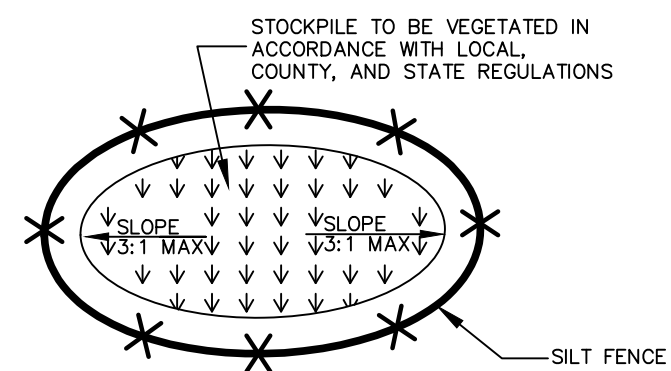
SCALE: 1"=2000'



CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE*	

* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY



TOPSOIL STOCKPILE DETAIL
(N.T.S.)

DESCRIPTION	TIME FRAMES IN DAYS
1. INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRON	1
2. STRIP AND STOCKPILE, TOPSOIL, SEED WITH TEMPORARY SEEDING	3
3. ROUGH GRADING FOR ADDITION & DRIVEWAY	8
4. RENOVATE BUILDING & BRING DRIVEWAY TO SUBGRADE	120
5. CONNECT UTILITIES	5
6. NEW PARKING LOT PAVING/OVERLAY & SIDEWALK	7
7. SLOPE STABILIZATION-PERMANENT SEEDING	2
8. SCARIFY/TILL SUBSOIL TO A DEPTH OF 6"	2
9. COMPLETE PROJECT-LANDSCAPING	5
10. TEMPORARY SOIL EROSION MEASURES TO BE REMOVED	1
TOTAL	±154

*AREA OF SOIL TO BE SCARIFIED = 2,897 S.F.

REVISED PER N.JDOT COMMENTS 4/19/22, TWP PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S REPORT 4/11/22

Rev. No. Description By Date

WBB 5/26/22

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

PROPOSED SOIL EROSION & SEDIMENT CONTROL PLAN

FOR:

LOT 87 BLOCK 4100
"#67 US ROUTE 46"

"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

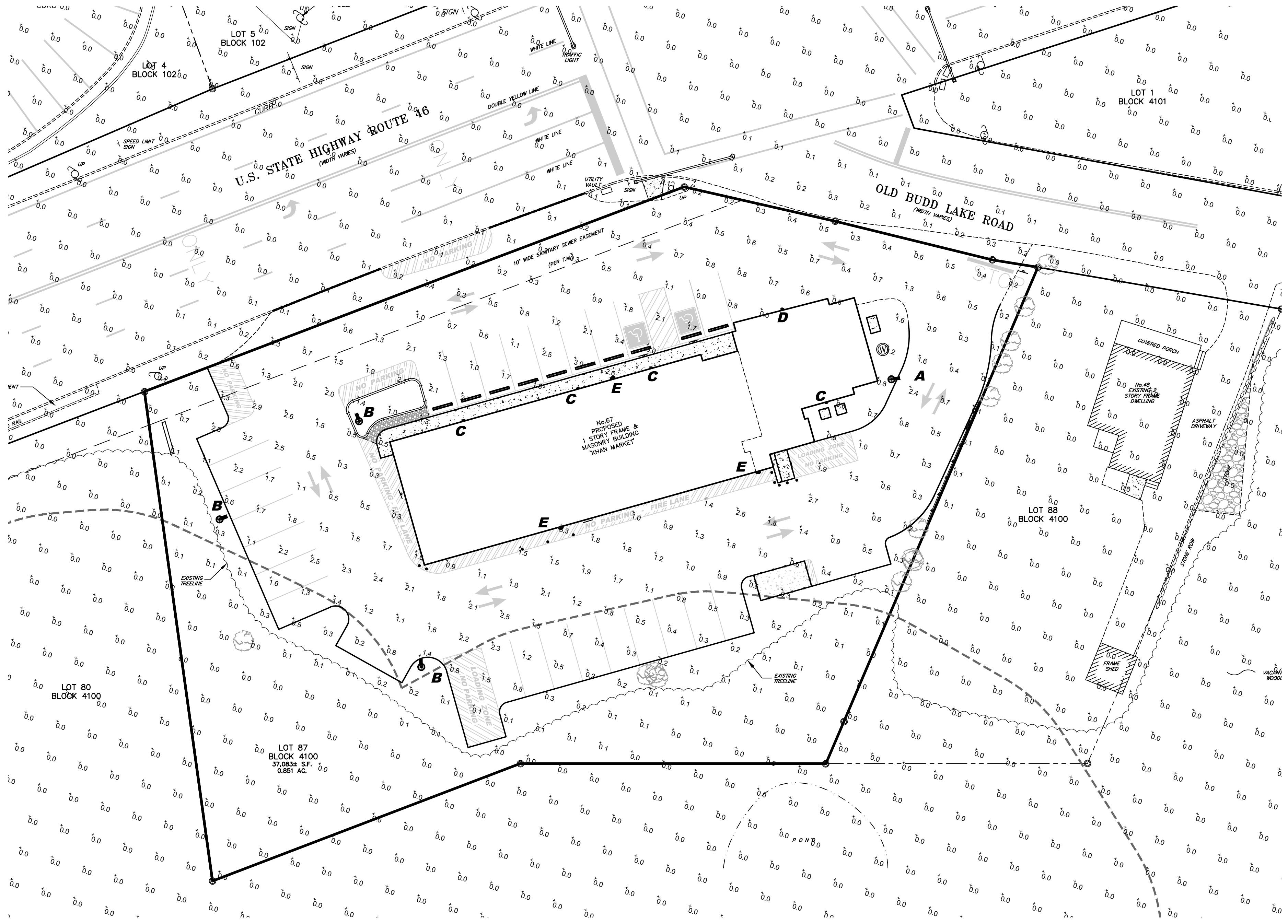
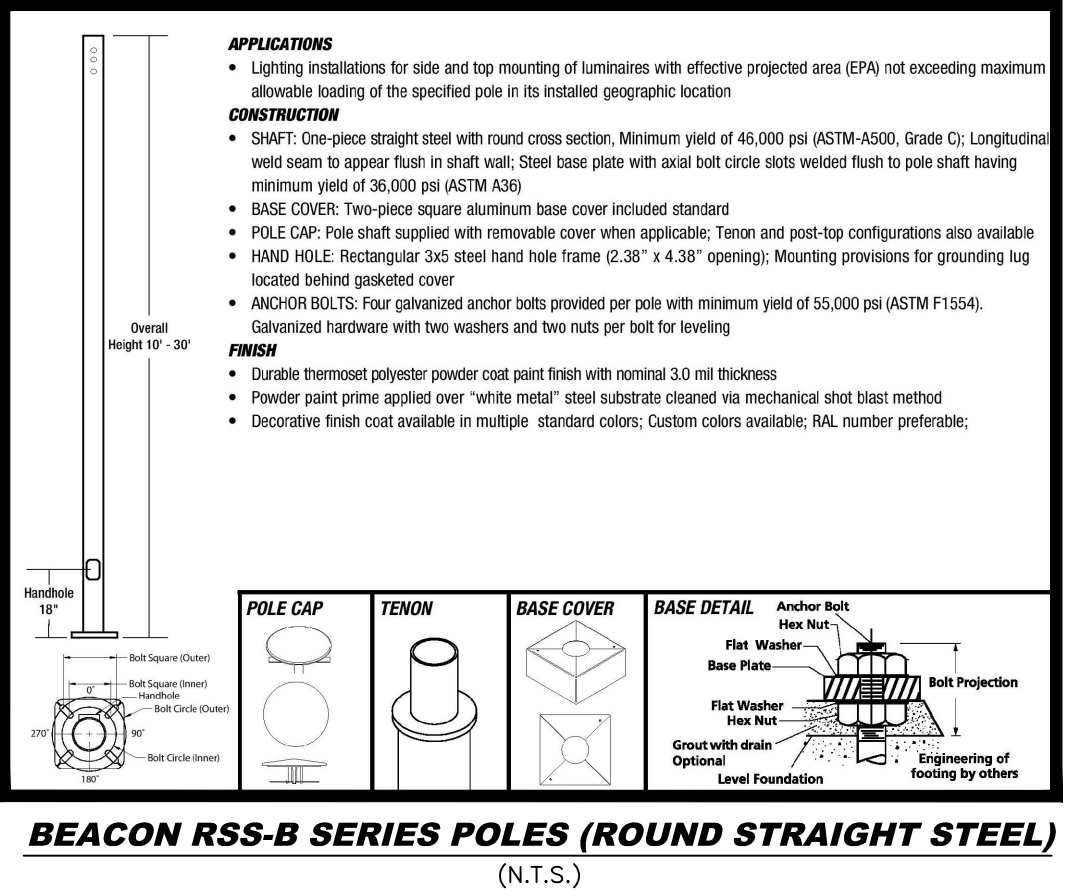
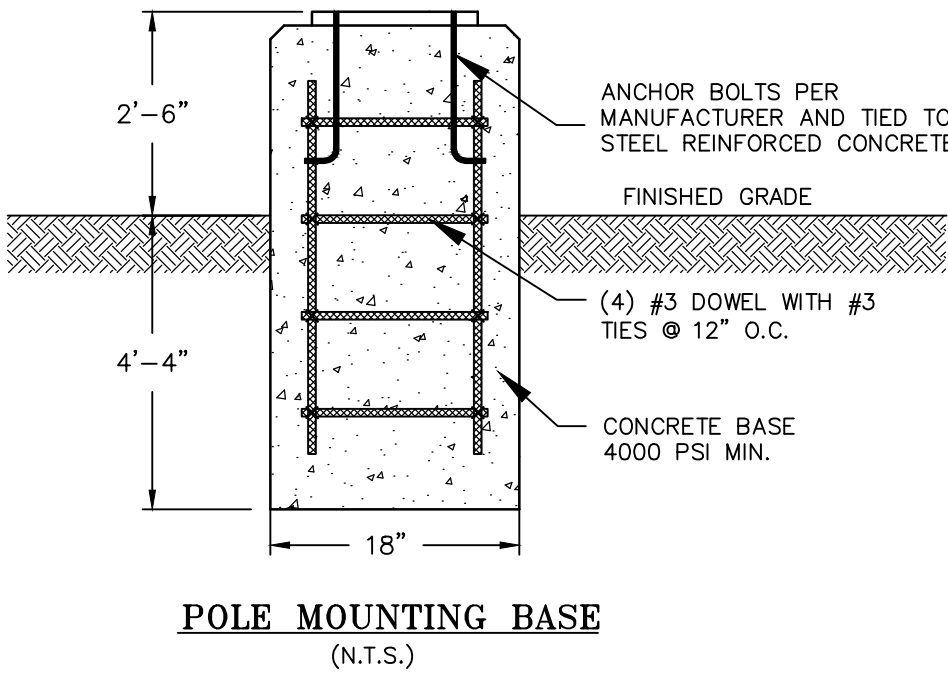
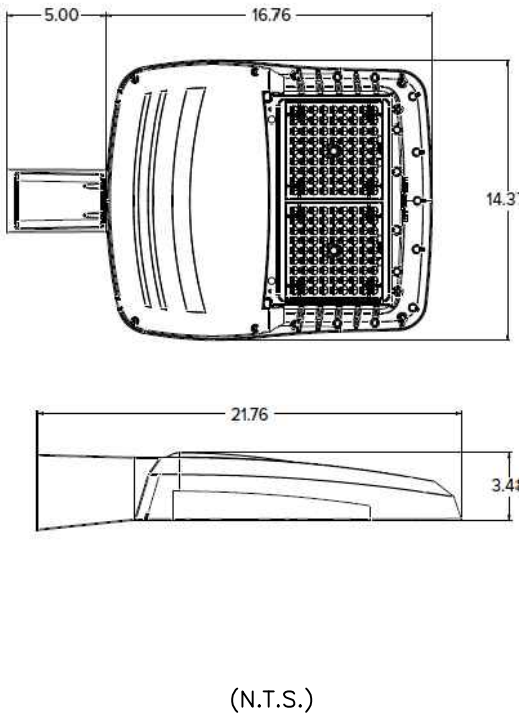
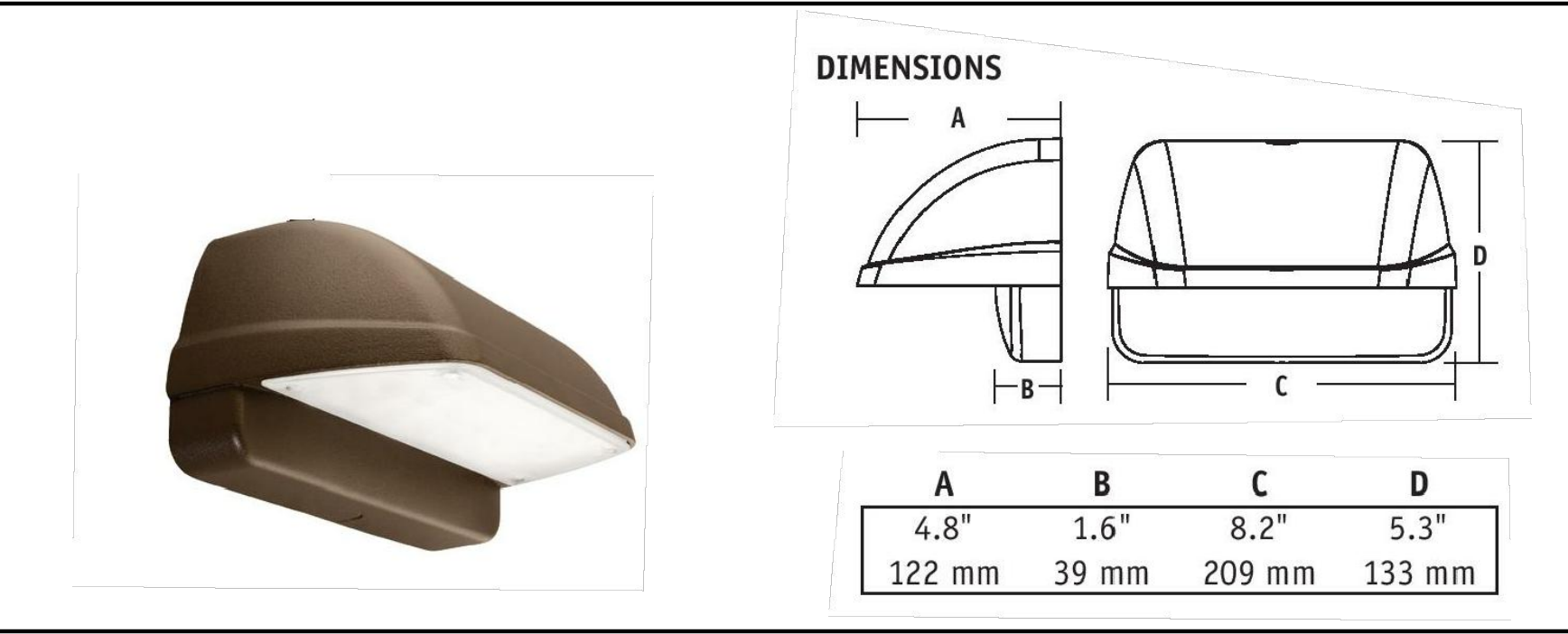
Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

LUMINAIRE SCHEDULE												
Symbol	Qty	Arrangement	Fixture Type	Description	Manufacturer	Catalog Number	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Pole Spec
A	1	Single	P4-HSS-L	AREA LIGHT TYPE 4 WITH 270 SHIELD TO DIRECT LIGHT LEFT	BEACON	VP-1-160L-50-4K7-4F-HSS-270-R-L	4000K	0.900	55	2053	18	RSS-B-18-40-A
B	3	Single	P4W-BC	AREA LIGHT TYPE 4W WITH BACK CONTROL	Hubbell Outdoor	VP-1-160L-50-4K7-4W-BC	4000K	0.900	50.5	3843	18	RSS-B-18-40-A
C	4	Single	WM3	SMALL WALLPACK, TYPE 3	Hubbell Outdoor	LNC-7LU-4K-3	3000K	0.900	16.5	1392	8, 15	
D	1	Single	WM4	SMALL WALLPACK TYPE 4	Hubbell Outdoor	LNC-7LU-4K-4	4000K	0.900	17.4	1535	15	
E	3	Single	WM4-A	WALL PACK LARGE, TYPE 4, 4200 LUMENS	Hubbell Outdoor	LNC2-18L-4K-070-4	4000K	0.900	43.227	4270	15	

LIGHTING NOTES:

- 1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS AND/OR SUNRISE & SUNSET.
- 2.) ALL LIGHTING FIXTURES & LIGHTING CALCULATIONS GENERATED BY DIVERSIFIED NEW JERSEY. FOR ADDITIONAL SUPPORT AND ORDERING INFO, CONTACT MATTHEW KENNY, DIVERSIFIED NEW JERSEY, 55 LANE ROAD, SUITE 360, FAIRFIELD, NJ 07004. CELL: 973-885-1205, EMAL: MKENNY@DIVNJ.COM



PROPOSED LIGHTING PLAN

GRAPHIC SCALE



(IN FEET)

1 inch = 20 ft.

LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING TREE
	ADJACENT PROPERTY LINES		EXISTING SURVEY IRON
	EXISTING R.O.W.		EXISTING UTILITY POLE
	EXISTING BUILDING		EXISTING WELL
	PROPOSED BUILDING FOOTPRINT		EXISTING SIGN
	EXISTING PAVEMENT		PROPOSED SIGN
	PROPOSED PAVEMENT		
	EXISTING CURB		
	EXISTING EASEMENT		
	EXISTING TREELINE		
	EXISTING GRAVEL		
	EXISTING GUARD RAIL		
	PROPOSED RAILING		
	PROPOSED STOCKADE FENCE		
	EXISTING GRAVEL		
	PROPOSED CONCRETE		
	EXISTING TRAFFIC LIGHT		

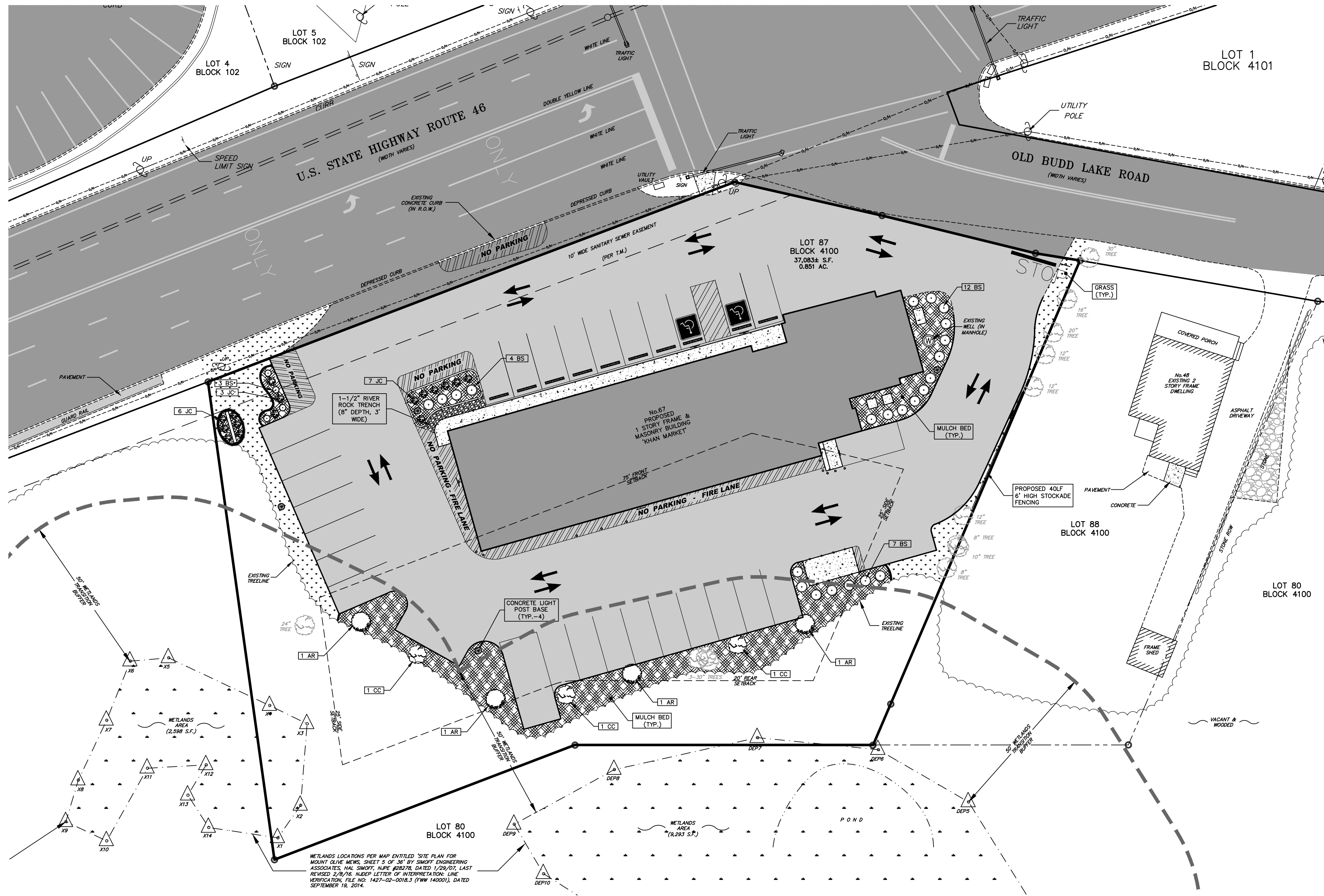
REVISED PER NJDOT COMMENTS 4/19/22, TWP. PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S REPORT 4/11/22			
Rev. No.	Description	By	Date
1		WBB	5/26/22
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			

PROPOSED LIGHTING PLAN FOR: LOT 87 BLOCK 4100 "#57 US ROUTE 46" "KHAN MARKET"	
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	
Checked By: JG	Date: 1/14/22
Drawn By: WBB	Project No: 6884

U:\6884 - Kram-Mogel-Mt. Olive\Site Plan\6884-B Landscaping Plan Rev 1.dwg PS:Chilincetb

LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING WETLANDS		EXISTING TREELINE
	ADJACENT PROPERTY LINES		EXISTING WETLANDS BUFFER		EXISTING TRAFFIC LIGHT
	EXISTING R.O.W.		EXISTING GRAVEL		EXISTING SPOT GRADE
	EXISTING BUILDING		EXISTING GUARD RAIL		EXISTING TREE
	PROPOSED BUILDING FOOTPRINT		PROPOSED RAILING		EXISTING SURVEY IRON
	EXISTING PAVEMENT		PROPOSED STOCKADE FENCE		EXISTING UTILITY POLE
	PROPOSED PAVEMENT		EXISTING SANITARY SEWER		EXISTING SANITARY MH
	EXISTING OVERHEAD UTILITY LINE		EXISTING GRAVEL		EXISTING STORM MH
	EXISTING STORM SEWER		EXISTING PAVEMENT		EXISTING WELL
	EXISTING CURB		PROPOSED PAVEMENT		EXISTING SIGN
	EXISTING EASEMENT		PROPOSED CONCRETE		PROPOSED SIGN



PROPOSED LANDSCAPING PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PLANTING LEGEND:

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	CONTAINER	COMMENTS
	AR	ACER RUBRUM "RED SUNSET"	RED MAPLE	4	5'-6"	B&B	DECIDUOUS
	CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3	5'-6"	B&B	DECIDUOUS
	BS	BUXUS SEMPERVIRENS "SUFFRUTICOSA"	DWARF ENGLISH BOXWOOD	26	2'-3"	3 GAL.	EVERGREEN
	JC	JUNIPERUS CHINENSIS "PARSONI"	PARSON'S JUNIPER	16	2'-3"	3 GAL.	EVERGREEN
		EXISTING TREE - SIZE & TYPE VARIES					
		PROPOSED GRASS					
		PROPOSED MULCH BED					

LANDSCAPING NOTES:

- 1) ALL BEDS (OUTLINED) TO BE PLANTED WITH HARDWOOD MULCH.
- 2) ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
- 3) TREE STAKES AND WIRES SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF INSTALLATION.
- 4) LAWN AREAS SHALL BE SEED AND MULCHED.

TREE REMOVAL & REPLACEMENT

TREES REQUIRED

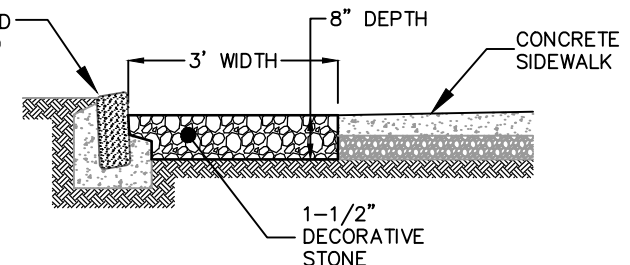
TREE SIZE	NUMBER OF TREES TO BE REMOVED	NUMBER OF REPLACEMENT TREES REQUIRED (EACH)	TOTAL
TREES BETWEEN 6" AND 10"	0	3	0
TREES BETWEEN 11" AND 18"	1	4	4
TREES BETWEEN 19" AND 24"	1	5	5
TREES BETWEEN 25" AND 30"	0	7	0
TREES BETWEEN 31" AND 36"	1	10	10
36" AND GREATER	0	DBH* DIVIDED BY 3	0
TOTAL REPLACEMENT TREES REQUIRED			19

*DIAMETER AT BREAST HEIGHT (4.5 FT.)

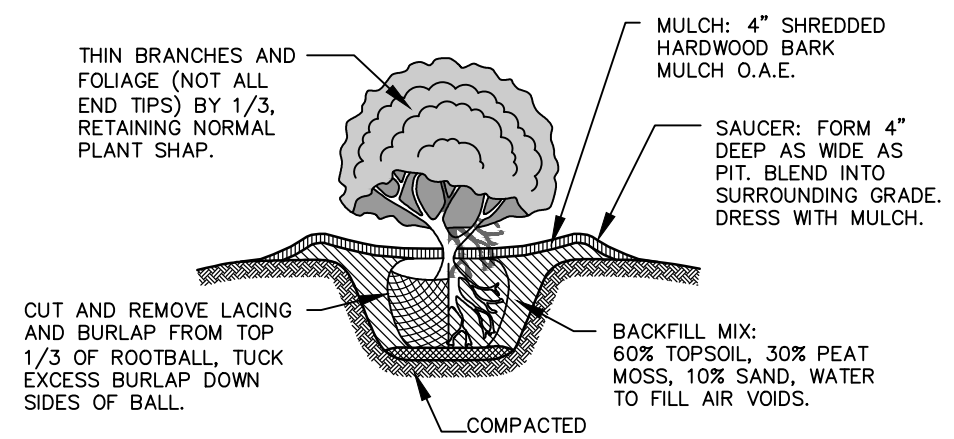
TREES PROPOSED

TYPE OF TREE	NUMBER OF REPLACEMENT TREES** PROPOSED (EACH)
AMERICAN HORNBEAM	3
RED MAPLE	4
TOTAL REPLACEMENT TREES PROPOSED	7**

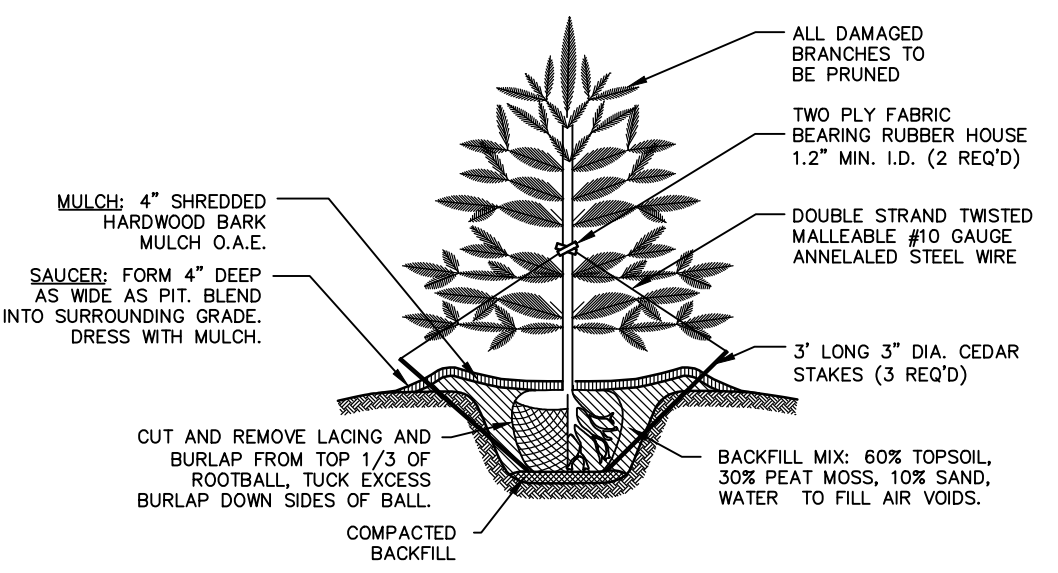
**NUMBER OF TREES AS DIRECTED BY THE TOWNSHIP PLANNER. ALL REPLACEMENT TREES TO BE NURSERY GROWN, CERTIFIED TREES, PROPERLY BALLED, MARKED WITH A DURABLE LABEL INDICATING GENUS, SPECIES AND VARIETY AND SATISFYING THE STANDARDS ESTABLISHED FOR NURSERY STOCK AND INSTALLATION THEREOF SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMAN. TREES TO HAVE A MATURE HEIGHT OF 12 FT. OR MORE AND A TYPICAL DBH OF FOUR INCHES OR GREATER.



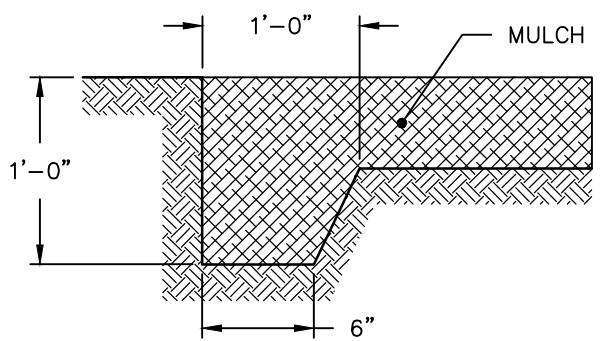
DECORATIVE STONE TRENCH DETAIL (N.T.S.)



TYPICAL SHRUB PLANTING (N.T.S.)



CONIFER/DECIDUOUS TREE PLANTING (N.T.S.)



MULCH PLANT BED EDGE (N.T.S.)

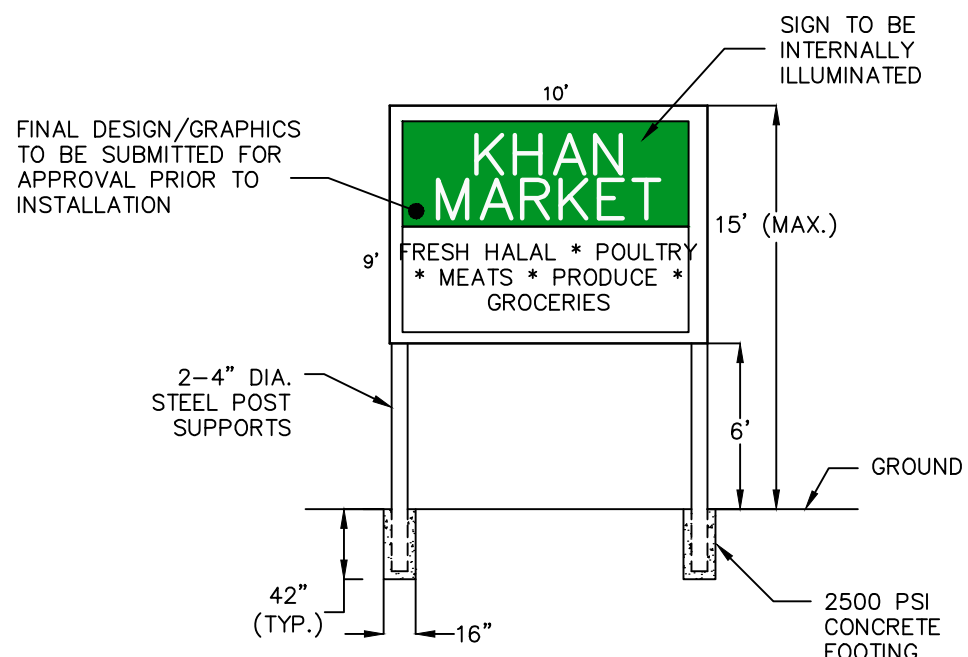
SHEET 8 OF 9

PROPOSED LANDSCAPING PLAN
FOR:
LOT 87 BLOCK 4100
"KHAN MARKET"
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

REVISED PER N.JDOT COMMENTS 4/19/22, TWP.
PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S
REPORT 4/6/22 & TRAFFIC ENGINEER'S
1. REPORT 4/11/22
Rev. No. Description By Date
WBB 5/26/22
CIVIL ENGINEERING, INC.
1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

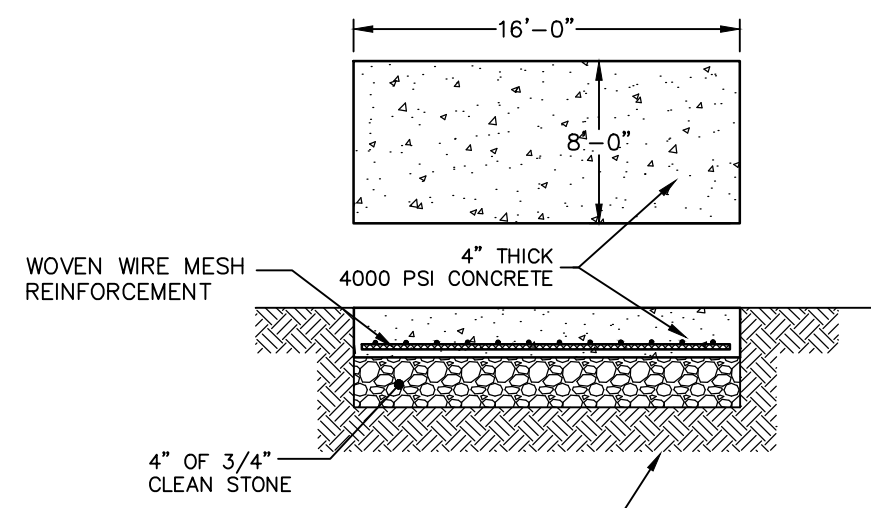
Checked By: JG Date: 1/14/22
Drawn By: WBB Project No: 6884



FREE STANDING SIGN DETAIL

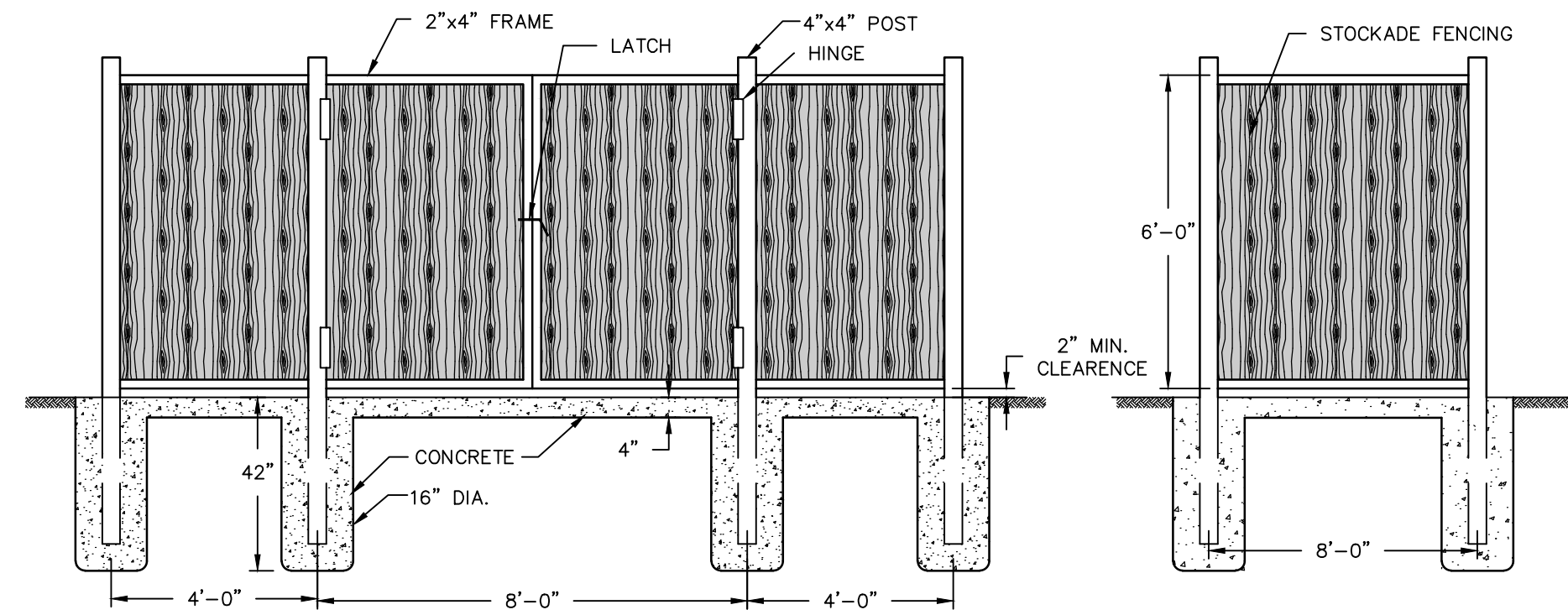
(N.T.S.)

C-1 ZONE - FREE STANDING SIGN FACE
ALLOWED - 90 S.F.
PROPOSED - 90 S.F./SIDE



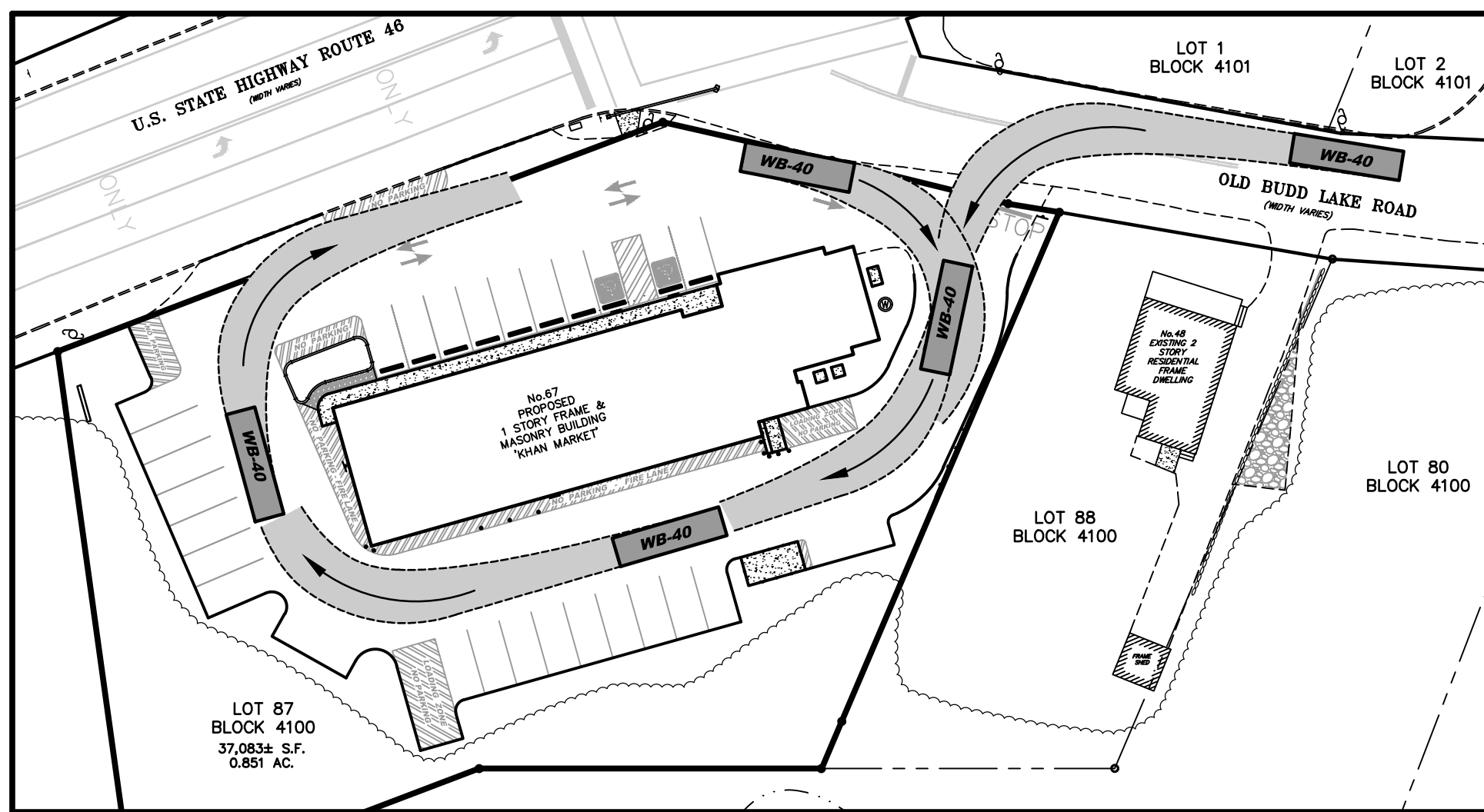
**CONCRETE PAD FOR REFUSE
AREA ENCLOSURE**

(N.T.S.)



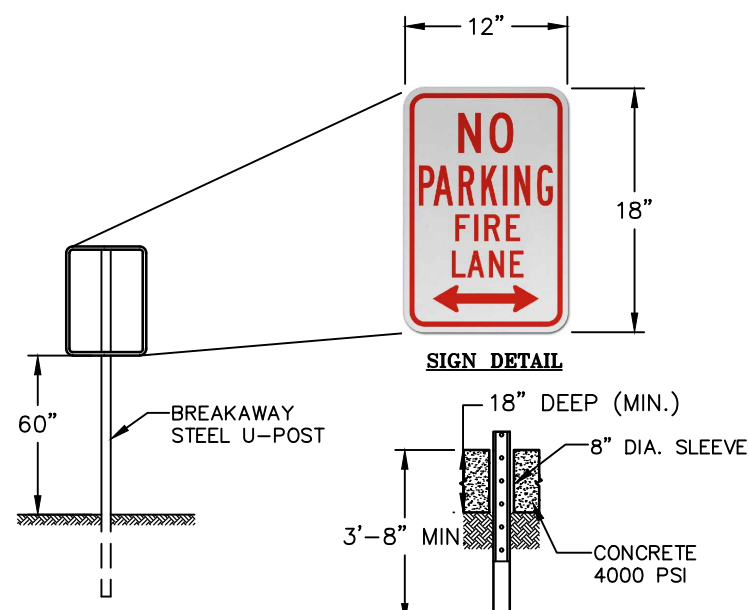
TRASH ENCLOSURE DETAIL

(N.T.S.)



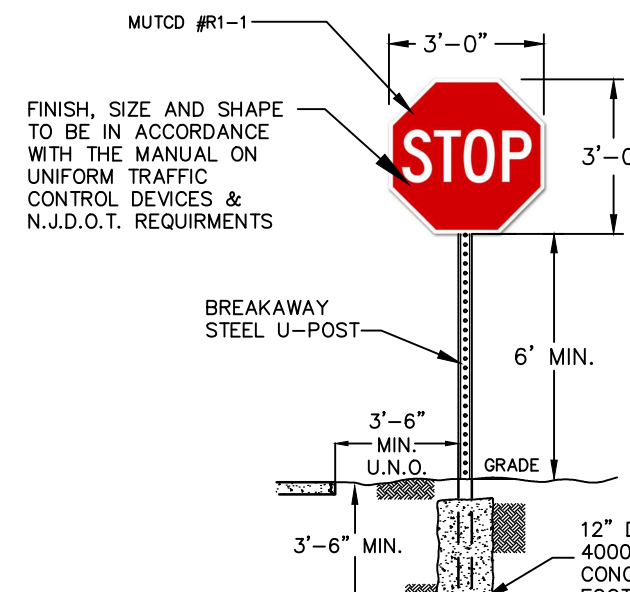
WB-40 TURNING MOVEMENTS

SCALE: 1" = 40'



FIRE LANE SIGN

(N.T.S.)



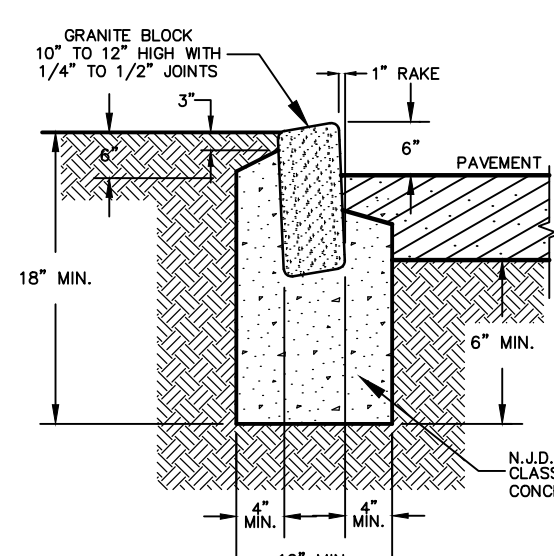
STOP SIGN DETAIL

(N.T.S.)



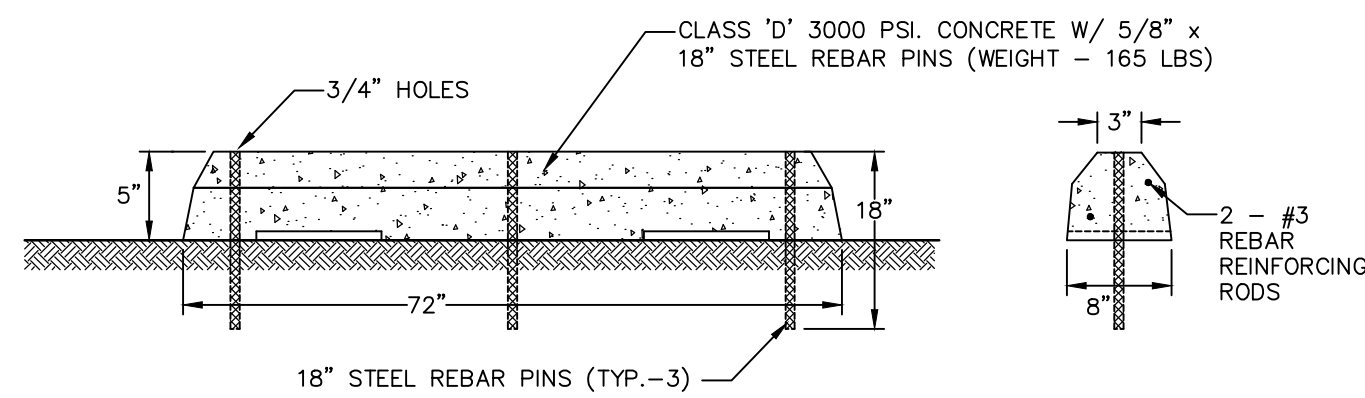
STOP BAR DETAIL

(N.T.S.)



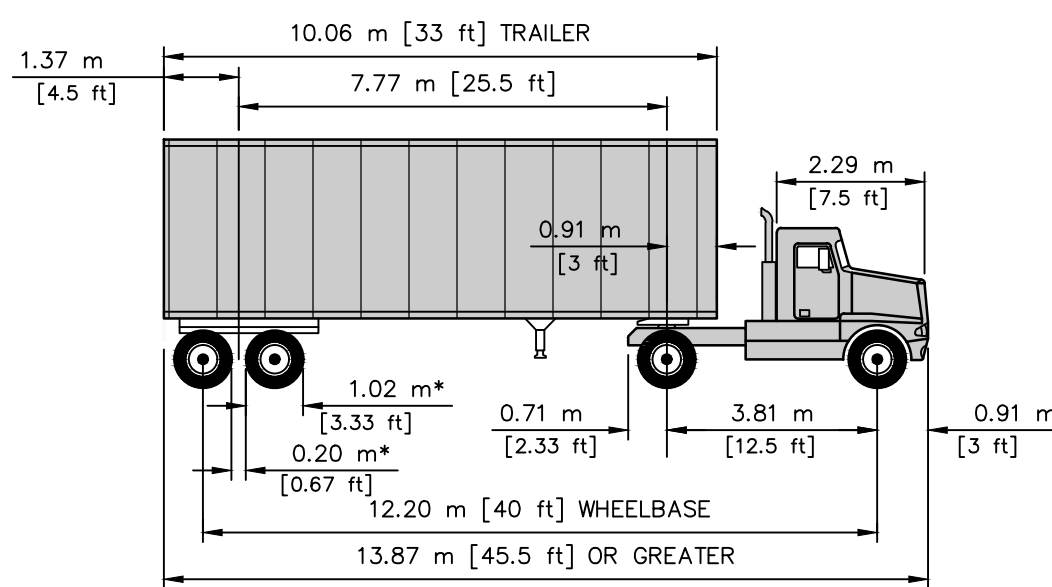
**BELGIAN BLOCK
CURB DETAIL**

(N.T.S.)



CURB BUMPER DETAIL

(N.T.S.)

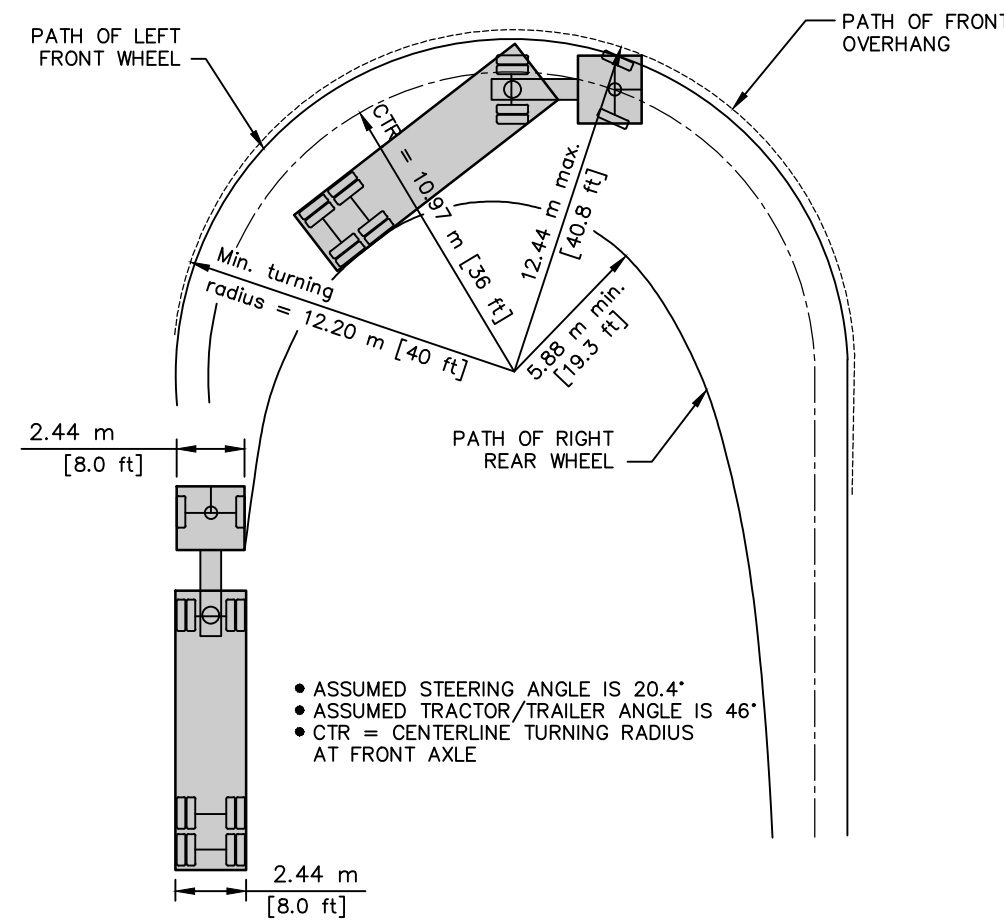


LOADING ZONE

LOADING ZONE DETAIL

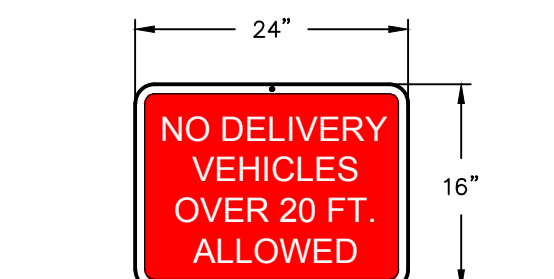
(N.T.S.)

* TYPICAL TIRE SIZE AND SPACE BETWEEN
TIRES APPLIES TO ALL TRAILERS.



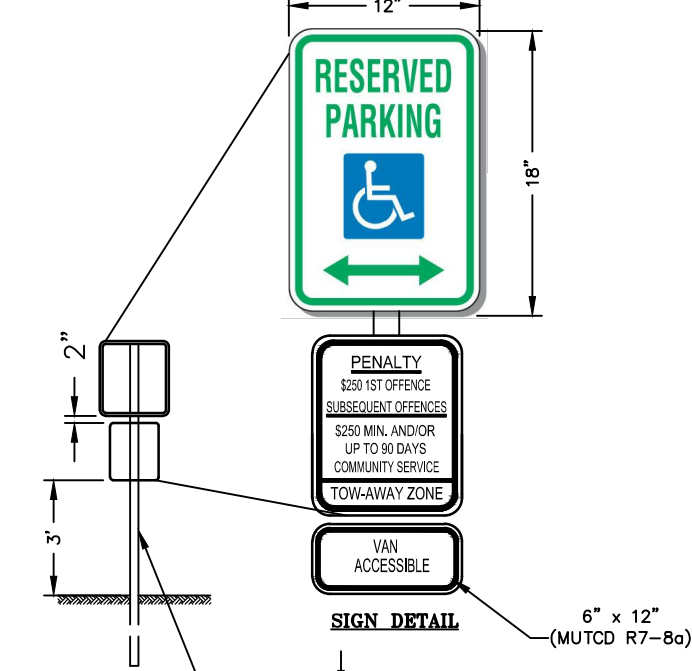
WB 40 TRUCK TURNING RADIUS DETAIL

(N.T.S.)



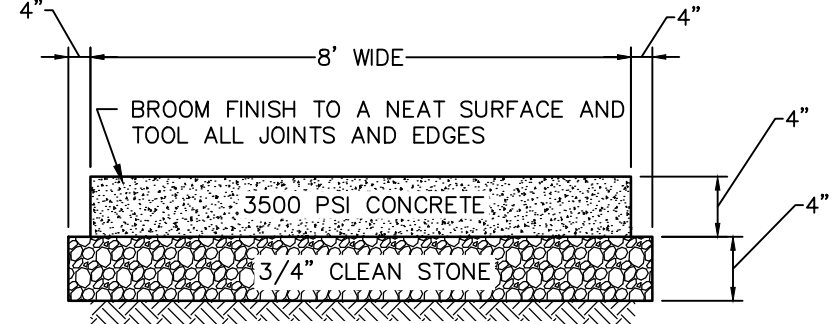
**PROPOSED LOADING
DOCK SIGN**

(SIGN TO BE MOUNTED SECURELY TO LOADING DOCK WITH
PERMANENT FASTENERS AND BE CLEARLY VISIBLE)
(N.T.S.)



HANDICAPPED PARKING SIGN

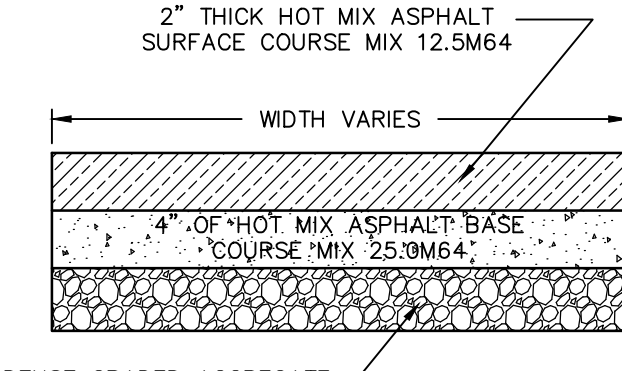
(N.T.S.)



CONCRETE SIDEWALK DETAIL

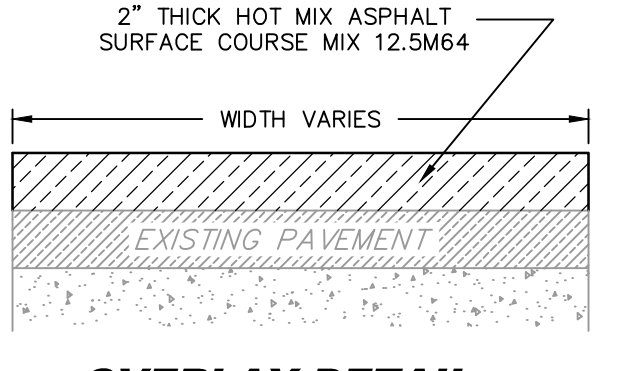
(N.T.S.)

NOTE:
EXPANSION JOINTS SHALL BE 1/2\"/>



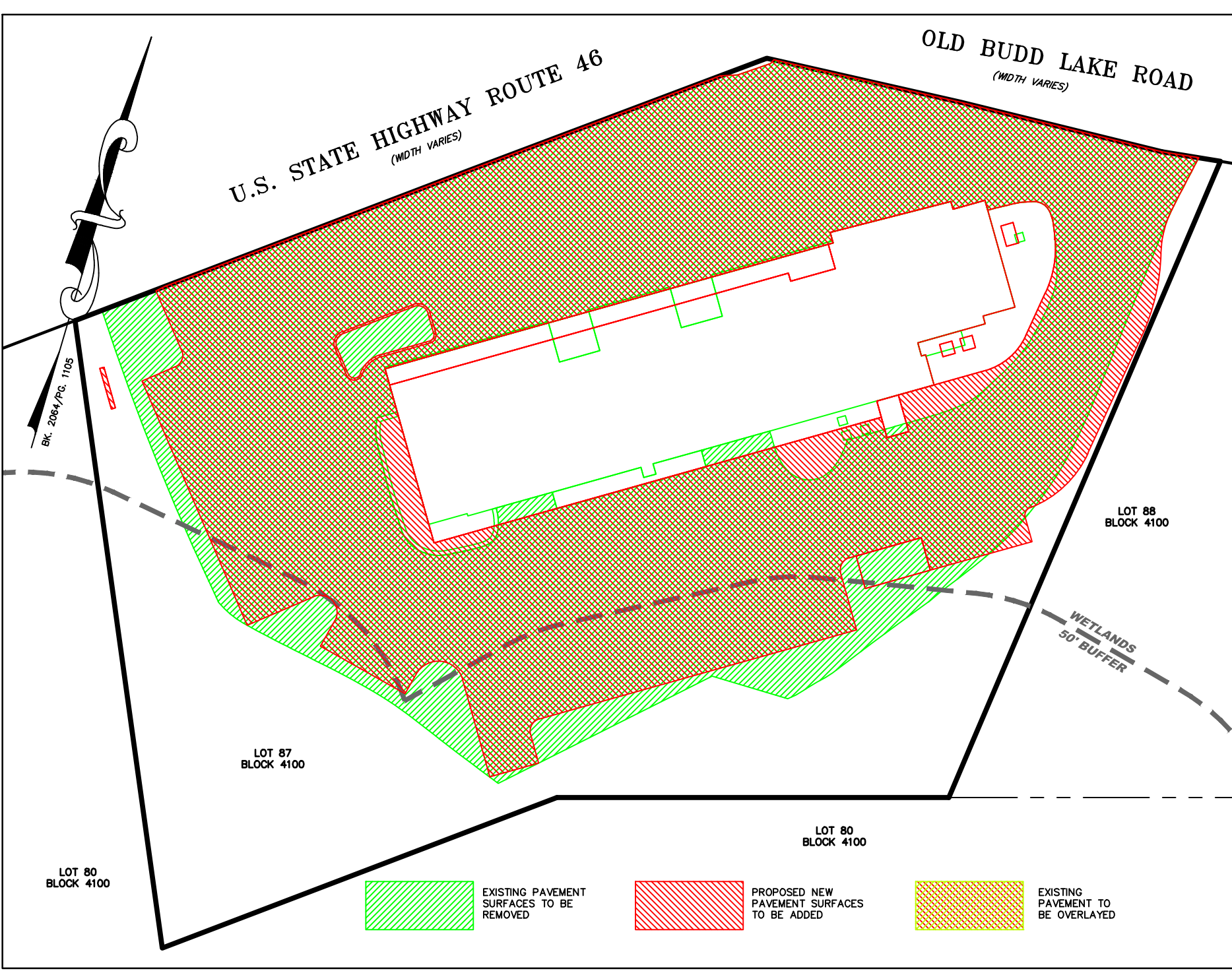
NEW PAVEMENT DETAIL

(N.T.S.)



OVERLAY DETAIL

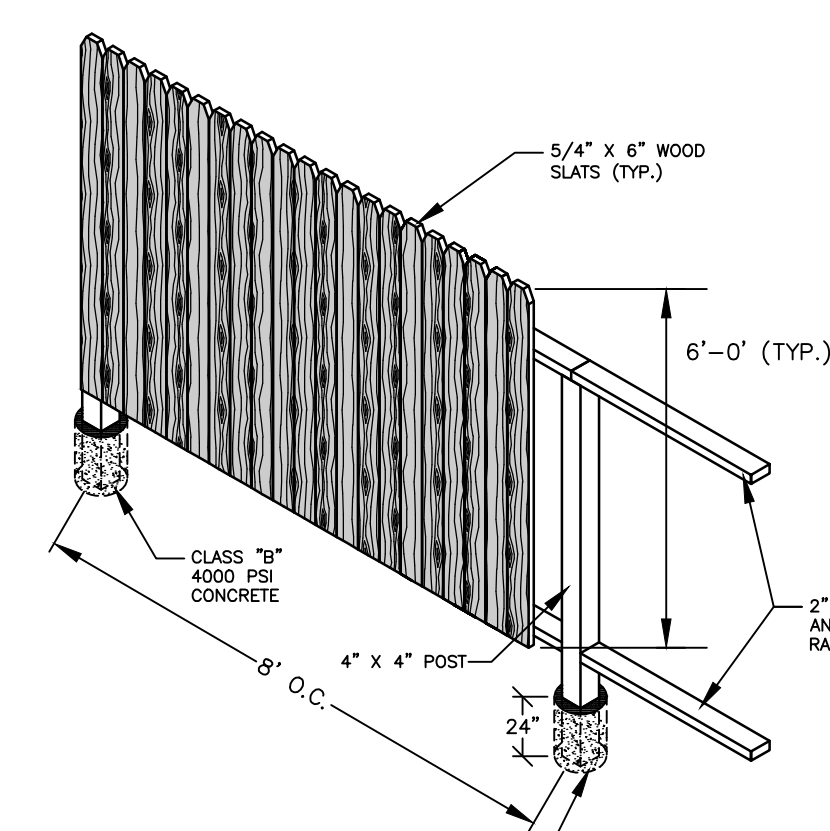
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PAVEMENT OVERLAY DETAIL

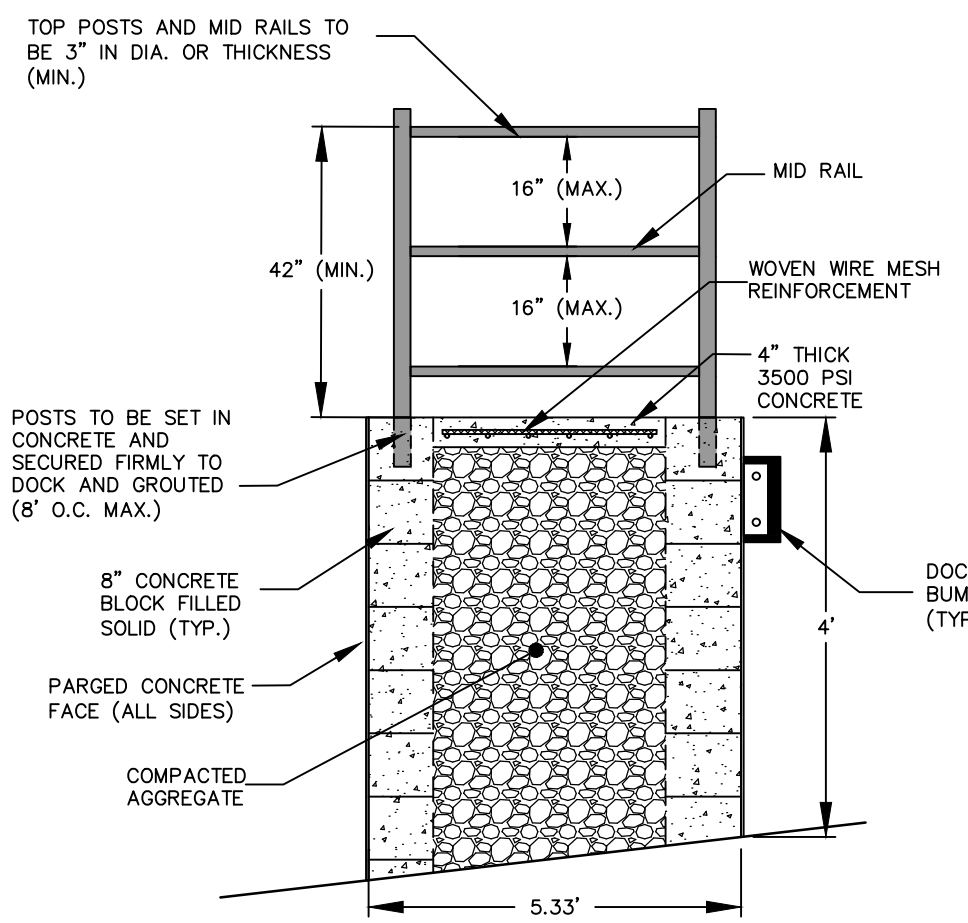
SCALE: 1" = 30'

NOTES
1. ADDITIONAL AREAS OF NEW PAVEMENT MAY BE REQUIRED. ANY EXISTING PAVEMENT AREAS DEEMED UNACCEPTABLE BY THE TOWNSHIP ENGINEER TO BE REMOVED AND
HAVE FULL PAVEMENT REPLACED PER DETAIL (BELOW).
2. NO AREAS OF NEW PAVEMENT ARE PROPOSED WITHIN THE WETLANDS TRANSITION BUFFER.
3. AREA OF EXISTING PAVEMENT WITHIN BUFFER TO BE REMOVED = 1,289 S.F.



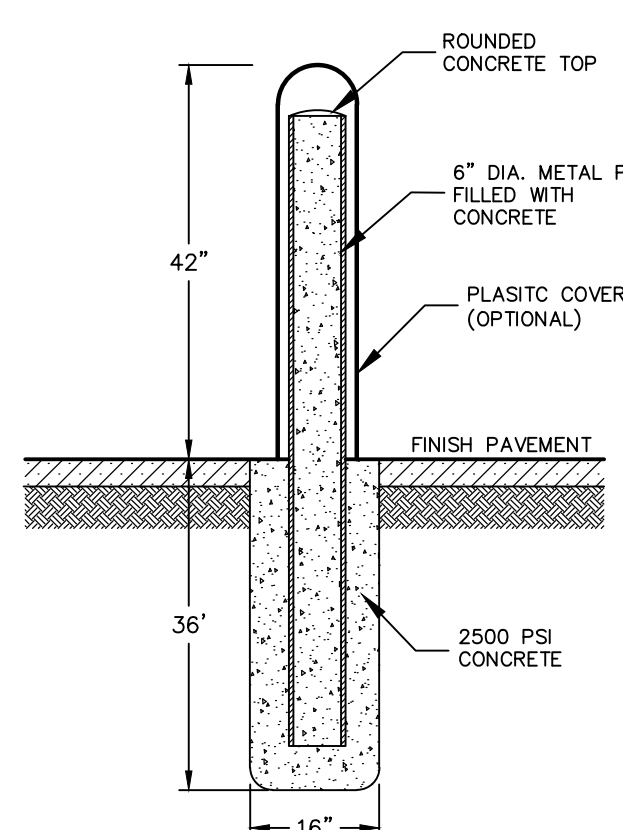
"STOCKADE" TYPE FENCE DETAIL

(N.T.S.)



LOADING DOCK DETAIL

(N.T.S.)



CONCRETE BOLLARD DETAIL

(N.T.S.)

REVISED PER N.J.DOT COMMENTS 4/19/22, TWP. PLANNER'S REPORT 3/30/22, TWP. ENGINEER'S REPORT 4/6/22 & TRAFFIC ENGINEER'S 1. REPORT 4/11/22				WBB	5/26/22
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JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

CONSTRUCTION DETAILS FOR: LOT 87 BLOCK 4100 "KHAN MARKET" TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY			
Checked By:	JG	Date:	1/14/22
Drawn By:	WBB	Project No:	6884