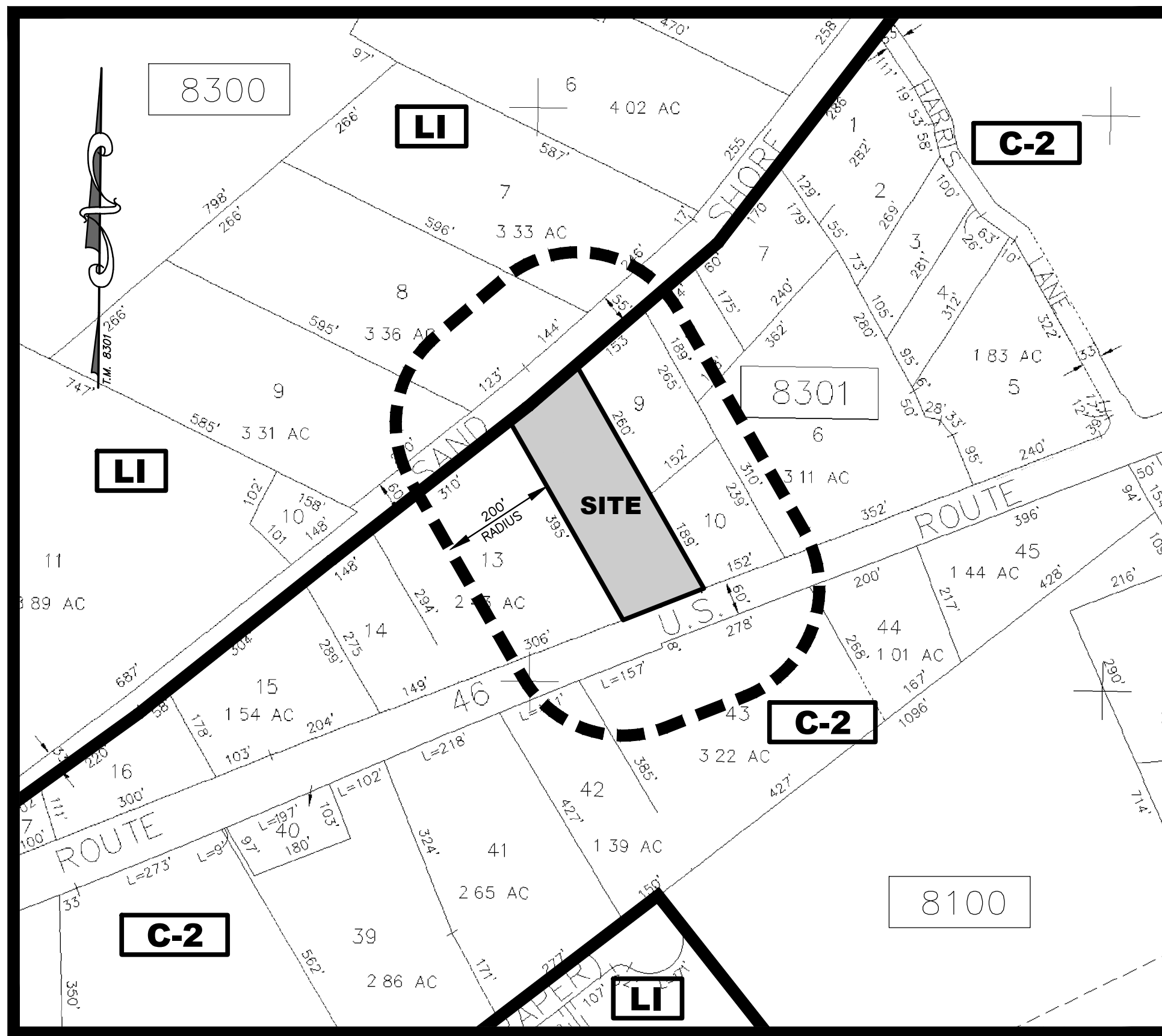
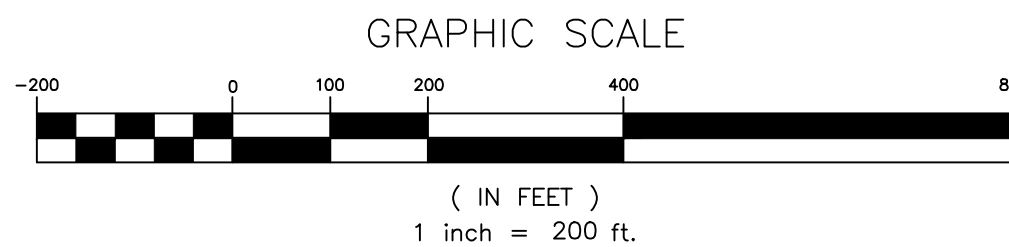


PRELIMINARY & FINAL SITE PLAN FOR LOT 11 BLOCK 8301 "GARDEN STATE GROUNDSKEEPING"

SITUATED IN :
THE TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY



KEY MAP



PREPARED BY :

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716

GENERAL NOTES

- 1.) APPLICANT/PROJECT OWNER: GARDEN STATE GROUNDSKEEPING
P.O. BOX 597
LONG VALLEY, NJ 07853
(973) 440-0384
OWNER: ELEVENTH HOUR ANIMAL RESCUE
ATT: S. KUDNIK
33 ROGER RD.
SUCCASUNNA, NJ 07876
- 2.) THE SUBJECT PROPERTY IS KNOWN AS LOT 11 BLOCK 8301 AS SHOWN ON SHEET 83.01 OF THE TOWNSHIP OF MT. OLIVE TAX MAPS. THE PROPERTY CONTAINS 61,573.77 S.F. OR 1.41 AC.
- 3.) LOT DIMENSIONS (METES AND BOUNDS), PER MAP ENTITLED "OUTBOUND & TOPOGRAPHY FOR TAX MAP LOTS 11 & 12 BLOCK 8301" PREPARED BY CIVIL ENGINEERING, INC., JAMES A. BAKER, N.J.PLS No. 23132, DATED 12/1/06.
- 4.) LOCATION OF EXISTING POOL & PATIO (BUILT & PARTIALLY REMOVED) AS SHOWN ON SURVEY PERFORMED BY W. LEE BOOTHY, DATE UNKNOWN (SURVEY COMPLETED PRIOR TO 2004).
- 5.) TOPOGRAPHIC INFORMATION PERFORMED BY CIVIL ENGINEERING, INC., ON 11/28/06. VERTICAL DATUM (NAVD 88) ESTABLISHED BY GLOBAL POSITIONING SYSTEM TECHNOLOGY.
- 6.) WATER IS TO BE SUPPLIED TO THE SUBJECT PROPERTY BY A PROPOSED ON SITE WELL. THE EXISTING WELL WILL BE CAPPED, SEALED AND ABANDONED IN PLACE, IN ACCORDANCE WITH NJDEP REQUIREMENTS.
- 7.) SANITARY SEWERAGE IS PROVIDED BY AN EXISTING SEPTIC DISPOSAL SYSTEM CONSISTING OF A 1,000 GAL. SEPTIC TANK AND AN EXISTING SEEPAGE PIT. THIS SYSTEM WILL BE PUMPED OUT AND USED (IN A MINIMAL CAPACITY) DURING PHASE 1. DURING PHASE 2, A NEW ON LOT SUBSURFACE SEPTIC SYSTEM CONSISTING OF FOUR 1,000 GAL. CONCRETE SEPTIC TANKS, A 1,500 GAL. PUMP TANK AND AN 913 S.F. SEPTIC DISPOSAL BED WILL BE INSTALLED AND THE PREVIOUS SYSTEM WILL BE ABANDONED. APPLICATION FOR NEW SEPTIC APPROVAL IS TO BE MADE TO THE MOUNT OLIVE HEALTH DEPARTMENT, UNDER SEPARATE COVER.
- 8.) ALL CONSTRUCTION AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, AND MUNICIPAL REQUIREMENTS.
- 9.) ALL MATERIALS ACCUMULATED BY GRUBBING OR EXCAVATION SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE TOWNSHIP ENGINEER.

PROPOSAL

THE SUBJECT PROPERTY IS LOCATED IN THE C-2 COMMERCIAL ZONE (AND NJ HIGHLANDS PRESERVATION AREA), LOCATED ALONG ROUTE 46 WEST IN MOUNT OLIVE TOWNSHIP. THE SITE HAS BEEN PREVIOUSLY DEVELOPED AND WAS FORMERLY USED AS A LIMOUSINE RENTAL SERVICE ("TEMP'S LIMOUSINE") AND MOST RECENTLY WAS THE OFFICE FOR AN ANIMAL RESCUE ORGANIZATION ("11TH HOUR ANIMAL RESCUE"). THE PROPERTY CURRENTLY CONTAINS 2 BUILDINGS, AN EXISTING TWO STORY 1,552 S.F. FRAMED PRINCIPAL BUILDING (BUILDING 'A', WHICH HAS BEEN PARTIALLY USED AS AN OFFICE), AND A 1,130 S.F. TWO STORY FRAMED BARN (BUILDING 'B'). THERE ALSO WAS A THIRD BUILDING (BUILDING 'C') AS SHOWN ON HIGHLANDS EXEMPTION PLANS SHEETS 7 & 12 WHICH HAS BEEN REMOVED. THE SITE ALSO CONTAINS 14,356 S.F. OF PAVED AND GRAVEL PARKING AND DRIVEWAY AREAS AND AN ADDITIONAL 5,746 S.F. OF CONCRETE WALKWAYS, PATIOS, AND A POOL AREA. THE SITE HAS TWO POINTS OF ACCESS TO ROUTE 46 IN THE FRONT AND A SINGLE ACCESS POINT TO SAND SHORE ROAD IN THE REAR. UTILITIES ARE PROVIDED BY UNDERGROUND LINES FOR ELECTRIC, TELEPHONE & CABLE, AN EXISTING WELL FOR WATER AND AN ON SITE SEPTIC SYSTEM FOR SEPTIC SEWERAGE.

THE APPLICANT IS PROPOSING TO RENOVATE AND USE THE PRESENT SITE FOR THE NEW HOME OF "GARDEN STATE GROUNDSKEEPING", A LANDSCAPING DESIGN, INSTALLATION AND MAINTENANCE COMPANY. TO BE ABLE TO UTILIZE THE NEW SITE SOONER AND ALSO MEET THEIR CURRENT NEEDS, GARDEN STATE GROUNDSKEEPING IS PROPOSING TO OCCUPY THE SITE UTILIZING A TWO PHASE PLAN. ONCE APPROVED, PHASE 1 WILL BEGIN AND THE COMPANY WILL MAKE MODIFICATIONS TO THE SITE AND PARTIALLY MOVE THE BUSINESS THERE, UTILIZING THE SITE FOR VEHICLE PARKING, STORAGE AND A SMALL OPERATIONS OFFICE. THE MAJORITY OF THEIR OFFICE WILL REMAIN AT THEIR CURRENT LOCATION IN CHESTER. WITHIN A YEAR OF BEING APPROVED, PHASE 2 OF THE PHASE 2 WILL BEGIN AND THE COMPANY WILL BEGIN THE PROCESS OF CONVERTING THE SITE TO THE FINAL APPROVED LAYOUT AND PROCEED WITH ALL PROPOSED IMPROVEMENTS. THE FIRST TASK TO BE COMPLETED IN PHASE 2 IS THE INSTALLATION OF THE NEW SEPTIC SYSTEM, WHICH BESIDES SERVING THE NEW PROPOSED BUILDING 'D', WILL PROVIDE SEPTIC SERVICE FOR A NEW BATHROOM TO BE INSTALLED WITHIN THE ACCESSORY BARN STRUCTURE 'B' IN THE REAR. ONCE COMPLETED, THE OPERATIONS OFFICE WILL BE TEMPORARILY MOVED TO BUILDING 'B' AND THE AREA AROUND EXISTING BUILDING 'A' WILL BE FENCED OFF (SEE DETAIL SHEET 10) AND THE REMOVAL OF BUILDING 'A' AND CONSTRUCTION OF NEW BUILDING 'D' WILL BEGIN. THE COMPANY WILL CONTINUE TO UTILIZE THE SITE DURING THIS TIME WHEN ALL IMPROVEMENTS ARE COMPLETED AND APPROVED, THE OPERATIONS OFFICE IN BUILDING 'B' AND ITS OFF SITE OFFICE WILL BOTH MOVE INTO THE NEW BUILDING 'D' AND FULLY OCCUPY THE SITE. THE OFFICE AREA IN BUILDING 'B' WILL BE FULLY REMOVED AND THE BUILDING WILL BE CONVERTED TO A WOOD SHOP/FENCE FABRICATION AREA WITH STORAGE ON THE 2ND FLOOR. THE TWO PHASES WILL CONSIST OF:

- PHASE 1 (PARKING, STORAGE, & OPERATIONS OFFICE)
1. NEW GRAVEL WILL BE LAID DOWN WITHIN HIGHLANDS CRITERIA TO PROVIDE ADDITIONAL PARKING, MANEUVERING AND STORAGE SPACE FOR BOTH EMPLOYEES AND COMPANY VEHICLES.
 2. NO NEW STRUCTURES AND MINIMAL SIGNAGE IS PROPOSED AT THIS TIME.
 3. ONE TREE WILL BE REMOVED.
 4. BOLLARDS WILL BE INSTALLED TO PROTECT THE EXISTING WATER SPIGOT AND THE EXISTING WELL HEAD WILL BE PROTECTED WITH BOULDERS.
 5. NO CHANGES OR REMOVAL TO ANY OTHER EXISTING STRUCTURES.
 6. THE EXISTING BUILDING 'A' WILL BE UTILIZED AS AN OPERATIONS OFFICE FOR ONE EMPLOYEE. THE REMAINDER OF THE COMPANY'S OFFICES WILL REMAIN AT ITS CURRENT LOCATION UNTIL PHASE 2 IS COMPLETED. THE EXISTING SEPTIC WILL BE PUMPED OUT AND USED (IN A MINIMAL CAPACITY) FOR THIS OFFICE.
 7. THE EXISTING BARN BUILDING 'B' WILL BE UTILIZED FOR STORAGE OF HAND TOOLS, MOWERS, TRIMMERS, BLOWERS AND ANY OTHER SMALL ITEMS OR TOOLS USED BY THE BUSINESS.
 8. LOCKING SWING ARM GATES WILL BE INSTALLED IN THE FRONT AND REAR OF THE PROPERTY.

- PHASE 2 (RENOVATIONS TO FULL OPERATION)
1. THE PROPOSED SEPTIC SYSTEM WILL BE INSTALLED.
 2. A NEW BATHROOM WILL BE INSTALLED IN BUILDING 'B' AND CONNECTED TO EXISTING WATER AND NEW SEPTIC UTILITIES.
 3. THE OPERATIONS OFFICE WILL BE MOVED FROM EXISTING BUILDING 'A' TO EXISTING BUILDING 'B'.
 4. THE EXISTING POOL & PATIO WILL BE EXCAVATED, UNCOVERED AND TOTALLY REMOVED.
 5. THE EXISTING SEPTIC WILL BE REMOVED (PER LOCAL AND NJDEP REGULATIONS).
 6. THE EXISTING BUILDING 'A' WILL BE REMOVED.
 7. A NEW WELL WILL BE DRILLED AND THE EXISTING WELL WILL BE SEALED AND ABANDONED.
 8. THE PROPOSED DRYWELL INFILTRATION SYSTEM WILL BE INSTALLED.
 9. A NEW 2,805 S.F. BUILDING (BUILDING 'D') WITH A HC COMPLIANT BATHROOM WILL BE ERRECTED, TO BE USED FOR VEHICLE AND TOOL STORAGE AND AS THE COMPANY'S MAIN OFFICE.
 10. THE EXISTING PARKING LOT AND ACCESS DRIVES WILL BE RECONFIGURED TO THEIR FINAL LAYOUT. ANY EXCESS GRAVEL WILL BE REMOVED AND THE ENTIRE PARKING LOT AND ACCESS DRIVES WILL BE PAVED/OVERLAYED.
 11. CONCRETE STORAGE BINS WILL BE ERRECTED FOR STORAGE OF BULK LOOSE MATERIAL.
 12. THE EXISTING BARN BUILDING 'B' WILL REMAIN AND BE UTILIZED AS A WOOD SHOP/FENCE FABRICATION AREA.
 13. NEW SIGNAGE WILL BE INSTALLED.
 14. ADDITIONAL LIGHTING AND LANDSCAPING WILL BE INSTALLED.
 15. THE MAIN OFFICE AND OFFICE WORKERS WILL TRANSFER TO THE NEW SITE.

BUSINESS NOTES

GARDEN STATE GROUNDSKEEPING IS A LANDSCAPE, DESIGN, INSTALLATION AND MAINTENANCE COMPANY THAT SERVES BOTH RESIDENTIAL AND COMMERCIAL CLIENTS. THE BUSINESS CURRENTLY HAS 9 EMPLOYEES AND OPERATES 5 DAYS A WEEK FROM 7AM TO 5PM, WITH OCCASIONAL SATURDAYS DURING THE SUMMER AND AS NEEDED. THE EMPLOYEES WILL ARRIVE IN THE MORNING AND LEAVE BY 7:30AM, UTILIZING SOME OF THE COMPANY'S 14 VEHICLES AS TRANSPORTATION TO THE JOB SITES. DURING PHASE 1 ALL WORK OFFSITE WILL BE CONTRACTED THROUGH THE CHESTER OFFICE WITH NO PUBLIC ACCESS TO THE MT. OLIVE SITE. DURING PHASE 1, ONLY ONE EMPLOYEE MAY BE AT THE SITE DURING THE DAY, AND ALL OTHERS WILL BE WORKING AT THE CLIENT'S JOB SITES. AT THE END OF THE WORK DAY, THE EMPLOYEES WILL THEN RETURN AT APPROX. 4:45PM TO STORE THE COMPANY'S TOOLS AND EQUIPMENT, RETRIEVE THEIR VEHICLES, AND DEPART FOR THE DAY. AFTER PHASE 2 HAS BEEN COMPLETED, THE MAIN OFFICE WILL BE OPENED AT THIS SITE AND OFFICE WORKERS WILL OCCUPY THE SITE FOR THE ENTIRE DAY.

ZONE REQUIREMENTS

THE SUBJECT PROPERTY IS LOCATED IN THE C-2 COMMERCIAL ZONE AND IS SUBJECT TO THE FOLLOWING:

LOT:	REQUIRED	EXISTING	PROPOSED PHASE 1	PROPOSED PHASE 2
MINIMUM LOT AREA	2 AC.	1.41 AC. *	NO CHANGE	NO CHANGE
MINIMUM LOT WIDTH	200 FT.	150.00 FT. *	NO CHANGE	NO CHANGE
MINIMUM LOT DEPTH	250 FT.	264.17 FT. *	NO CHANGE	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.3	.10	NO CHANGE	0.12
MAXIMUM BUILDING COVERAGE	20% MAX.	4.35%	NO CHANGE	7.7%
MAXIMUM LOT COVERAGE	60% MAX.	32.13%	40.39%	41.75%
PRINCIPAL BUILDING 'A':	REQUIRED	EXISTING	PROPOSED	PROPOSED
MINIMUM FRONT YARD SETBACK	90 FT.	65.3 FT.* (RT. 46)	NO CHANGE	TO BE REMOVED
MINIMUM SIDE YARD SETBACK	60 FT.	311.3 FT. (SANDSHORE RD.)	NO CHANGE	TO BE REMOVED
MINIMUM REAR YARD SETBACK	50 FT.	14.5 FT. (R)*/77.7 FT. (L)	NO CHANGE	TO BE REMOVED
MAXIMUM HEIGHT	30 FT.	N/A	N/A	TO BE REMOVED
ACCESSORY BUILDING 'B':	REQUIRED	EXISTING	PROPOSED	PROPOSED
MINIMUM FRONT YARD SETBACK	100 FT.	252.1 FT. (RT. 46)/131.4 FT. (SANDSHORE RD.)	NO CHANGE	NO CHANGE
MINIMUM SIDE/REAR YARD SETBACK	20 FT.	4.2 FT. (R)*	NO CHANGE	NO CHANGE
MINIMUM PRINCIPAL STRUCTURE SETBACK	15 FT.	145.3 FT.	NO CHANGE	NO CHANGE
MAXIMUM HEIGHT		> 15 FT. *	NO CHANGE	NO CHANGE
PRINCIPAL BUILDING 'D':	REQUIRED	EXISTING	PROPOSED	PROPOSED
MINIMUM FRONT YARD SETBACK	90 FT.	N/A	N/A	61.3 FT. (RT. 46)**
MINIMUM SIDE YARD SETBACK	60 FT.	N/A	N/A	252.7 FT. (SANDSHORE RD.)
MINIMUM REAR YARD SETBACK	50 FT.	N/A	N/A	42.8 FT. (R)*/70.3 FT. (L)
MAXIMUM HEIGHT	30 FT.	N/A	N/A	29.83 FT.

*VARIANCE REQUIRED

VARIANCES REQUESTED

PRINCIPAL BUILDING 'D':	REQUIRED	PROPOSED
MINIMUM FRONT YARD SETBACK	90 FT.	61.3 FT. (RT. 46)*
MINIMUM SIDE YARD SETBACK	60 FT.	42.8 FT. (R)*

DESIGN EXCEPTIONS REQUESTED

	REQUIRED	EXISTING	PROPOSED
LOADING SPACE SIZE	1 - 12' x 60'	N/A	NONE
PARKING AREA SETBACK (SIDE)	15'	2.0'	1.5'
ENVIRONMENTAL IMPACT STATEMENT	YES	N/A	NONE
PARKING LOT BUFFER	YES	N/A	NONE
CURSING FOR PARKING LOT	YES	N/A	NONE

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF LOT 11 BLOCK 8301

BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
8100	43	JOHNSON FAMILY HOLDINGS LLC 385 ROUTE 46 HACKETTSTOWN, NJ 07840	8300	7 C010	MANAGED BUSINESS LLC 430 SAND SHORE RD HACKETTSTOWN, NJ 07840
8100	44	CALLAREM LINCOLN-MERCURY INC 379 ROUTE 46 HACKETTSTOWN, NJ 07840	8300	8	SAND SHORE INDUST COMPLEX J LYNCH 421 WEST MAIN ST BOONTON, NJ 07005
8300	7 C001	FITZGERALD, GERALD W. & YOLANDE 430 SANDSHORE RD HACKETTSTOWN, NJ 07840	8300	9	ENTERPRISE PARK INC. R. HUESTON 256 COLUMBIA TRK. STE 207 FLORHAM PARK, NJ 07932
8300	7 C002	CUMMINS, JAMES 699 MADISON AVE NEW YORK, NY 10021	8301	10	GLADISH, ROBERT 482 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C003	UNIT 3 INC. MUSEUM STORE PRODUCTS 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	11	ELEVENTH HR ANML RESC ATTN R KEYSER 482 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C004	UNIT FOUR/FIVE INC W HUNTLY 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	13	VARETTINI, JULIAN B 480 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C006	CUMMINS, JAMES JR 699 MADISON AVE NEW YORK, NY 10021	8301	6	MCORT PROPERTIES LLC 480 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C007	PROPERTY ONE MANAGEMENT LLC 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	8	JENC PROPERTIES LLC 433 SAND SHORE RD HACKETTSTOWN, NJ 07840
8300	7 C008	AOK MOUNT OLIVE LLC 8 MANEE PL HOLMDEL, NJ 07733	8301	9	TIGHE, LAWRENCE J JR PO BOX 1000 HACKETTSTOWN, NJ 07840
8300	7 C009	JAMES CUMMINS FINE ART INC 699 MADISON AVE NEW YORK, NY 10021			

UTILITIES

BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKETTSTOWN, NJ 07840	MT. OLIVE TOWNSHIP, WATER & SEWER DEPT. P.O. BOX 5827 204 FLANDERS-DRAKESTOWN RD. MT. OLIVE, NJ 07828	NEW JERSEY - AMERICAN WATER CO., INC. CHERRY HILL, NJ 08034
R. ALBANESE NEW JERSEY NATURAL GAS 1415 WICKOFF ROAD WALL, NJ 07719	N.J. DEPT OF TRANSPORTATION 1035 PARKWAY DRIVE ON 600 TRENTON, NJ 08625	APPLIED WASTEWATER MANAGEMENT 2 CLERICO LANE HILLSBOROUGH, NJ 08844
BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP. 1470 POORHOUSE ROAD DOWNTOWN, PA 19335-3642	PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102	

SHEET INDEX

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GRADING & UTILITY PLAN - PHASE 1.....	SHEET 4
SOIL EROSION PLAN - PHASE 1.....	SHEET 5
LIGHTING PLAN - PHASE 1.....	SHEET 6
HIGHLANDS EXEMPTION PLANS - PHASE 1.....	SHEET 7
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GRADING & UTILITY PLAN - PHASE 2.....	SHEET 9
SOIL EROSION PLAN - PHASE 2.....	SHEET 10
LIGHTING PLAN - PHASE 2.....	SHEET 11
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LANDSCAPING PLAN.....	SHEET 13
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POST-DEVELOPMENT DRAINAGE AREA PLAN.....	SHEET 16

BOARD APPROVAL BLOCK

CHAIRMAN	DATE
SECRETARY	DATE

OWNER'S SIGNATURE

NAME	DATE
------	------

COVER SHEET

FOR:

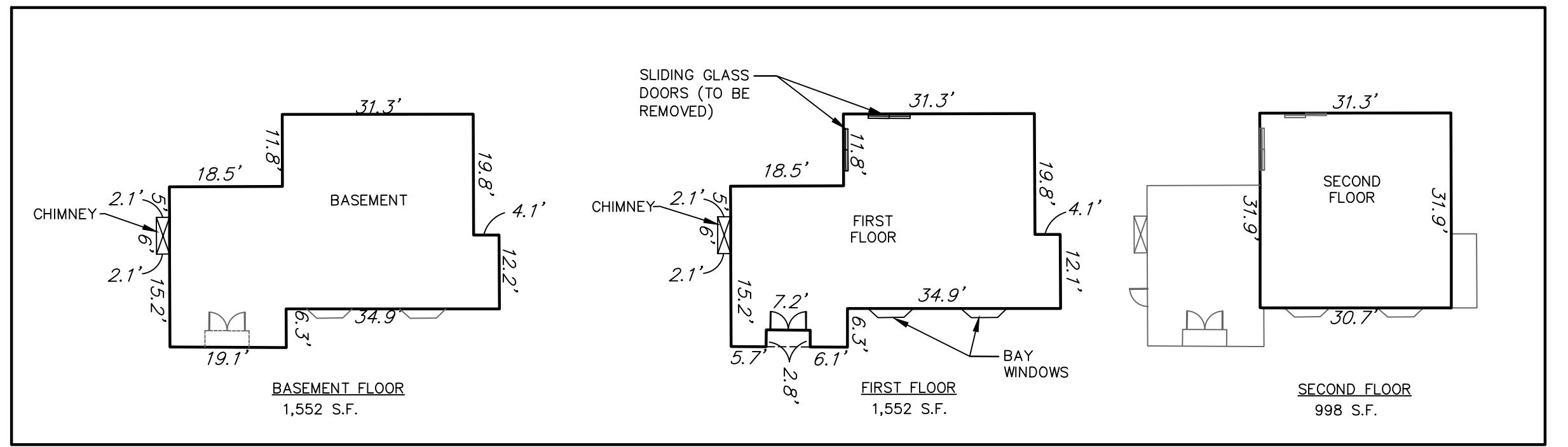
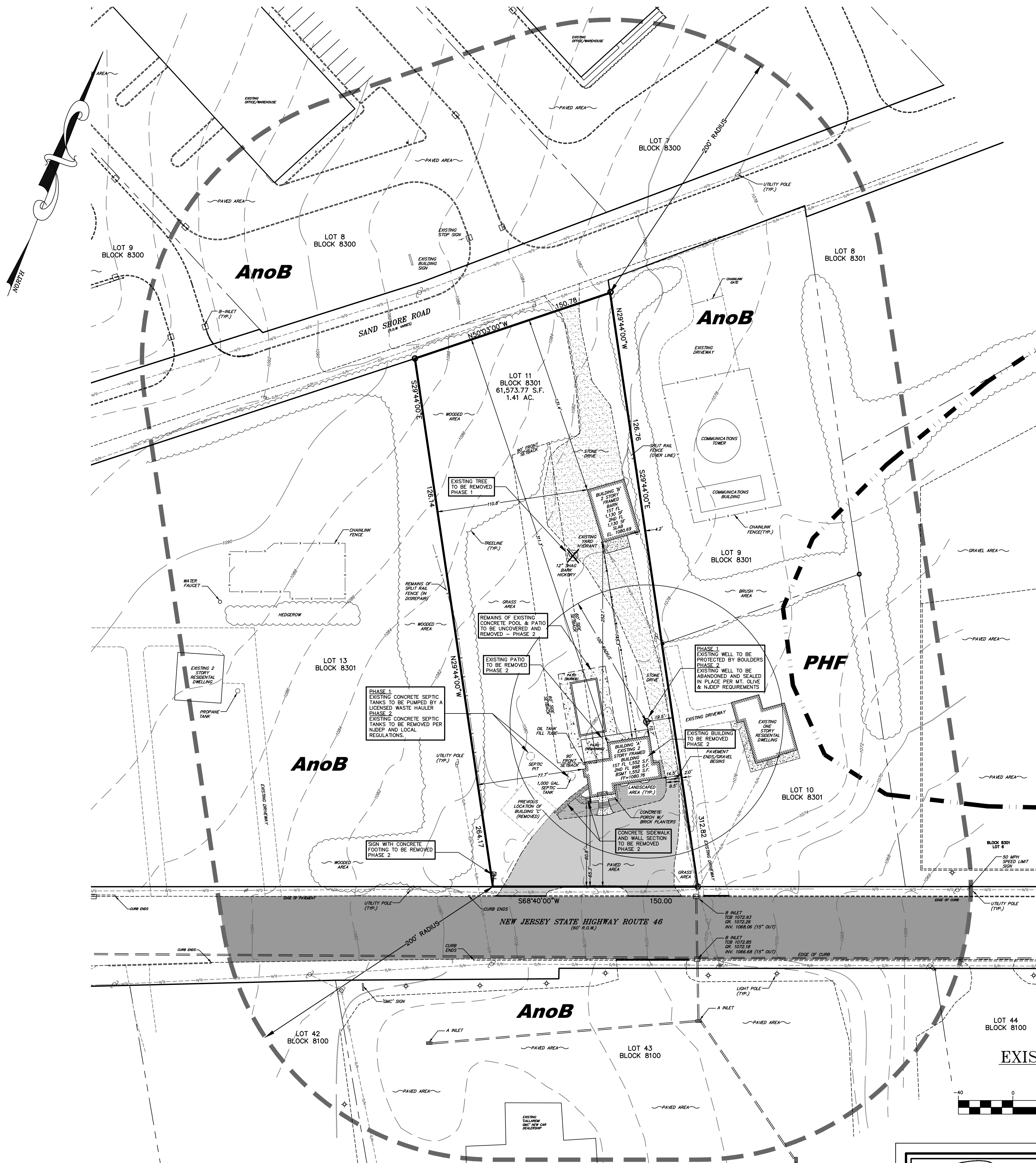
'GARDEN STATE GROUNDSKEEPING'
PRELIMINARY & FINAL SITE PLAN
LOT 11 BLOCK 8301
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 4/27/22
Drawn By: WBB	Project No: 6931

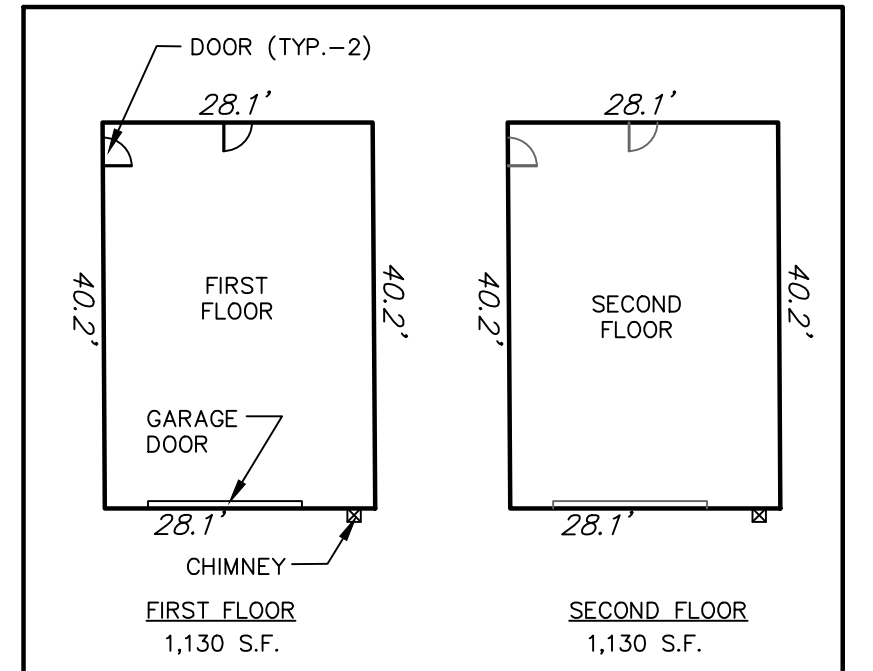
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BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703



EXISTING BUILDING 'A' FOOTPRINT
(TO REMAIN FOR PHASE 1 ONLY)
(SCALE 1" = 20')



EXISTING BUILDING 'B' FOOTPRINT
(TO REMAIN FOR PHASE 1 & 2)
(SCALE 1" = 20')

SOIL CATEGORIES:

PHF PITS, GRAVEL
AnoB ANNANDALE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES

SOIL BOUNDARIES LINE

LEGEND:

- SUBJECT PROPERTY LINE (OUTBOUND)
- ADJACENT PROPERTY LINES
- EXISTING R.O.W.
- INDEX CONTOUR
- INTERIOR CONTOUR
- EXISTING PAVEMENT
- EXISTING SETBACK LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING UNDERGROUND UTILITY LINE
- EXISTING DRIVEWAY
- EXISTING STORM SEWER
- EXISTING CURB
- EXISTING DEPRESSED CURB
- EXISTING GRAVEL
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING CONCRETE
- EXISTING WELL
- EXISTING IRON PIPE
- EXISTING A-INLET
- EXISTING B-INLET
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING TREE

EXISTING IMPERVIOUS COVERAGE

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
EXISTING PAVEMENT & STONE DRIVEWAY	14,356 S.F.
EXISTING CONCRETE APRON AT BARN	157 S.F.
EXISTING CONCRETE POOL & SURROUNDING PATIO	2,264 S.F.
EXISTING CONCRETE PORCH W/ PLANTERS (DWELLING)	101 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
EXISTING CONCRETE APRON AT DWELLING	52 S.F.
EXISTING CONCRETE SIDEWALK	127 S.F.
EXISTING CONCRETE SIGN FOOTING	9 S.F.
TOTAL	19,784 S.F.

19,784 S.F./61,573.77 S.F. = 0.3213 OR 32.13%

EXISTING BUILDING COVERAGE

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
TOTAL	2,682 S.F.

2,682 S.F./61,573.77 S.F. = 0.0435 OR 4.35%

EXISTING FLOOR AREA RATIO

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
BASEMENT	1,552 S.F.
FIRST FLOOR	998 S.F.
SECOND FLOOR	998 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
FIRST FLOOR	1,130 S.F.
SECOND FLOOR	1,130 S.F.
TOTAL	6,362 S.F.

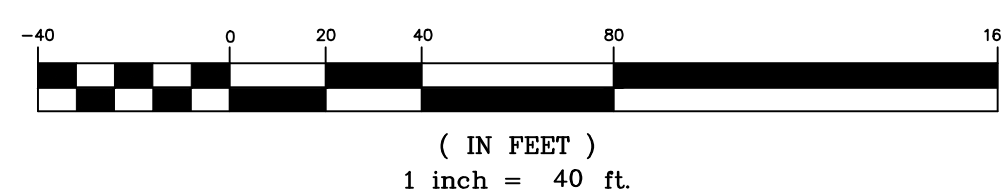
6,362 S.F./61,573.77 S.F. = 0.10 FLOOR AREA RATIO

SLOPE CALCULATIONS

0 - 14.9% SLOPE
15 - 24.9% SLOPE
25% AND GREATER SLOPE

EXISTING CONDITIONS

GRAPHIC SCALE



ROBERT H. JORDAN, Jr.
PROFESSIONAL SURVEYOR, N.J. LIC. NO. 34485

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

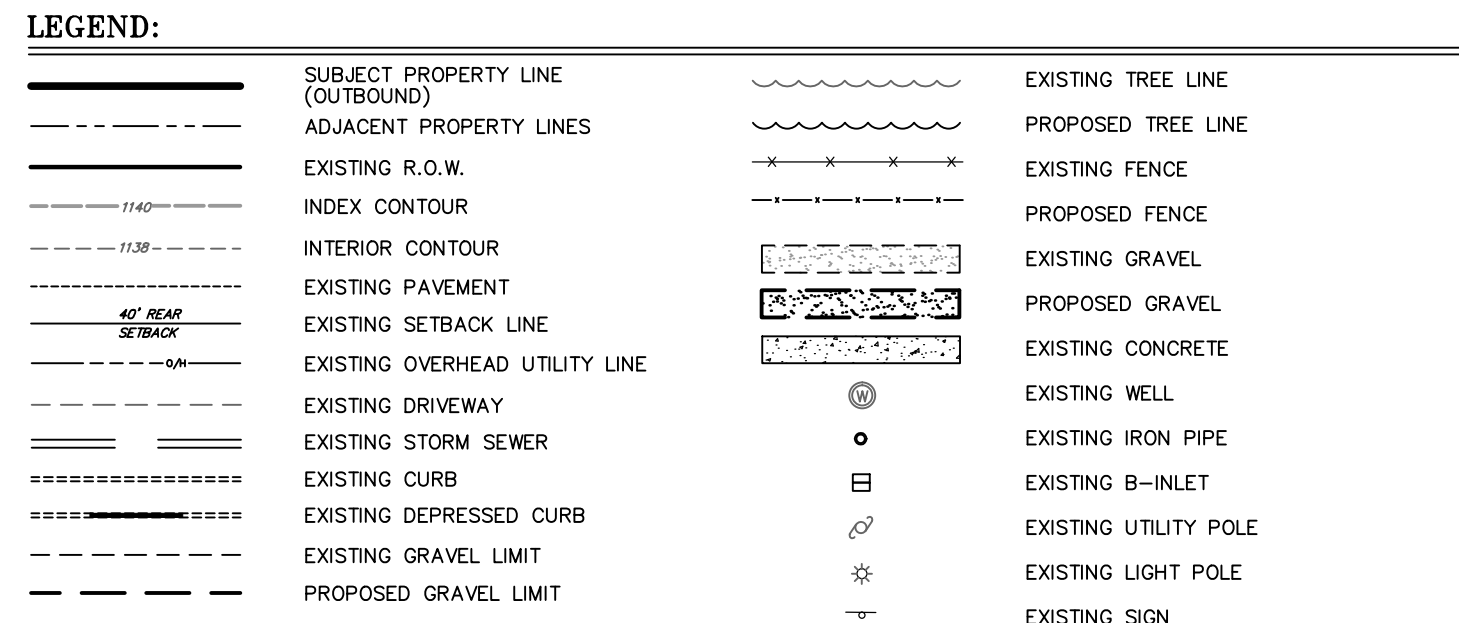
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EXISTING CONDITIONS PLAN
FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

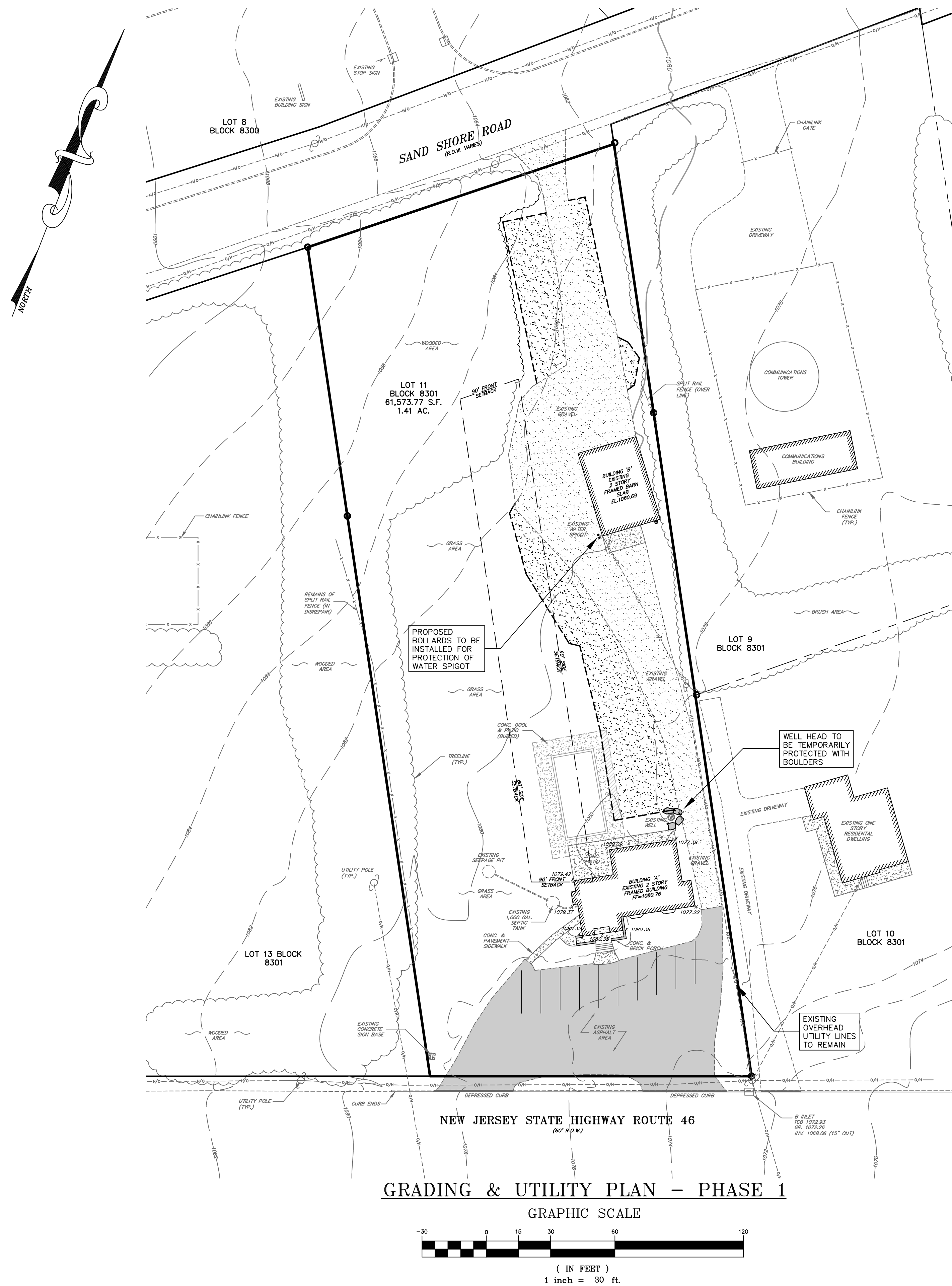
Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931



(IN FEET)
1 inch = 30 ft.

- SITE TO BE UTILIZED FOR VEHICLE PARKING AND EQUIPMENT STORAGE ONLY.
- ALL WORK IS CONTRACTED THROUGH MAIN OFFICE OFFSITE WITH NO PUBLIC ACCESS TO THIS LOCATION DURING PHASE 1.
- NO LARGE GAS STORAGE TANKS TO BE USED AND ALL COMPANY VEHICLES TO BE FUELED AT LOCAL GASOLINE STATIONS.
- EXISTING BARN TO BE USED FOR STORAGE OF TOOLS & EQUIPMENT (HAND TOOLS, BLOWERS, TRIMMERS ETC.) WITH NO FUEL PLUMBING.
- ALL USED OIL FROM TOOLS AND MACHINERY TO BE KEPT IN CONTAINERS AND EMPTIED BY AN OUTSIDE COMPANY ON A CONTRACTED MONTHLY BASIS.

U:\6931 - Garden State Groundskeeping-Mt Olive\dwg\Site Plan\Rev 1\6931-4 Grading & Utility Plan Rev 1.dwg P.S. Civilinc.ctb



UTILITY NOTES:

- 1.) CONTRACTOR TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2.) REFUSE PICKUP (TRASH & RECYCLABLES) TO BE CONTRACTED BY A PRIVATE HAULER. TRASH & RECYCLABLES TO BE STORED INTERNALLY IN BARN IN CANS PRIOR TO PICK UP.
- 3.) WATER SERVICE TO BE PROVIDED BY THE EXISTING ON SITE PRIVATE WELL.
- 4.) EXISTING SEPTIC TANK SERVING BUILDING 'A' TO BE PUMPED BY A LICENSED WASTE HAULER PRIOR TO USE.
- 5.) EXISTING SITE TO BE USED MAINLY FOR THE STORAGE OF VEHICLES AND EQUIPMENT ASSOCIATED WITH THE BUSINESS. EXISTING BUILDING 'A' TO BE USED IN A MINIMAL CAPACITY AS OPERATIONS OFFICE (ONE EMPLOYEE) UNTIL NEW SEPTIC SYSTEM HAS BEEN INSTALLED AND NEW BATHROOM CONSTRUCTED IN BUILDING 'B', AT THE BEGINNING OF PHASE 2.

LEGEND:

---	SUBJECT PROPERTY LINE (OUTBOUND)	---	EXISTING TREE LINE
---	ADJACENT PROPERTY LINES	---	PROPOSED TREE LINE
---	EXISTING R.O.W.	---	EXISTING FENCE
---	INDEX CONTOUR	---	PROPOSED FENCE
---	INTERIOR CONTOUR	---	EXISTING GRAVEL
---	EXISTING PAVEMENT	---	PROPOSED GRAVEL
---	EXISTING SETBACK LINE	---	EXISTING CONCRETE
---	EXISTING OVERHEAD UTILITY LINE	---	EXISTING WELL
---	EXISTING DRIVEWAY	---	EXISTING IRON PIPE
---	EXISTING STORM SEWER	---	EXISTING B-INLET
---	EXISTING CURB	---	EXISTING UTILITY POLE
---	EXISTING DEPRESSED CURB	---	EXISTING LIGHT POLE
---	EXISTING GRAVEL LIMIT	---	EXISTING SIGN
---	PROPOSED GRAVEL LIMIT	---	

SHEET 4 OF 16

GRADING & UTILITY PLAN - PHASE 1

FOR:

'GARDEN STATE GROUNDSKEEPING'

LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE

MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 4/27/22

Drawn By: WBB Project No: 6931

1.	UPDATE	WBB	7/27/22
Rev. No.	Description	By	Date
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

MORRIS COUNTY SOIL CONSERVATION
DISTRICT SOIL EROSION AND SEDIMENT
CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BARRIERS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATION COVER FOR SOIL STABILIZATION COVER", SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED & MAINTAINED DAILY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT TIE OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR CHART AND DIMENSIONS.
11. ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DRAINAGE DETAIL.
15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY SOLID. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION, ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
20. **TOPSOIL STOCKPILE PROTECTION**
 - A. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F.
 - B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - C. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - F. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
21. **TEMPORARY STABILIZATION SPECIFICATIONS**
 - A. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F.
 - B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - C. APPLY PERENNIAL RYEGRASS AT 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT 1 LB/1000 S.F.
 - D. MULCH STOCKPILE WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
22. **PERMANENT STABILIZATION SPECIFICATIONS**
 - A. APPLY TOPSOIL TO A DEPTH OF 5" (UNSETTLED).
 - B. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F. AND WORK FOUR INCHES (4") INTO SOIL.
 - C. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - D. APPLY HARD FESCUE AT 2.7 LBS/1,000 SF, GREENING RED FESCUE 0.7 LBS/1,000 SF, AND PERENNIAL RYEGRASS AT 0.25 LBS/1,000 SF.
 - E. MULCH WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - F. APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

SEQUENCE OF CONSTRUCTION		
DESCRIPTION	TIME FRAMES IN DAYS	
1. INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRON	1	
2. STRIP AND STOCKPILE TOPSOIL, SEED WITH TEMPORARY SEEDING	2	
3. ROUGH GRADING	2	
4. INSTALL GRAVEL PARKING AREAS	5	
5. SCARIFY/TILL SUBSOIL TO A DEPTH OF 6"	2	
6. SLOPE STABILIZATION-PERMANENT SEEDING	2	
7. COMPLETE PROJECT-LANDSCAPING	1	
8. TEMPORARY SOIL EROSION MEASURES TO BE REMOVED	1	
TOTAL		±16

DUST CONTROL MATERIALS			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RED IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED SOLIDS. SEE SEDIMENT BASIN STANDARD.		
ACCULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

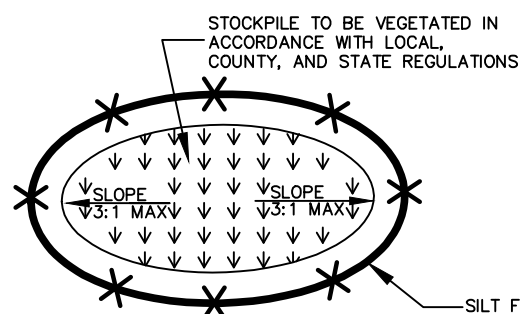
TILLAGE - TO ROUGHEN SURFACE AND BRING CLOS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON MINIMUM SIZE OF SITE. CHISEL-TYPE PLOWES SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

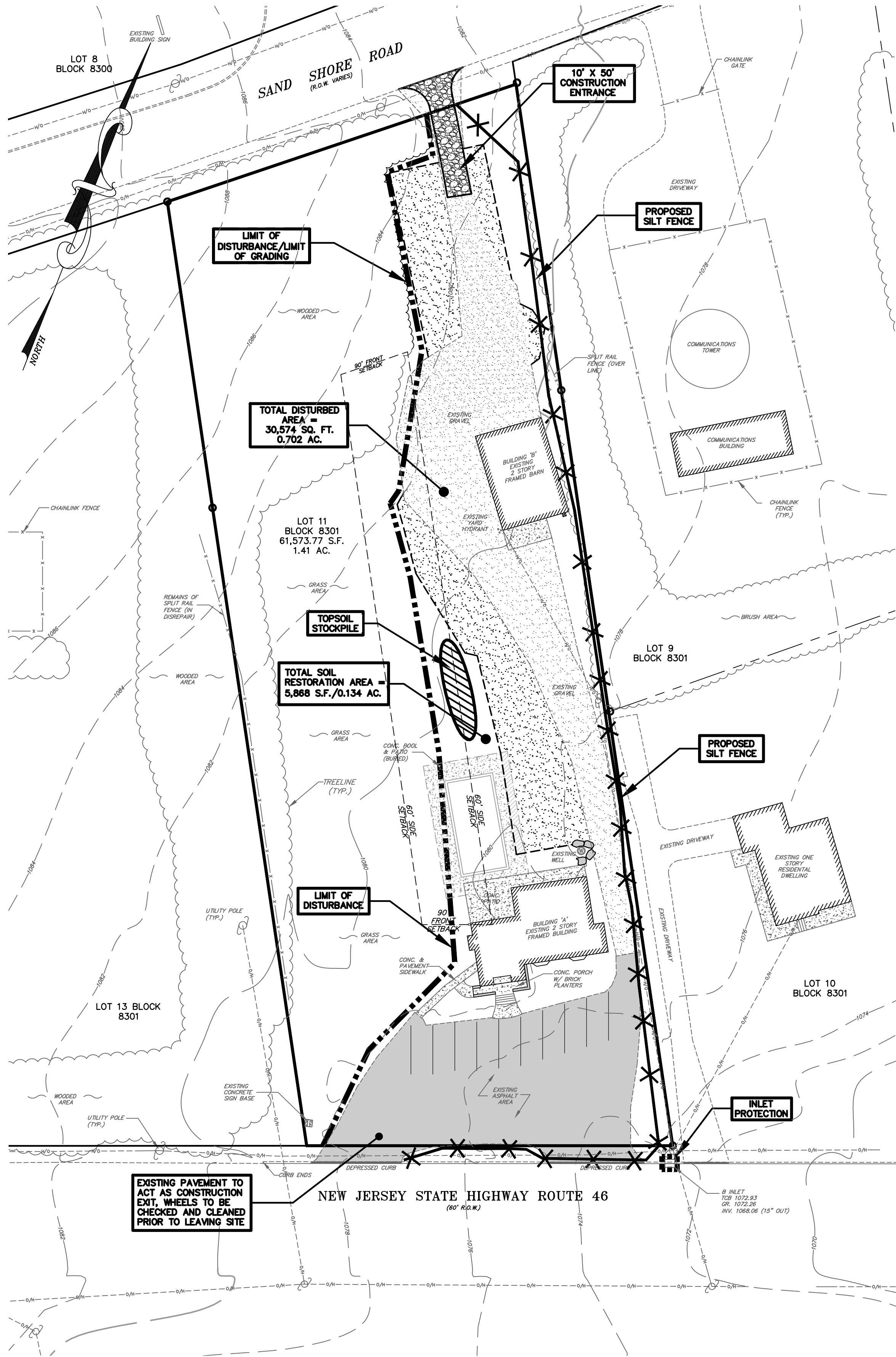
BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

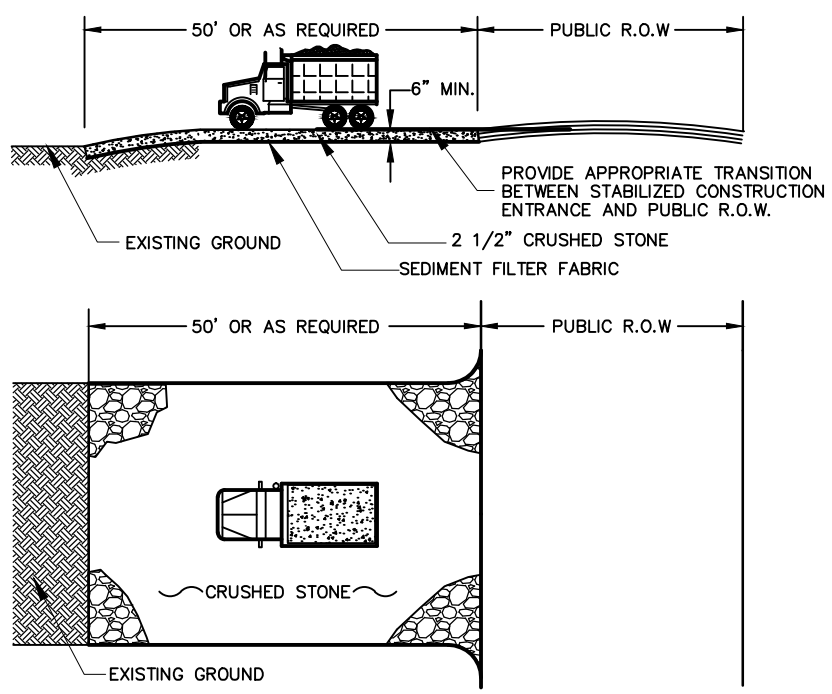
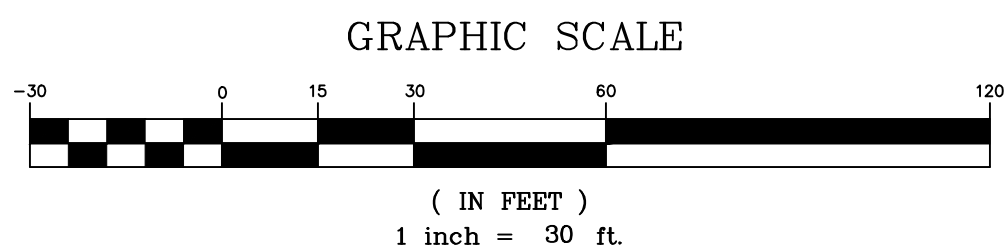
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



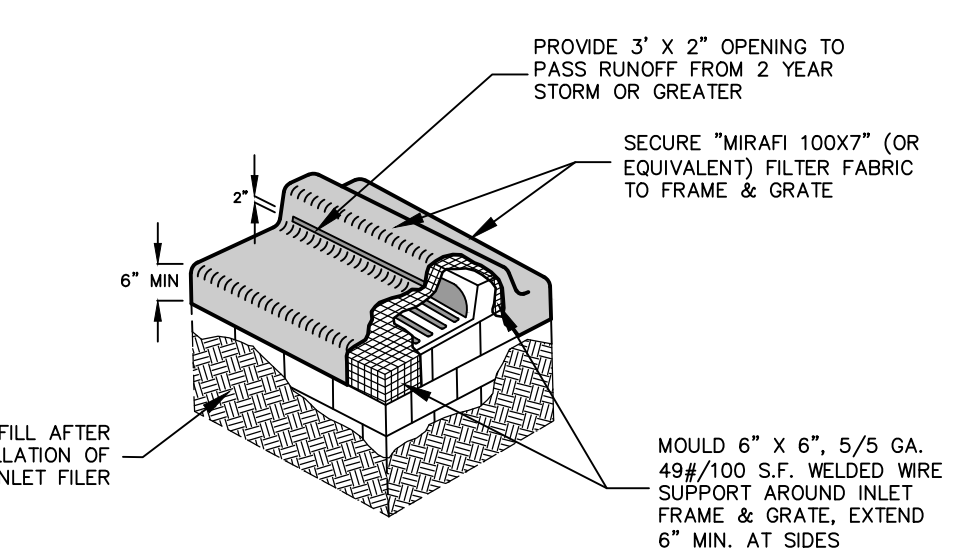
TOPSOIL STOCKPILE DETAIL
(N.T.S.)



SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 1



CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)



1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
3. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

TYPE 'B'
TEMPORARY CONSTRUCTION FILTER DETAIL
(N.T.S.)

LEGEND:

SUBJECT PROPERTY LINE (OUTBOUND)	EXISTING TREE LINE	CONSTRUCTION ENTRANCE
ADJACENT PROPERTY LINES	PROPOSED TREE LINE	LIMIT OF DISTURBANCE
EXISTING R.O.W.	EXISTING FENCE	SILT FENCE
INDEX CONTOUR	PROPOSED FENCE	TOPSOIL STOCKPILE
INTERIOR CONTOUR	EXISTING GRAVEL	PROPOSED SPOT GRADE
EXISTING PAVEMENT	PROPOSED GRAVEL	INLET FILTER
EXISTING SETBACK LINE	EXISTING CONCRETE	
EXISTING OVERHEAD UTILITY LINE	EXISTING DRIVEWAY	
EXISTING DRIVEWAY	EXISTING IRON PIPE	
EXISTING STORM SEWER	EXISTING B-INLET	
EXISTING CURB	EXISTING UTILITY POLE	
EXISTING DEPRESSED CURB	EXISTING LIGHT POLE	
EXISTING GRAVEL LIMIT	EXISTING SIGN	
PROPOSED GRAVEL LIMIT		

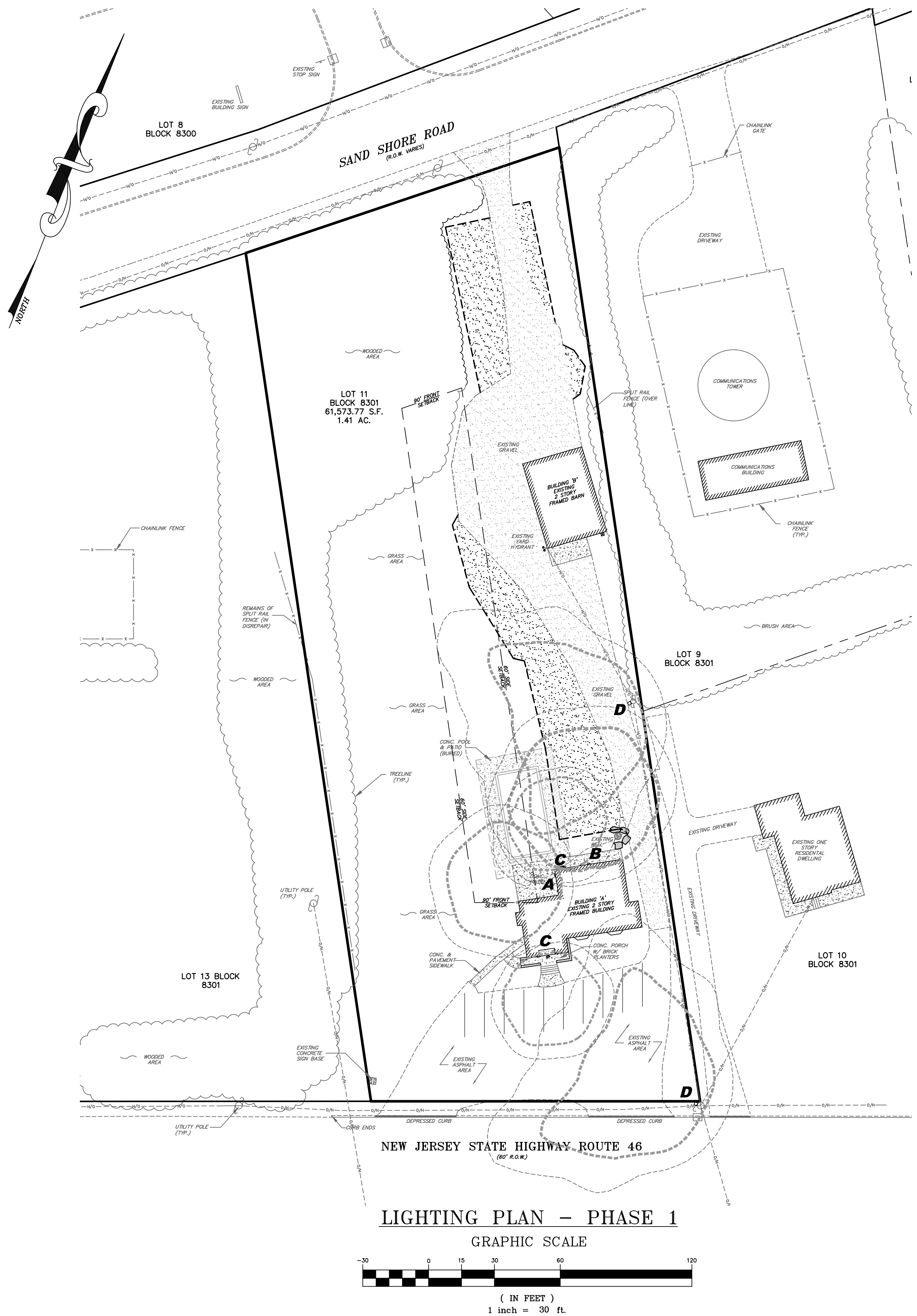
FOR SOIL EROSION PURPOSES ONLY

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SHEET 5 OF 16			
SOIL EROSION & SEDIMENT CONTROL PLAN WITH SOIL EROSION DETAILS			
PHASE 1			
FOR:			
'GARDEN STATE GROUNDSKEEPING' LOT 11 BLOCK 8301			
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY			
Checked By: JG	Date: 4/27/22		
Drawn By: WBB	Project No: 6931		

U:\6931 - Garden State Groundskeeping-Mt Olive\dwg\Site Plan\Rev 1\6931-6 Lighting Plan Rev 1.dwg PS: Civilnctb



LIGHTING NOTES

- 1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS.
2.) ALL MOUNTING HEIGHTS MEASURED FROM LENS TO GRADE BELOW. HEIGHTS ARE SPECIFIED FOR ALL FIXTURES IN CHART BELOW.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	DESCRIPTION	COLOR	HEIGHT
	1	A	EXISTING BUILDING MOUNTED SINGLE FLOODLIGHT 200W (ASSUMED)	BRONZE	16.7 FT.
	1	B	EXISTING BUILDING MOUNTED SINGLE FLOODLIGHT 200W (ASSUMED)	BRONZE	22.8 FT.
	2	C	EXISTING BUILDING MOUNTED FLOODLIGHT WITH DUAL LAMPS 100W (ASSUMED)	WHITE	7.0 FT.
	2	D	EXISTING HALOGEN LIGHT FIXTURE @ 175W (ASSUMED) MOUNTED AT APPROX. 75'	BRONZE	18.0 FT.

----- EXISTING .1 FC LIGHT TRACE

===== EXISTING .5 FC LIGHT TRACE

LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING TREE LINE
	ADJACENT PROPERTY LINES		PROPOSED TREE LINE
	EXISTING R.O.W.		EXISTING FENCE
	EXISTING PAVEMENT		PROPOSED FENCE
	EXISTING SETBACK LINE		EXISTING GRAVEL
	EXISTING OVERHEAD UTILITY LINE		PROPOSED GRAVEL
	EXISTING DRIVEWAY		EXISTING CONCRETE
	EXISTING STORM SEWER		EXISTING WELL
	EXISTING CURB		EXISTING IRON PIPE
	EXISTING DEPRESSED CURB		EXISTING B-INLET
	EXISTING GRAVEL LIMIT		EXISTING UTILITY POLE
	PROPOSED GRAVEL LIMIT		EXISTING LIGHT POLE
			EXISTING SIGN

SHEET 6 OF 16

LIGHTING PLAN -- PHASE 1

FOR:

'GARDEN STATE GROUNDSKEEPING'

LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE

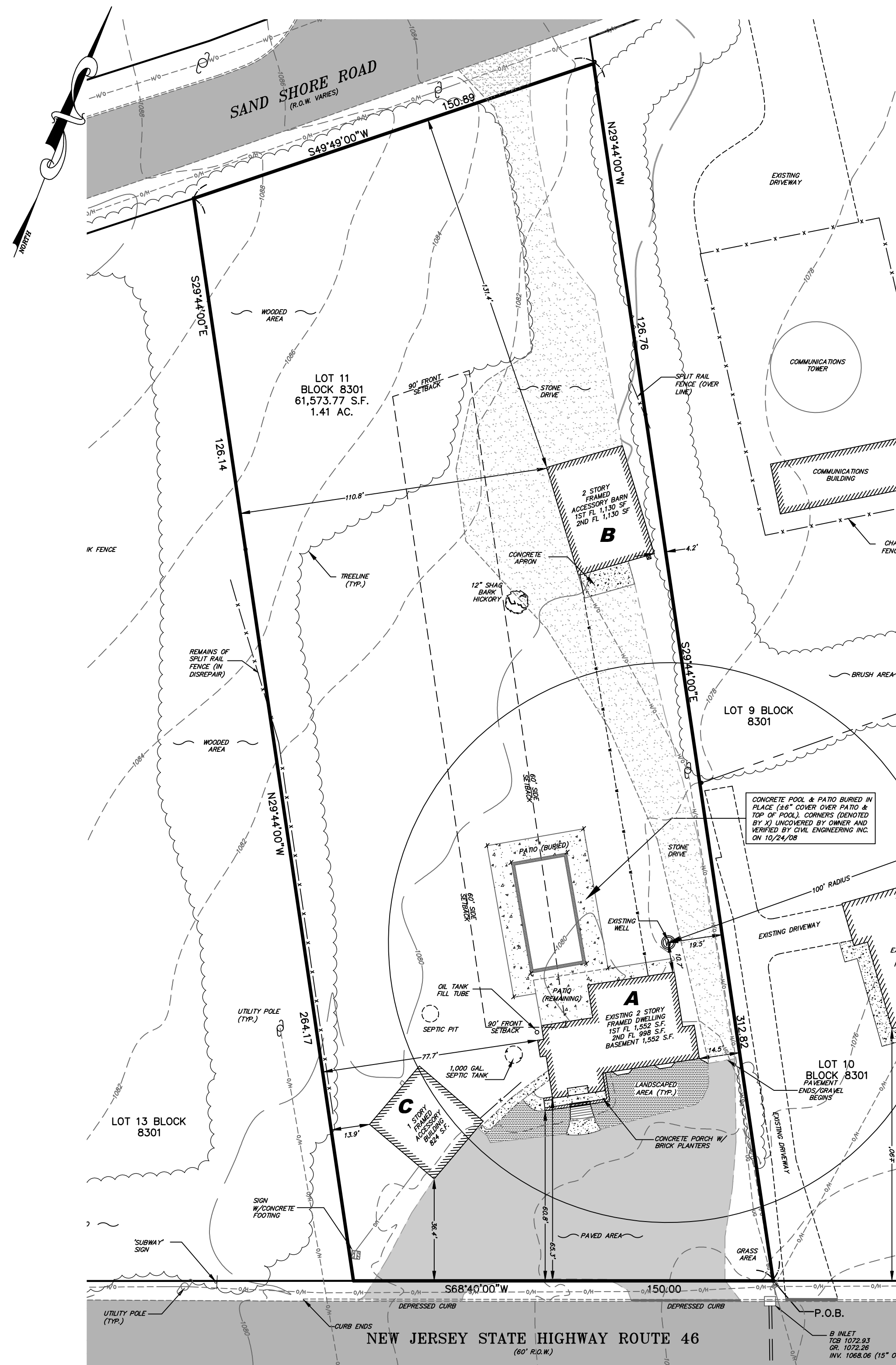
MORRIS COUNTY, NEW JERSEY

Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

CIVIL ENGINEERING, INC.

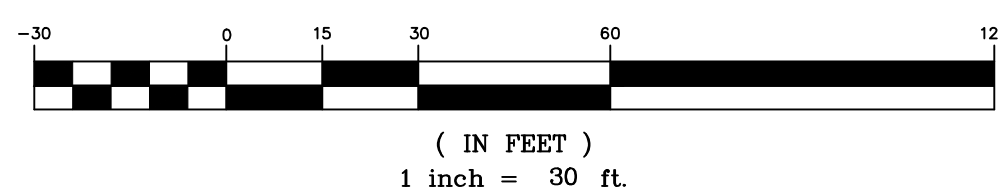
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APPROVED EXISTING CONDITIONS PLAN (PER
SURVEY PRIOR TO 2004)

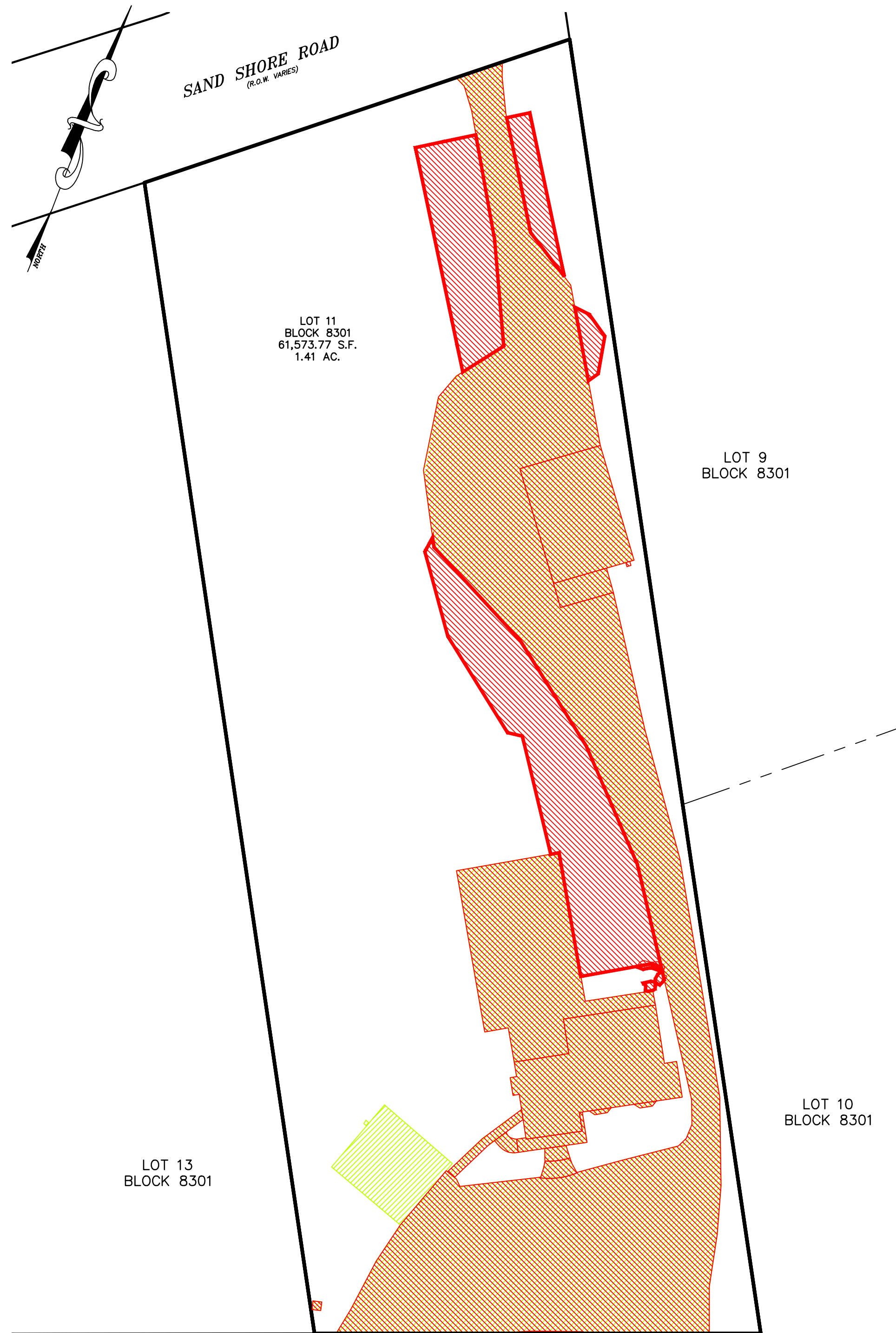
GRAPHIC SCALE



EXISTING IMPERVIOUS COVERAGE

BUILDINGS	
TWO STORY STRUCTURE 'A'	1,552 S.F.
ONE STORY ACCESSORY STRUCTURE 'C'	824 S.F.
TWO STORY ACCESSORY BARN 'B'	1,130 S.F.
PAVEMENT & STONE DRIVEWAY	14,356 S.F.
CONCRETE APRON (BARN)	157 S.F.
CONCRETE POOL & SURROUNDING PATIO (CONFIRMED 10/24/08)	2,264 S.F.
CONCRETE PORCH W/ PLANTERS (STRUCTURE 'A')	101 S.F.
BRICK STEPS (STRUCTURE 'A')	36 S.F.
CONCRETE APRON (STRUCTURE 'A')	52 S.F.
CONCRETE SIDEWALK FROM BLDG. 'A' TO BLDG. 'C'	127 S.F.
SIGN W/ CONCRETE FOOTING	9 S.F.
TOTAL	20,608 S.F.

20,608 SF/61,573 S.F. = 0.3346 OR 33.46%

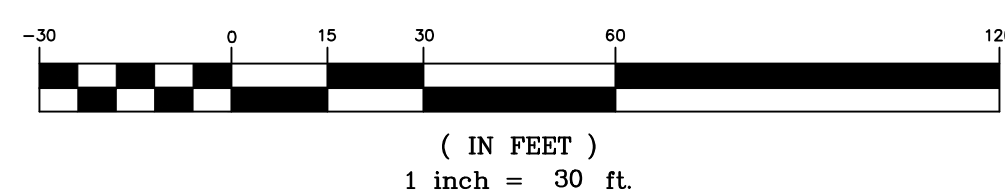


NEW JERSEY STATE HIGHWAY ROUTE 46
(60' R.O.W.)

LAWFULLY EXISTING IMPERVIOUS SURFACES AS OF AUGUST 10, 2004 (20,608 S.F.)	PROPOSED IMPERVIOUS SURFACES - PHASE 1 (24,874 S.F.)	PROPOSED NEW IMPERVIOUS SURFACES OVER EXISTING NON-IMPERVIOUS SURFACES (5,090 S.F.)	PROPOSED IMPERVIOUS SURFACES OVER EXISTING IMPERVIOUS SURFACES (18,784 S.F.)
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HIGHLANDS OVERLAY PLAN - PHASE 1

GRAPHIC SCALE



PROPOSED IMPERVIOUS COVERAGE

EXISTING BUILDING 'A' - 2 STORY BUILDING	1,552 S.F.
EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
EXISTING PAVEMENT & STONE DRIVEWAY	14,356 S.F.
EXISTING CONCRETE APRON AT BARN	157 S.F.
EXISTING CONCRETE POOL & SURROUNDING PATIO	2,264 S.F.
EXISTING CONCRETE PORCH W/ PLANTERS (DWELLING)	101 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
EXISTING CONCRETE APRON AT DWELLING	52 S.F.
EXISTING CONCRETE SIDEWALK	127 S.F.
EXISTING CONCRETE SIGN FOOTING	9 S.F.
PROPOSED GRAVEL	5,062 S.F.
PROPOSED BOULDERS	28 S.F.
TOTAL	24,874 S.F.

24,874 S.F./61,573.77 S.F. = 0.4039 OR 40.39%

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE LAND PROTECTED BY THE HIGHLANDS PRESERVATION ACT. TO QUALIFY FOR EXEMPTION FROM THE HIGHLANDS ACT, THE IMPROVED IMPERVIOUS COVERAGE FOOTPRINT MUST BE "WITHIN 125 PERCENT OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES ON THE SITE, PROVIDED THAT THE RECONSTRUCTION DOES NOT INCREASE THE LAWFULLY EXISTING IMPERVIOUS SURFACE BY ONE-QUARTER ACRE OR MORE."

THE FIRST CRITERION ABOVE APPLIES TO NEW IMPERVIOUS SURFACES THAT ARE PROPOSED. NEW IMPERVIOUS SURFACES ARE DEFINED AS PROPOSED IMPERVIOUS SURFACES THAT ARE TO BE PLACED UPON EXISTING PERVIOUS AREAS (SUCH AS GRASS), AND NOT UPON EXISTING CONCRETE, GRAVEL, STRUCTURE OR OTHER EXISTING IMPERVIOUS SURFACE. THIS NEW IMPERVIOUS TOTAL, WHEN ADDED TO THE LAWFULLY EXISTING IMPERVIOUS SURFACES, MUST BE WITHIN 125% OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES. THIS IS REFLECTED IN THE FOLLOWING EQUATION:

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

THE SECOND CRITERION APPLIES TO THE NET INCREASE IN IMPERVIOUS SURFACE COMPARED TO THAT WHICH EXISTED LAWFULLY ON AUGUST 10, 2004. THE MAXIMUM AMOUNT OF ADDED IMPERVIOUS SURFACES IS ONE QUARTER ACRE OR 10,890 S.F. THEREFORE, THE PROPOSED IMPERVIOUS SURFACES TOTAL MINUS THE LAWFULLY EXISTING IMPERVIOUS SURFACES MUST BE LESS THAN 0.25 ACRE. CREDIT WILL BE GIVEN FOR ANY LAWFULLY EXISTING IMPERVIOUS SURFACES THAT ARE REMOVED AT TIME OF CONSTRUCTION. THIS TOTAL WILL BE SUBTRACTED FROM THE PROPOSED NEW IMPERVIOUS SURFACE. THIS IS EXPRESSED IN THE FOLLOWING EQUATION:

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

IN SUMMARY, FOR A PROJECT TO RECEIVE AN EXEMPTION UNDER N.J.A.C. 7:38-2.3(a), BOTH CRITERIA (AS DETAILED ABOVE) MUST BE SATISFIED. CREDIT FOR THE REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACES WILL BE FACTORED INTO CRITERIA #2, BUT WILL NOT BE APPLICABLE TO CRITERIA #1.

CRITERIA #1

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

$$\frac{5,090 \text{ S.F.} + 20,608 \text{ S.F.}}{20,608 \text{ S.F.}} \leq 1.25$$
$$\frac{25,698 \text{ S.F.}}{20,608 \text{ S.F.}} = 1.246$$

THEREFORE, THE PROPOSED NEW IMPERVIOUS SURFACES IS WITHIN 124.6% OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES AND MEETS CRITERIA #1 FOR HIGHLANDS EXEMPTION.

CRITERIA #2

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

$$5,090 \text{ S.F.} - 824 \text{ S.F.} = 4,266 \text{ S.F.}$$

THEREFORE, THE NET INCREASE IN IMPERVIOUS SURFACES IS 4,266 S.F. OR 0.09 ACRE AND MEETS CRITERIA #2 FOR BEING LESS THAN 0.25 ACRE.

IN CONCLUSION, IT HAS BEEN SHOWN THAT THE PROPOSED IMPROVEMENTS TO THE SUBJECT PROPERTY HAVE MET BOTH CRITERIA FOR HIGHLANDS EXEMPTION UNDER N.J.A.C. 7:38-2.3(a).

HIGHLANDS OVERLAY PLAN
PHASE 1

FOR:
'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

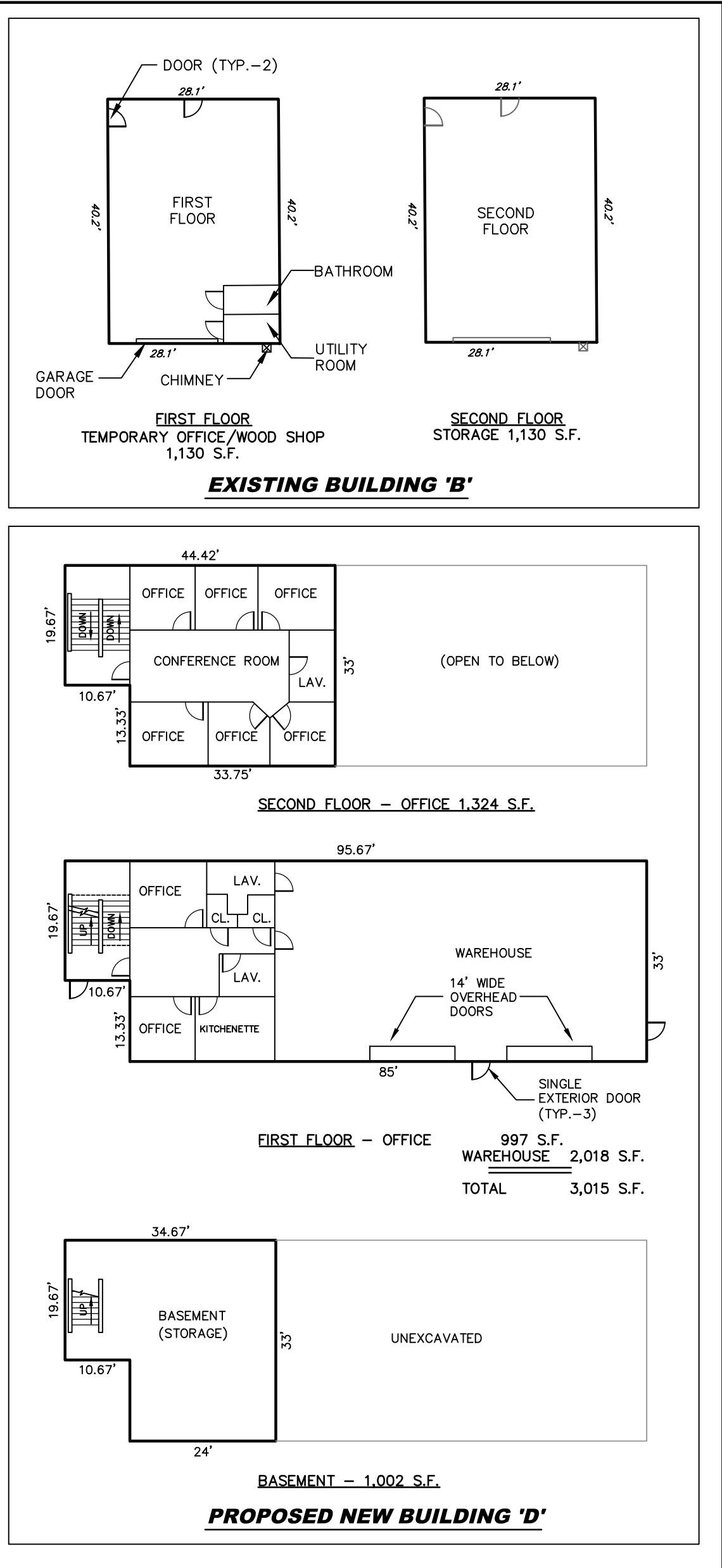
TOWNSHIP OF MOUNT OLIVE
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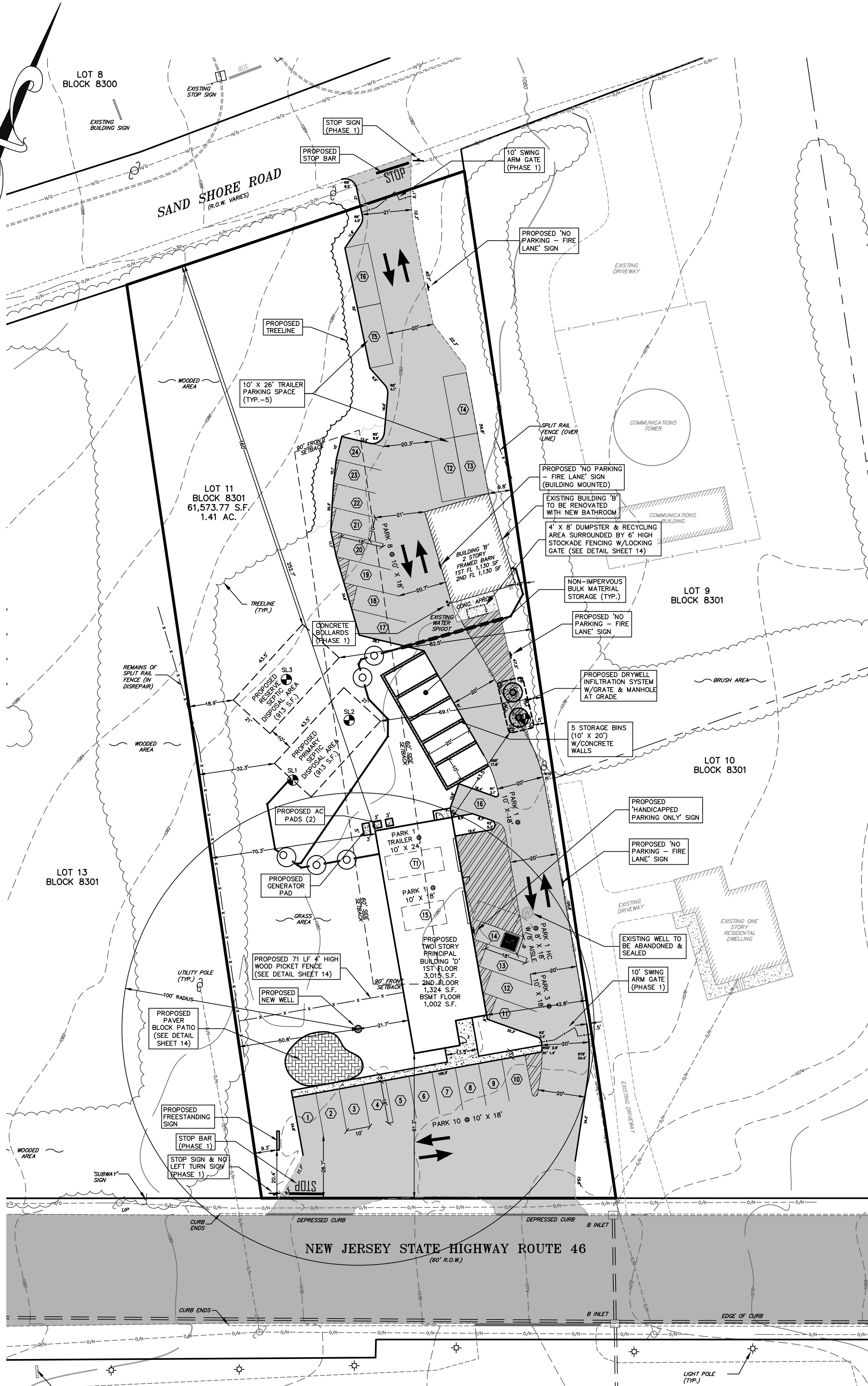


BUILDING DIMENSIONS DETAIL

SCALE: 1" = 20'

LEGEND:

—	SUBJECT PROPERTY LINE (OUTBOUND)	—	EXISTING FENCE
- - -	ADJACENT PROPERTY LINES	- - -	PROPOSED FENCE
—	EXISTING R.O.W.	—	EXISTING CONCRETE
—	INDEX CONTOUR	—	PROPOSED CONCRETE
—	INTERIOR CONTOUR	—	PROPOSED PAVEMENT
—	EXISTING PAVEMENT	—	EXISTING WELL
—	PROPOSED PAVEMENT	—	PROPOSED WELL
—	EXISTING SETBACK LINE	—	EXISTING B-INLET
—	EXISTING OVERHEAD UTILITY LINE	—	EXISTING UTILITY POLE
—	EXISTING UNDERGROUND UTILITY LINE	—	EXISTING LIGHT POLE
—	EXISTING DRIVEWAY	—	EXISTING SIGN
—	EXISTING STORM SEWER	—	PROPOSED SIGN
—	EXISTING CURB	—	PROPOSED PARKING SPACE (AUTOMOBILE)
—	EXISTING DEPRESSED CURB	—	PROPOSED PARKING SPACE (TRAILER)
—	PROPOSED SEPTIC		
—	EXISTING TREE LINE		
—	PROPOSED TREE LINE		



SITE LAYOUT PLAN (PHASE 2)

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

PROPOSED IMPERVIOUS COVERAGE

EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
EXISTING CONCRETE APRON AT BARN	157 S.F.
PROPOSED RECONFIGURED PARKING LOT AND AISLES	20,143 S.F.
PROPOSED BUILDING 'D' - 2 STORY BUILDING	3,015 S.F.
PROPOSED FRONT CONCRETE SIDEWALK	475 S.F.
PROPOSED CONCRETE MATERIAL BINS	178 S.F.
PROPOSED CONCRETE PAD	30 S.F.
PROPOSED PAVER BLOCK PATIO	542 S.F.
PROPOSED AC PADS	18 S.F.
PROPOSED CONCRETE GENERATOR PAD	15 S.F.
PROPOSED SIGN	8 S.F.
TOTAL	25,709 S.F.

25,709 S.F./61,573.77 S.F. = 0.4175 OR 41.75%

PROPOSED BUILDING COVERAGE

EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
PROPOSED BUILDING 'D' - 2 STORY BUILDING	3,015 S.F.
TOTAL	4,145 S.F.

4,145 S.F./61,573.77 S.F. = 0.0770 OR 7.70%

PROPOSED FLOOR AREA RATIO

EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
FIRST FLOOR	1,130 S.F.
SECOND FLOOR	1,130 S.F.
PROPOSED BUILDING 'D' - 2 STORY BUILDING	1,002 S.F.
FIRST FLOOR	3,015 S.F.
SECOND FLOOR	1,324 S.F.
TOTAL	7,601 S.F.

7,601 S.F./61,573.77 S.F. = 0.12 FLOOR AREA RATIO

PARKING REQUIREMENTS PER ORDINANCE

PARKING SPACE SIZE - 10 FT. x 18 FT. OR 9 FT. x 20 FT.

PHASE 2 (WHEN BUILDING 'A' IS REMOVED AND WHILE NEW BUILDING 'D' IS BEING CONSTRUCTED)
FIRST FLOOR OF BUILDING 'B' TO BE USED FOR TEMPORARY OPERATIONS OFFICE W/2ND FLOOR STORAGE

EXISTING BUILDING 'B'

OFFICE SPACE	
1st FLOOR - 1,130 S.F. 4.5 P.S. PER 1,000 S.F. (1,130 S.F. / 1000 S.F.) X 4.5 = 5.08 SPACES REQUIRED	
STORAGE SPACE	
2nd FLOOR - 1,130 S.F. 1 P.S. PER 5,000 S.F. (1,130 S.F. / 5000 S.F.) X 1 = 0.23 SPACES REQUIRED	
TOTAL	5.31 SPACES REQUIRED
TOTAL	6 SPACES REQUIRED

PHASE 2 (UPON COMPLETION & OCCUPANCY OF NEW BUILDING 'D')

BUILDING 'B' WILL THEN BE USED FOR WOODSHOP AND STORAGE ONLY, TEMPORARY OFFICE SPACE IN BUILDING 'B' WILL BE ELIMINATED AND ALL OFFICE SPACE WILL BE LOCATED WITHIN NEW BUILDING 'D'.

NEW BUILDING 'D'

OFFICE SPACE	
1st FLOOR - 997 S.F. 4.5 P.S. PER 1,000 S.F. 997 S.F. / 1000 S.F.) X 4.5 = 4.48 SPACES REQUIRED	
2nd FLOOR - 1,324 S.F. 4.5 P.S. PER 1,000 S.F. (1,324 S.F. / 1000 S.F.) X 4.5 = 5.95 SPACES REQUIRED	
WAREHOUSE SPACE	
1st FLOOR - 2,018 S.F. 1 P.S. PER 5,000 S.F. (2,018 S.F. / 5000 S.F.) X 1 = 0.40 SPACES REQUIRED	
STORAGE SPACE	
BASEMENT - 1,002 S.F. 1 P.S. PER 5,000 S.F. (1,002 S.F. / 5000 S.F.) X 1 = 0.20 SPACES REQUIRED	
SUBTOTAL	11.03 SPACES REQUIRED

EXISTING BUILDING 'B'

STORAGE SPACE	
1st FLOOR - 1,130 S.F. 1 P.S. PER 5,000 S.F. (1,130 S.F. / 5000 S.F.) X 1 = 0.23 SPACES REQUIRED	
2nd FLOOR - 1,130 S.F. 1 P.S. PER 5,000 S.F. (1,130 S.F. / 5000 S.F.) X 1 = 0.23 SPACES REQUIRED	
SUBTOTAL	0.46 SPACES REQUIRED
TOTAL	12 SPACES REQUIRED

PARKING REQUIREMENTS PER USE

VEHICLE SPACES	
9 EMPLOYEE VEHICLES	= 9 SPACES REQUIRED
14 COMPANY VEHICLES	= 14 SPACES REQUIRED
TOTAL	23 SPACES REQUIRED
TRAILER SPACES	
6 COMPANY TRAILERS (12'-24' LENGTH)	= 6 SPACES REQUIRED
TOTAL	6 SPACES REQUIRED

PARKING PROVIDED

VEHICLE SPACES	
10' X 18' STANDARD VEHICLE SPACE	= 23 SPACES PROVIDED
8' X 18' HANDICAPPED PARKING SPACE (W/8' WIDE AISLE)	= 1 SPACES PROVIDED
TOTAL	24 SPACES PROVIDED
TRAILER SPACES	
10' X 26' OVERSIZED SPACE	= 6 SPACES PROVIDED
TOTAL	6 SPACES PROVIDED

LOADING SPACE REQUIREMENTS

REQUIRED (OFFICE) - 1 SPACE (12' x 60') FOR <100,000 S.F. OFFICE AREA

LOADING SPACE PROVIDED

NO LOADING SPACE PROVIDED (DESIGN EXCEPTION REQUESTED)

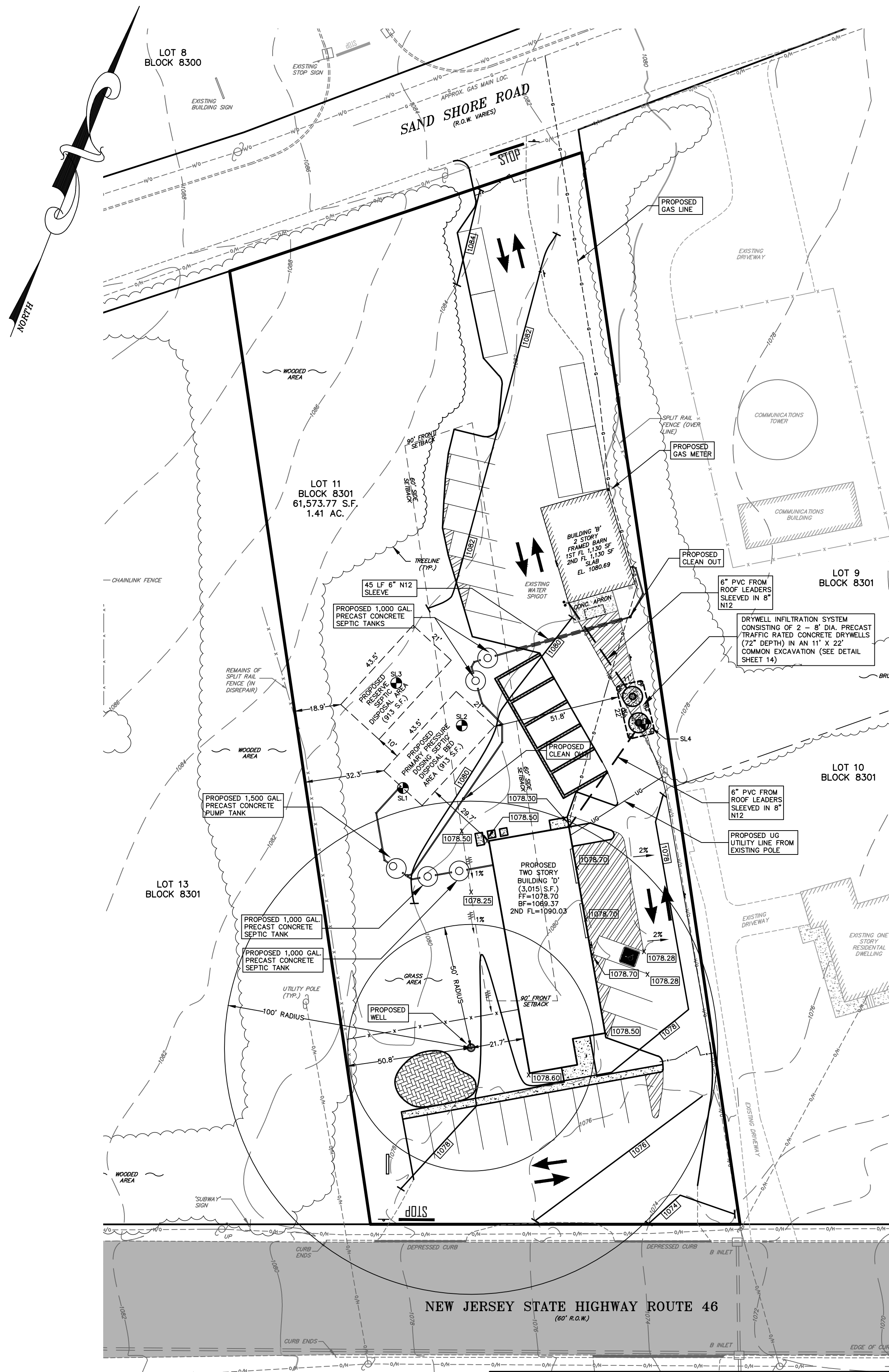
BUSINESS NOTES

- ALL WORK IS CONTRACTED THROUGH OUTSIDE MEANS AND CUSTOMERS ARE NOT EXPECTED TO VISIT THE COMPANY'S SITE AT ANY TIME.
- GAS TO BE STORED ON SITE (FOR EQUIPMENT) IN 5 GAL. AND SMALLER SIZE CONTAINERS. NO LARGE GAS STORAGE TANKS TO BE USED AND ALL COMPANY VEHICLES TO BE FUELED AT LOCAL GASOLINE STATIONS.
- EXISTING BARN TO BE USED FOR FENCE FABRICATION/WOOD SHOP.
- ALL USED OIL FROM TOOLS AND MACHINERY TO BE KEPT IN CONTAINERS AND EMPTIED BY AN OUTSIDE COMPANY ON A CONTRACTED MONTHLY BASIS.

SEQUENCE OF CONSTRUCTION

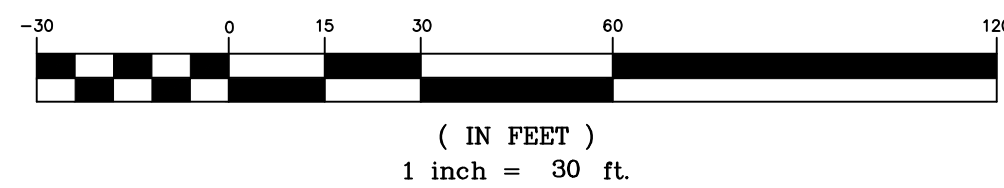
PROPOSED SEPTIC MUST BE INSTALLED AND BUILDING 'B' RENOVATED WITH NEW BATHROOM (CONNECTED TO WORKING UTILITIES) BEFORE EXISTING BUILDING 'A' CAN BE REMOVED. NEW TEMPORARY OPERATIONS OFFICE IN BUILDING 'B' (WITH USEABLE BATHROOM) TO REMAIN FUNCTIONAL AT ALL TIMES DURING PHASE 2 UNTIL COMPLETION AND OCCUPANCY OF NEW BUILDING 'D'. TEMPORARY OFFICE IN BUILDING 'B' WILL THEN BE REMOVED AND ALL OFFICE SPACE WILL BE CONTAINED IN NEW BUILDING 'D'.

U:\6931 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 1\6931-9 Grading & Utility Plan Rev 1.dwg PS: Civilnc.ctb



GRADING & UTILITY PLAN - PHASE 2

GRAPHIC SCALE



UTILITY NOTES:

- 1.) CONTRACTOR TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2.) WATER TO BE PROVIDED BY A PROPOSED NEW PRIVATE WELL AS SHOWN ON PLAN. EXISTING WELL TO BE SEALED AND ABANDONED IN PLACE IN ACCORDANCE WITH NJDEP REGULATIONS. EXISTING WATER SPIGOT AT ACCESSORY BARN TO BE USED FOR OUTSIDE WATER ONLY.
- 3.) SEWERAGE TO BE PROVIDED BY THE PROPOSED DOSING SEPTIC DISPOSAL SYSTEM AS SHOWN ON PLAN. APPLICATION TO BE MADE TO THE TOWNSHIP OF MOUNT OLIVE HEALTH DEPARTMENT, UNDER SEPARATE COVER.
- 4.) ELECTRIC, CATV & PHONE TO BE PROVIDED BY A PROPOSED UNDERGROUND CONNECTION TO AN EXISTING UTILITY POLE LOCATED WITHIN THE PROPERTY.
- 5.) REFUSE PICKUP (TRASH & RECYCLABLES) TO BE CONTRACTED BY A PRIVATE HAULER.

SEPTIC REQUIREMENTS

DISPOSAL AREA

BUILDING 'A' - 1ST FLOOR - 3,015 S.F. OFFICE SPACE
2ND FLOOR - 1,324 S.F. OFFICE SPACE
= 4,339 S.F. OFFICE SPACE x 0.125 GAL./S.F./DAY = 542 GAL./DAY

BUILDING 'B' - 1ST FLOOR - 1,130 S.F. TEMPORARY OFFICE SPACE/WOOD SHOP
2ND FLOOR - 1,130 S.F. STORAGE (NO REQUIREMENT)
= 1,130 S.F. OFFICE/EMPLOYEES x 0.125 GAL./S.F./DAY = 142 GAL./DAY

TOTAL = 684 GAL./DAY

= 684 GAL./DAY X 1.33 STATE FACTOR (PRESSURE DOSING) = 910 S.F. DISPOSAL AREA REQ.

SEPTIC TANKS

FOR USES OTHER THAN SINGLE FAMILY HOMES, THE MINIMUM CAPACITY REQUIRED IS 1.5 X DAILY VOLUME (1,000 GAL. MIN.)

BUILDING 'A'
= 1.5 X 542 GAL./DAY = 813 GAL. (USE 1,000 GAL. TANK X 2)

BUILDING 'B'
= 1.5 X 142 GAL./DAY = 213 GAL. (USE 1,000 GAL. TANK X 2)

SEPTIC PROPOSAL

DISPOSAL BED AREA

PRIMARY PRESSURE DOSING SEPTIC DISPOSAL BED AREA OF 913 S.F. & RESERVE PRESSURE DOSING SEPTIC DISPOSAL AREA OF 913 S.F.

SEPTIC TANK SYSTEM

PROPOSED FOUR (4) - 1,000 GAL. CONCRETE SEPTIC TANKS AND A 1,500 GAL. CONCRETE PUMP TANK

PROPOSED BUILDING HEIGHT CALCULATION

THE VERTICAL DISTANCE MEASURED TO THE HIGHEST POINT OF THE BUILDING FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION.

- 1.) AVERAGE GRADE = $\frac{1078.64 + 1078.21 + 1078.32 + 1078.10}{4} = 1078.56$
- 2.) FIRST FLOOR ELEVATION = 1078.70
- 3.) FIRST FLOOR TO MAXIMUM ROOF PEAK = 29.83 FT.
- 4.) PEAK ELEVATION = 1108.39
- 5.) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE
= 1108.39 - 1078.56 = 29.83 FT.

SOIL LOGS - SEPTIC SYSTEM

SOIL LOG 1 - PERFORMED MARCH 7, 2022
0' - 10" TOPSOIL, 10YR 3/3
10" - 42" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 5% COBBLE, 2% STONE
ANGULAR BLOCKY, FRIABLE
42" - 81" CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 5% COBBLE, 5% STONE
SUBANGULAR BLOCKY, FRIABLE
81" - 129" SANDY CLAY LOAM, 7.5YR 4/6
5% GRAVEL, 5% COBBLE, 10% STONE
SUBANGULAR BLOCKY, FRIABLE

SOIL LOG 1 - PERFORMED MARCH 7, 2022
0' - 8" TOPSOIL, 10YR 3/3
8" - 33" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 2% COBBLE
ANGULAR BLOCKY, FRIABLE
33" - 80" CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 5% COBBLE, 2% STONE
SUBANGULAR BLOCKY, FRIABLE
80" - 129" SANDY CLAY LOAM, 7.5YR 6/8
5% GRAVEL, 10% COBBLE, 5% STONE
SUBANGULAR BLOCKY, FRIABLE

ROOTS TO 28"
SAMPLE @ 87"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

ROOTS TO 42"
SAMPLE @ 86"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

SOIL LOGS #1-#3 WITNESSED BY CHRISTINA COCHRAN OF THE MOUNT OLIVE HEALTH DEPARTMENT

SOIL LOG 2 - PERFORMED MARCH 7, 2022
0' - 8" TOPSOIL, 10YR 3/3
8" - 35" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 5% COBBLE
ANGULAR BLOCKY, FRIABLE
35" - 73" SANDY CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 10% COBBLE, 2% STONE
SUBANGULAR BLOCKY, FRIABLE
73" - 127" SANDY LOAM, 7.5YR 6/8
5% GRAVEL, 5% COBBLE, 5% STONE
SINGLE GRAIN, LOOSE

ROOTS TO 48"
SAMPLE @ 79"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

SOIL LOG - INFILTRATION SYSTEM

SOIL LOG 4 - PERFORMED MARCH 7, 2022
0' - 8" TOPSOIL, 10YR 3/3
8" - 36" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 10% COBBLE, 5% STONE
ANGULAR BLOCKY, FRIABLE
36" - 68" SANDY CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 5% COBBLE, 5% STONE
SUBANGULAR BLOCKY, FRIABLE
68" - 137" SANDY LOAM, 10YR 5/6
10% GRAVEL, 10% COBBLE
SINGLE GRAIN, LOOSE

ROOTS TO 52"
SAMPLE @ 30" & 74"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

SOIL LOG PERFORMED BY JAMES GLASSON, P.E. OF CIVIL ENGINEERING, INC.

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PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

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N.J. - C of A #24GA27922000

GRADING & UTILITY PLAN - PHASE 2

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

SHEET 9 OF 16

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL THE DISTURBANCE IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND COVERED WITH A GEOTEXTILE MAT.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
4. ALL EXPOSED AREAS OF EROSION AND GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WEED CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BERMES ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EXCAVATION AREAS. SEE THE DIVERSION DETAIL.
6. PERMANENT VEGETATION IS TO BE ESTABLISHED TO STABILIZE SOILS IN ACCORDANCE WITH THE PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED & MAINTAINED DAILY.
9. DITCHES SHALL NOT BE CROPPED TO A MAXIMUM OF 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASKS SHALL HAVE A SILT FENCE PROPERLY EXTENDED AT TOP OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR FURTHER INFORMATION.
11. ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UNTIL ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. CONSTRUCTION ACTIVITIES FOR THE MAINTENANCE OF EXISTING STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DRAINAGING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR PROTECTED MATTER.
15. SEDIMENTATION OF THE DRAINING DETENTION WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. THE MAINTENANCE DISTRICT, HEREIN, APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. TREES OUTSIDE THE DISTURBANCE ARE TO BE PROTECTED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION, ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
20. **TOPSOIL STOCKPILE PROTECTION**

- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LB/5/1000 S.F.
 - B. APPLY FERTILIZER (10–20–10) AT A RATE OF 11 LB/5/1000 S.F.
 - C. APPLY PERENNIAL REGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL REGRASS AT A RATE OF 1 LB/1000 S.F.
 - D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LB/5/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - F. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
21. **TEMPORARY STABILIZATION SPECIFICATIONS**
- A. APPLY GROUND LIMESTONE AT A RATE OF 90 LB/5/1000 S.F.
 - B. APPLY FERTILIZER (10–20–10) AT A RATE OF 11 LB/5/1000 S.F.
 - C. APPLY PERENNIAL REGRASS AT 1 LB/5/1000 SF AND ANNUAL REGRASS AT 1 LB/1,000 SF.
 - D. MULCH STOCKPILE WITH HAY OR STRAW. APPLY AT A RATE OF 90 LB/5/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
22. **PERMANENT STABILIZATION SPECIFICATIONS**
- A. APPLY TOPSOIL TO A DEPTH OF 5" (UNSETTLED).
 - B. APPLY GROUND LIMESTONE AT A RATE OF 90 LB/5/1000 S.F. AND WORK FOUR INCHES (4") INTO SOIL.
 - C. APPLY FERTILIZER (10–20–10) AT A RATE OF 11 LB/5/1000 S.F.
 - D. APPLY HARD FESCUE AT 2.7 LB/5/1000 SF, CREEPING RED FESCUE 0.7 LB/5/1,000 SF, AND PERENNIAL REGRASS AT 0.25 LB/5/1,000 SF.
 - E. MULCH WITH HAY OR STRAW. APPLY AT A RATE OF 90 LB/5/1000 S.F.
 - F. APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.



SCALE: 1" = 20'

DESCRIPTION		TIME FRAMES
1.	INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRONS.	3 DAYS
2.	LOCATE ALL UNDERGROUND UTILITIES.	1 DAYS
3.	INSTALL SEPTIC SYSTEM.	7 DAYS
4.	INSTALL NEW BATHROOM IN BUILDING 'B' AND CONNECT UTILITIES.	10 DAYS
5.	RELOCATE OPERATIONS OFFICE FROM BUILDING 'A' TO BUILDING 'B'.	2 DAYS
6.	PLACE SAFETY FENCE AROUND STRUCTURES TO BE REMOVED.	1 DAYS
7.	UNCOVER POOL & PATIO AND REMOVE, BUILDING 'A' DEMOLITION.	2 DAYS
8.	CLEAR ALL CONSTRUCTION DEBRIS TO THE SATISFACTION OF THE TOWNSHIP.	5 DAYS
9.	REMOVE ANY EXCESS GRAVEL FROM PHASE 1, TOPSOIL, SEED & MULCH AREAS NOT TO BE PAVED.	2 DAYS
10.	ROUGH GRADE ALL PARKING AREAS.	15 DAYS
11.	INSTALL STORM DRAINAGE STRUCTURES AND NEW PIPES.	45 DAYS
12.	BEGIN CONSTRUCTION OF NEW BUILDING 'D'.	7 DAYS
13.	INSTALL LIGHTING FIXTURES & UNDERGROUND ELECTRICAL TO NEW BUILDING 'D'.	7 DAYS
14.	INSTALL QUARRY PROCESS STONE & BASE TO NEW PARKING AREAS.	2 DAYS
15.	SCARPEN/FILL SUBSOIL TO A DEPTH OF 8".	2 DAYS
16.	SLOPE STABILIZATION – PERMANENT SEEDING.	1 DAYS
17.	INSTALL PAVEMENT TOP COURSE ON NEW PARKING AREAS.	3 DAYS
18.	PARKING LOT STRIPING & SIGNAGE.	3 DAYS
19.	FINISH BUILDING 'D' CONSTRUCTION.	45 DAYS
20.	LANDSCAPING.	3 DAYS
21.	REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES.	1 DAYS
		±167 DAYS

Diagram illustrating the construction entrance stabilization method. The diagram shows a cross-section of the entrance area. Key components and dimensions include:

- 50' OR AS REQUIRED**: Dimension for the stabilized area width.
- PUBLIC R.O.W.**: Public Right of Way boundary.
- 6" MIN.**: Minimum depth of the stabilization layer.
- EXISTING GROUND**: The natural ground surface.
- 2 1/2" CRUSHED STONE**: The stabilization material layer.
- SEDIMENT FILTER FABRIC**: The fabric layer beneath the crushed stone.
- PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.**: Instruction for the transition area.

Diagram illustrating the assembly of a fence post and fabric, showing dimensions and components:

- FENCE POST (SPACING 8'-0" C. TO C.):** The vertical post.
- DRAWSTRING RUNNING THROUGH FABRIC ALONG TOP OF FENCE:** The top edge of the fabric.
- FABRIC SECURED TO POST WITH METAL FASTENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC:** The connection point between the fabric and the post.
- 3/4" STONE AS DIRECTED BY THE ENGINEER FOR ADDITIONAL FENCE SUPPORT:** The stone used for additional support.
- SILT ACCUMULATION:** The area where silt has accumulated.
- GRADE:** The ground level.
- 6" (MIN.):** Minimum dimension for the stone support.
- 2'-0" (MIN.):** Minimum dimension for the stone support.
- 8' 0" C. TO C.:** Center-to-center spacing of the fence posts.
- DIG 6" WIDE 6" DEEP TRENCH, BURY BOTTOM FLAP (1'-0" UNDER) TAMP IN PLACE:** The trench and burial of the bottom flap.

NOTES:

1. FENCE POSTS SHALL BE SPACED 8' O.C. OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FT. ABOVE THE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM OF 4" DIA. AND SHALL BE SET IN A MINIMUM OF 3' OF CONCRETE.
2. A METAL FENCE WITH 6" OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE USED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE FENCE FABRIC WHERE SPACE FOR OTHER PLANTING MATERIAL AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 8 INCHES BELOW THE FENCE FABRIC. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL RINGS AND METAL RINGS WITH AN EMBEDDED STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GEOTEXTILES, WASHERS, ETC.) PLACED BETWEEN THE FASTENERS AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM MUST RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FABRIC FOR ADDED STRENGTH.

Diagram illustrating the installation of a stormwater inlet. The diagram shows a cross-section of the inlet structure, including the grate, filter fabric, and backfill. Key dimensions and components are labeled:

- PROVIDE 3' X 2' OPENING TO PASS RUNOFF FROM 2 YEAR STORM OR GREATER
- SECURE "MIRAFI 100X7" (OR EQUIVALENT) FILTER FABRIC TO FRAME & GRATE
- MOULD 6" X 6", 5/8" GA. 49#/100 S.F. WELDED WIRE SUPPORT AROUND INLET FRAME & GRATE, EXTEND 6" MIN. AT SIDES
- BACKFILL AFTER INSTALLATION OF INLET FILTER
- Dimensions: 2" (width of grate), 6" MIN. (height of backfill)

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
3. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

TEMPORARY CONSTRUCTION FILTER DETAIL
(N.T.S.)

DUST CONTROL MATERIALS			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL./ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO PRECIPITATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.		
ACIDULATED SOY BEAN SOAP SPREAD	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

SOIL BLOWING - SOIL BLOWING IS THE REMOVAL OF SOILS, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS BY THE ACTION OF WIND.

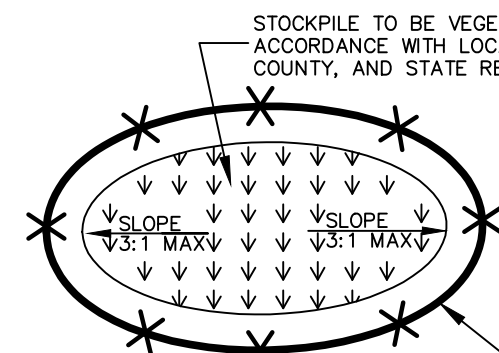
SOIL BLOWING MATERIALS - CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED INTO THE WIND TUNNEL. IT SHALL BE USED TO PREVENT POLYMERIZATION OF POLYMERIZATION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACQUEDUCTS.

SOIL BLOWING SURFACE - WITH CRUSHED STONE OR COARSE GRAVEL.

A diagram of a tree with a drip line indicated by a dashed line and an arrow. Below the tree is a 4-inch high snow fence with metal support, indicated by an arrow and text.

- 1) BOX TREES WITHIN 25 FT. OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING BARRIER SHOULD BE INSTALLED AT THE DRP LINE OF A TREE OR BEYOND.
- 2) FORDERS MUST NOT BE NAILED TO TREES DURING CONSTRUCTION.
- 3) REMOVED ROOTS SHOULD NOT BE CUT IN AN AREA WITHIN THE DRP LINE OF A TREE.
- 4) DAMAGED BRANCHES OR EXPOSED ROOTS SHALL HAVE DAMAGED AREAS REMOVED IMMEDIATELY AND ANY WOUNDS THAT ARE APPLIED TO THE TREE SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRIMED WITH AN ANTIMOLD SEALANT TO PREVENT ROT AND HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT DRYING. IMMEDIATE INJURY CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A FORESTER OR CERTIFIED TREE EXPERT.
- 5) TREE LIMB REMOVAL, WHEN NECESSARY, MUST BE DONE TO AVOID DAMAGE TO THE TRUNK AND TO MAINTAIN THE BRANCH AS CLOSE AS POSSIBLE TO THE BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. BRANCHES SHALL BE REMOVED IN SUCH A MANNER AS TO BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. REMOVAL OF A "Y" CROTCH SHOULD BE DONE BY FIRST REMOVING ONE OF THE BRANCHES TO AVOID TREE SPPLITTING DAMAGE.
- 6) TREE REMOVAL SHALL BE DONE IN SUCH A MANNER AS ALL TREES TO REMAIN WITHIN LIMIT OF DISTURBANCE









METAL FENCE POST
10' O.C. MAXIMUM

VINYL ORANGE
SAFETY FENCE

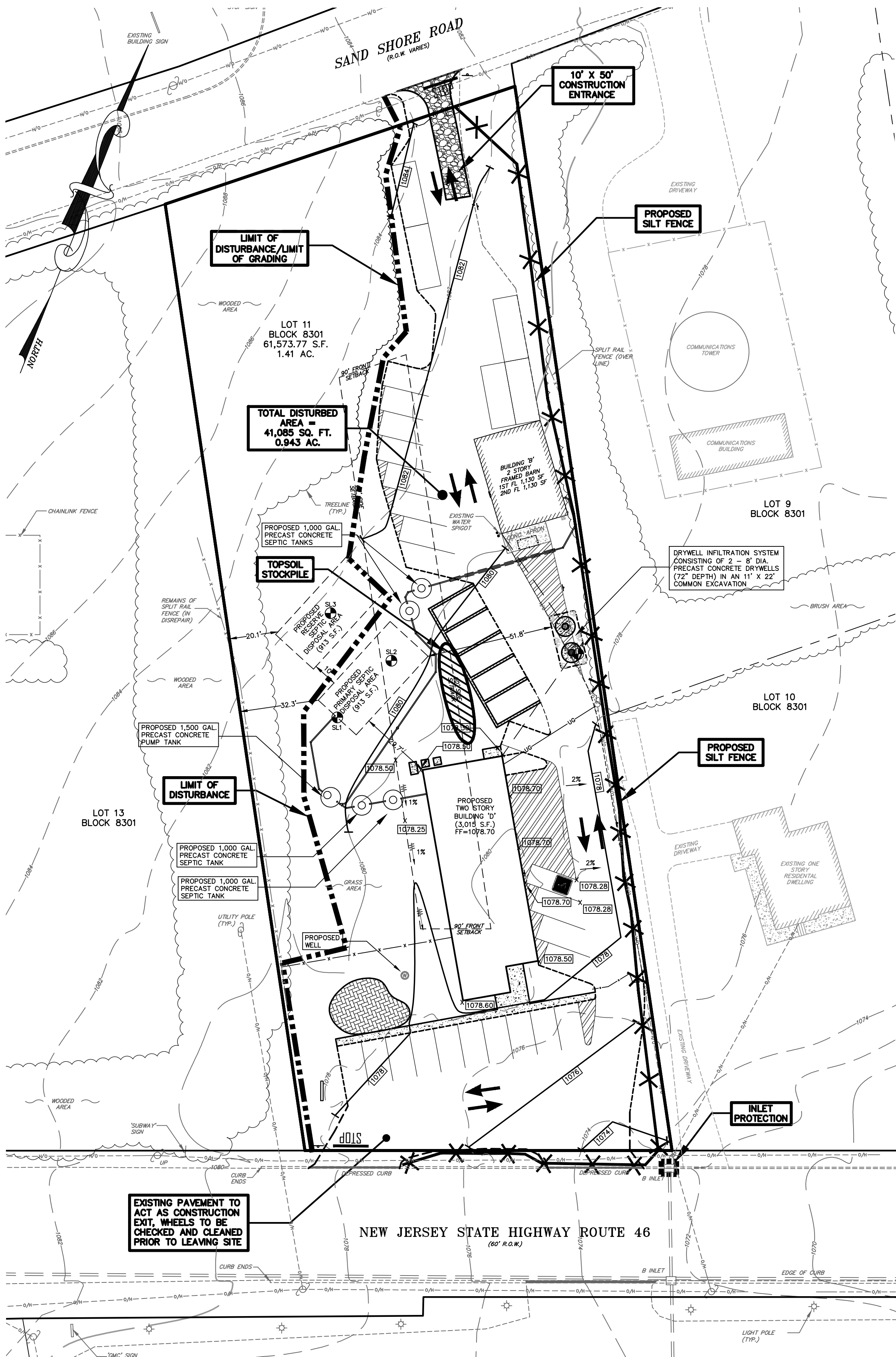
LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)	
	ADJACENT PROPERTY LINES	
	EXISTING R.O.W.	
	INDEX CONTOUR	
	INTERIOR CONTOUR	
	EXISTING PAVEMENT	
	EXISTING SETBACK LINE	
	EXISTING OVERHEAD UTILITY LINE	
	EXISTING DRIVEWAY	
	EXISTING STORM SEWER	
	EXISTING CURB	
	EXISTING DEPRESSION CURB	
	EXISTING GRAVEL LIMIT	
	PROPOSED GRAVEL LIMIT	

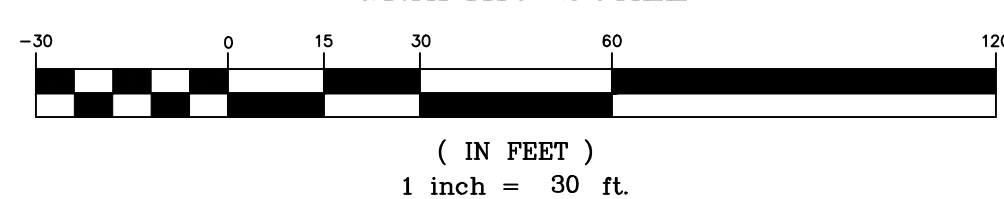
EXISTING TREE LINE
PROPOSED TREE LINE
EXISTING FENCE
PROPOSED FENCE
EXISTING GRAVEL
PROPOSED GRAVEL
EXISTING CONCRETE
EXISTING WELL
EXISTING IRON PIPE
EXISTING B-INLET
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING SIGN

	CONSTRUCTION ENTRANCE
	LIMIT OF DISTURBANCE
	SILT FENCE
	TOPSOIL STOCKPILE
	PROPOSED SPOT GRADE
	INLET FILTER

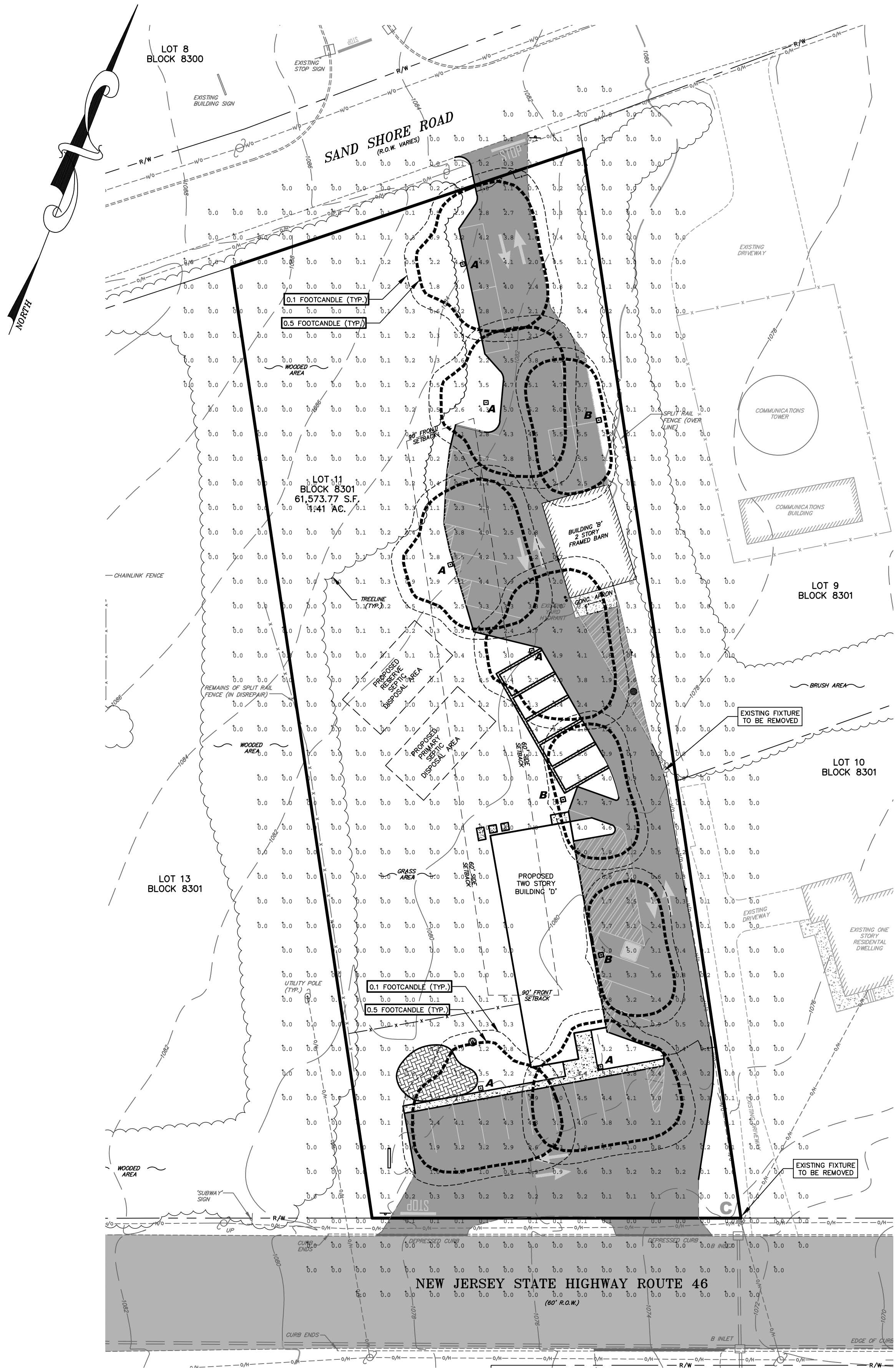
FOR SOIL EROSION PURPOSES ONLY



GRAPHIC SCALE

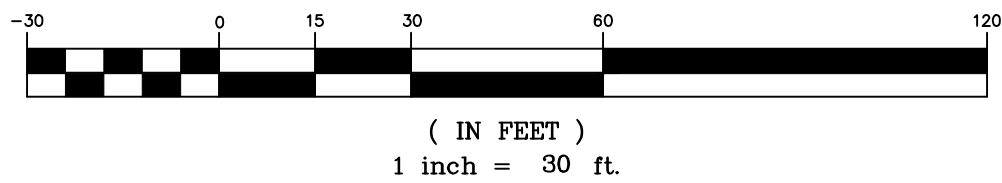


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LIGHTING PLAN - PHASE 2

GRAPHIC SCALE



LIGHTING NOTES

- 1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS.
- 2.) ALL MOUNTING HEIGHTS MEASURED FROM LENS TO GRADE BELOW. HEIGHTS ARE SPECIFIED FOR ALL FIXTURES IN CHART BELOW.
- 3.) EXISTING POLE MOUNTED LIGHTS 'C' TO BE REMOVED.
- 4.) ALL LIGHTING FIXTURES & LIGHTING CALCULATIONS GENERATED BY DIVERSIFIED NEW JERSEY. FOR ADDITIONAL SUPPORT AND ORDERING INFO, CONTACT MATTHEW KENNY, DIVERSIFIED NEW JERSEY, 55 LANE ROAD, SUITE 360, FAIRFIELD, NJ 07004. CELL: 973-885-1205, EMAIL: MKENNY@DVNJ.COM

LUMINAIRE SCHEDULE

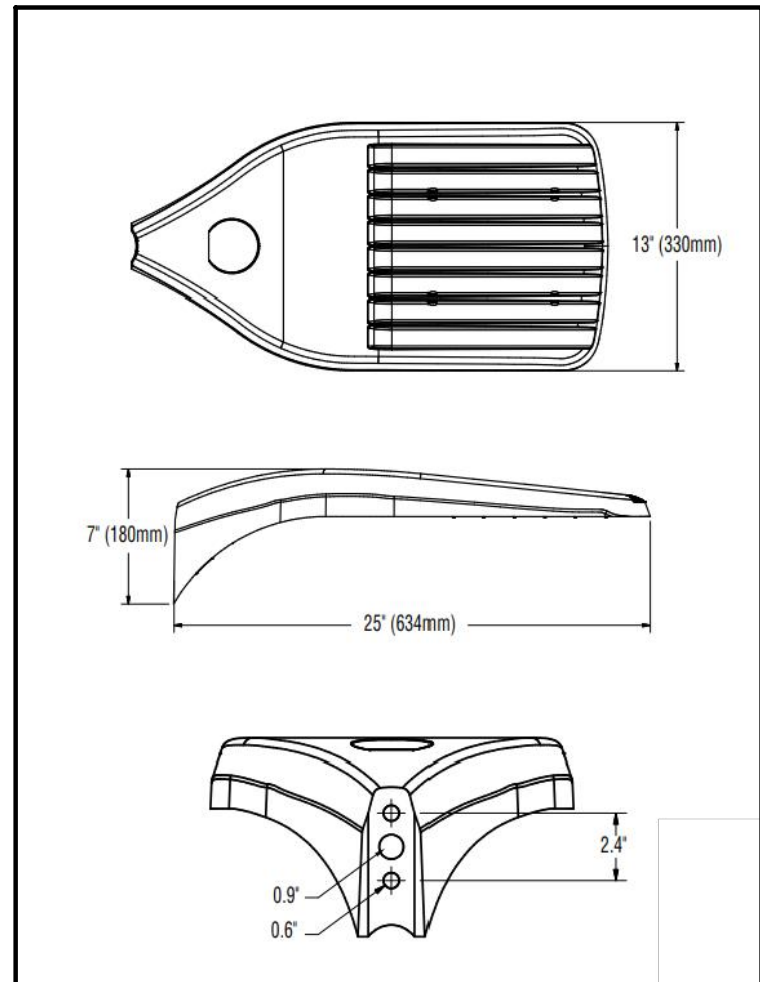
SYMBOL	QTY	LABEL	DESCRIPTION	MANUFACTURER	WATTS	LUMENS	COLOR	HEIGHT
	6		MIRADA SMALL OUTDOOR LED AREA LIGHT MRS-LED-09L-SIL-FI-40-70CRI	LSI INDUSTRIES, INC.	63W	9330	BRONZE	15.0 FT.
	3		MIRADA SMALL OUTDOOR LED AREA LIGHT MRS-LED-09L-SIL-FI-40-70CRI-IL	LSI INDUSTRIES, INC.	63W	6038	BRONZE	15.0 FT.
	2	C	EXISTING HALOGEN LIGHT FIXTURE (TO BE REMOVED)	UNKNOWN	175W (ASSUMED)	UNKNOWN	BRONZE	18.0 FT.

LIGHTING LEGEND

- PROPOSED .1 FC LIGHT TRACE
- PROPOSED .5 FC LIGHT TRACE



MIRADA SMALL LED AREA LIGHT
(N.T.S.)



MIRADA SMALL FIXTURE DIMENSIONS
(N.T.S.)

LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING TREE LINE
	ADJACENT PROPERTY LINES		PROPOSED TREE LINE
	EXISTING R.O.W.		EXISTING FENCE
	EXISTING PAVEMENT		PROPOSED FENCE
	EXISTING SETBACK LINE		EXISTING GRAVEL
	EXISTING OVERHEAD UTILITY LINE		EXISTING CONCRETE
	EXISTING DRIVEWAY		EXISTING WELL
	EXISTING STORM SEWER		EXISTING IRON PIPE
	EXISTING CURB		EXISTING B-INLET
	EXISTING DEPRESSED CURB		EXISTING UTILITY POLE
	EXISTING GRAVEL LIMIT		EXISTING LIGHT POLE
	PROPOSED GRAVEL LIMIT		EXISTING SIGN

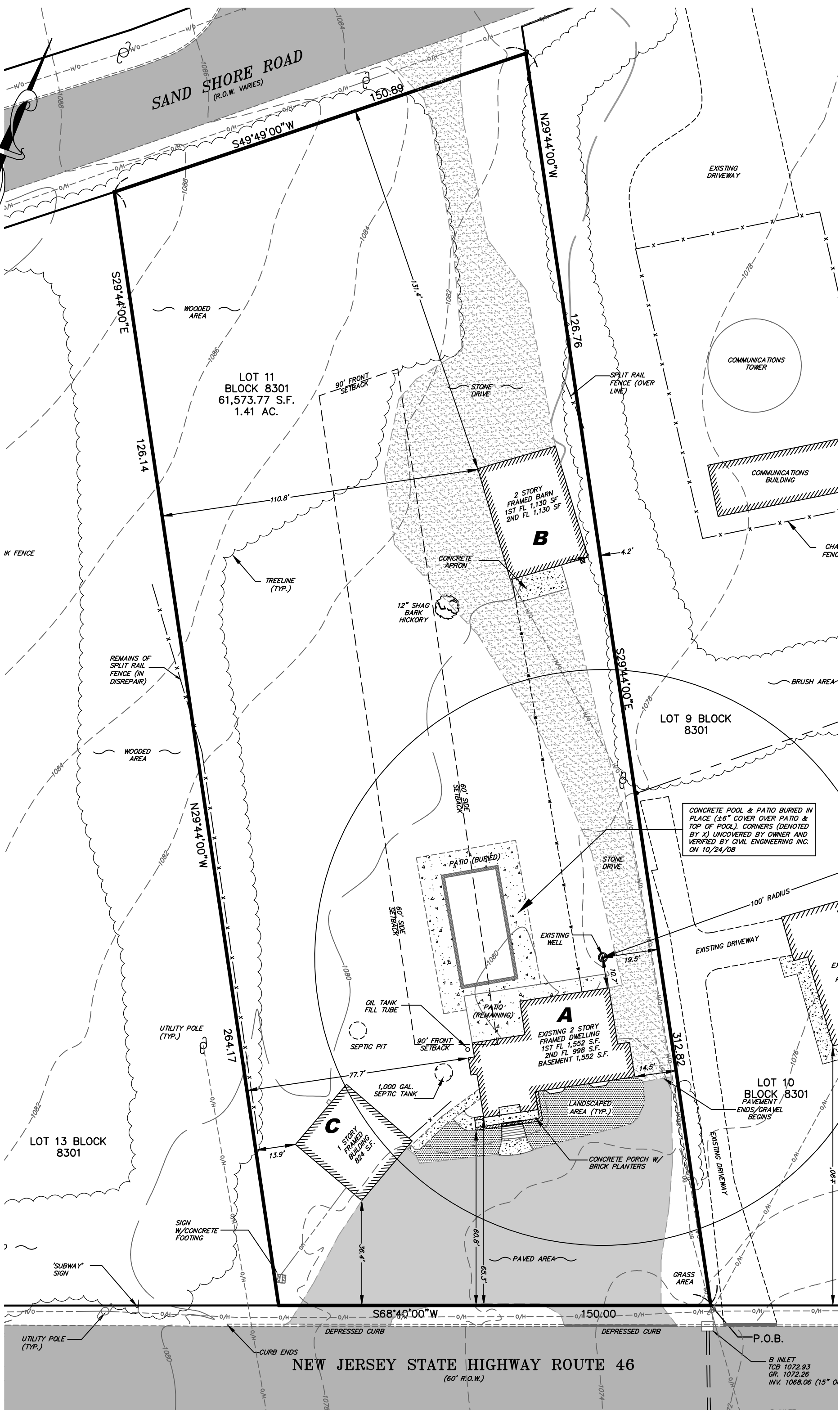
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

CIVIL ENGINEERING, INC.

1 COVE STREET
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Fax: (973) 426-0716
N.J. - C of A #24GA27922000

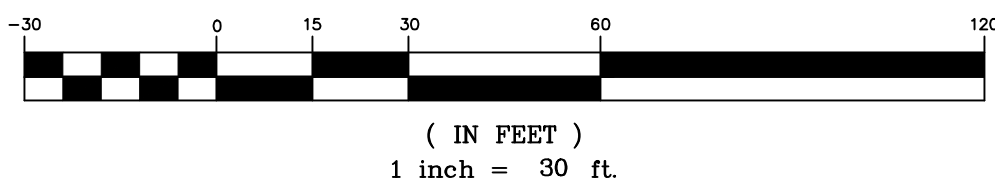
LIGHTING PLAN - PHASE 2
FOR:
'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931



EXISTING CONDITIONS PLAN (2004-APPROVED)

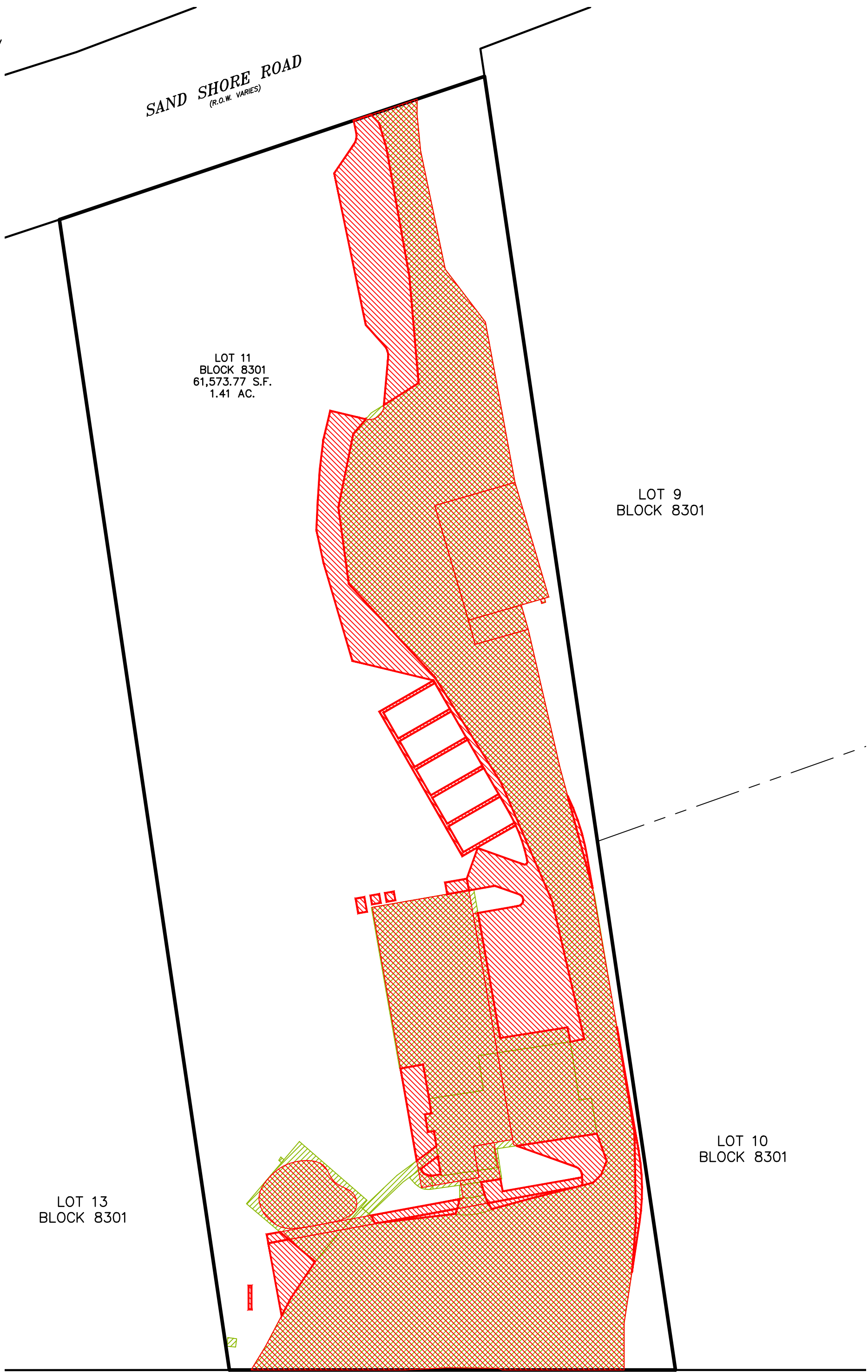
GRAPHIC SCALE



EXISTING IMPERVIOUS COVERAGE

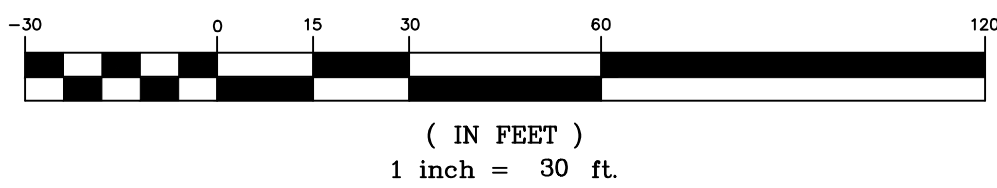
BUILDINGS	
TWO STORY STRUCTURE 'A'	1,552 S.F.
ONE STORY ACCESSORY STRUCTURE 'C'	824 S.F.
TWO STORY ACCESSORY BARN 'B'	1,130 S.F.
PAVEMENT & STONE DRIVEWAY	14,356 S.F.
CONCRETE APRON (BARN)	157 S.F.
CONCRETE POOL & SURROUNDING PATIO (CONFIRMED 10/24/08)	2,264 S.F.
CONCRETE PORCH W/ PLANTERS (STRUCTURE 'A')	101 S.F.
BRICK STEPS (STRUCTURE 'A')	36 S.F.
CONCRETE APRON (STRUCTURE 'A')	52 S.F.
CONCRETE SIDEWALK FROM BLDG. 'A' TO BLDG. 'C'	127 S.F.
SIGN W/CONCRETE FOOTING	9 S.F.
TOTAL	20,608 S.F.

20,608 SF/61,573 S.F. = 0.3346 OR 33.46%



IMPERVIOUS SURFACES OVERLAY DETAIL - PHASE 2

GRAPHIC SCALE



PROPOSED IMPERVIOUS COVERAGE - PHASE 2

EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
EXISTING CONCRETE APRON AT BARN	157 S.F.
PROPOSED RECONFIGURED PARKING LOT AND AISLES	20,143 S.F.
PROPOSED BUILDING 'D' - 2 STORY BUILDING	3,015 S.F.
PROPOSED FRONT CONCRETE SIDEWALK	475 S.F.
PROPOSED CONCRETE MATERIAL BINS	176 S.F.
PROPOSED CONCRETE PAD	30 S.F.
PROPOSED PAVER BLOCK PATIO	542 S.F.
PROPOSED AC PADS	18 S.F.
PROPOSED CONCRETE GENERATOR PAD	15 S.F.
PROPOSED SIGN	8 S.F.
TOTAL	25,709 S.F.

25,709 S.F./61,573.77 S.F. = 0.4175 OR 41.75%

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE LAND PROTECTED BY THE HIGHLANDS PRESERVATION ACT. TO QUALIFY FOR EXEMPTION FROM THE HIGHLANDS ACT, THE IMPROVED IMPERVIOUS COVERAGE FOOTPRINT MUST BE "WITHIN 125 PERCENT OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES ON THE SITE, PROVIDED THAT THE RECONSTRUCTION DOES NOT INCREASE THE LAWFULLY EXISTING IMPERVIOUS SURFACE BY ONE-QUARTER ACRE OR MORE."

THE FIRST CRITERION ABOVE APPLIES TO NEW IMPERVIOUS SURFACES THAT ARE PROPOSED. NEW IMPERVIOUS SURFACES ARE DEFINED AS PROPOSED IMPERVIOUS SURFACES THAT ARE TO BE PLACED UPON EXISTING IMPERVIOUS AREAS (SUCH AS GRASS), AND NOT UPON EXISTING CONCRETE, GRAVEL, STRUCTURE OR OTHER EXISTING IMPERVIOUS SURFACE. THIS NEW IMPERVIOUS TOTAL, WHEN ADDED TO THE LAWFULLY EXISTING IMPERVIOUS SURFACES, MUST BE WITHIN 125% OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES. THIS IS REFLECTED IN THE FOLLOWING EQUATION:

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

THE SECOND CRITERION APPLIES TO THE NET INCREASE IN IMPERVIOUS SURFACE COMPARED TO THAT WHICH EXISTED LAWFULLY ON AUGUST 10, 2004. THE MAXIMUM AMOUNT OF ADDED IMPERVIOUS SURFACES IS ONE QUARTER ACRE OR 10,890 S.F. THEREFORE, THE PROPOSED IMPERVIOUS SURFACES TOTAL MINUS THE LAWFULLY EXISTING IMPERVIOUS SURFACES MUST BE LESS THAN 0.25 ACRE. CREDIT WILL BE GIVEN FOR ANY LAWFULLY EXISTING IMPERVIOUS SURFACES THAT ARE REMOVED AT TIME OF CONSTRUCTION. THIS TOTAL WILL BE SUBTRACTED FROM THE PROPOSED NEW IMPERVIOUS SURFACE. THIS IS EXPRESSED IN THE FOLLOWING EQUATION:

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

IN SUMMARY, FOR A PROJECT TO RECEIVE AN EXEMPTION UNDER N.J.A.C. 7:38-2.3(a)4, BOTH CRITERIA (AS DETAILED ABOVE) MUST BE SATISFIED. CREDIT FOR THE REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACES WILL BE FACTORED INTO CRITERIA #2, BUT WILL NOT BE APPLICABLE TO CRITERIA #1.

CRITERIA #1

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

$$\frac{5,148 \text{ S.F.} + 20,608 \text{ S.F.}}{20,608 \text{ S.F.}} \leq 1.25$$

$$\frac{25,756 \text{ S.F.}}{20,608 \text{ S.F.}} = 1.249$$

THEREFORE, THE PROPOSED NEW IMPERVIOUS SURFACES IS WITHIN 124.9% OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES AND MEETS CRITERIA #1 FOR HIGHLANDS EXEMPTION.

CRITERIA #2

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

$$5,148 \text{ S.F.} - 298 \text{ S.F.} = 4,850 \text{ S.F.}$$

THEREFORE, THE NET INCREASE IN IMPERVIOUS SURFACES IS 4,850 S.F. OR 0.11 ACRE AND MEETS CRITERIA #2 FOR BEING LESS THAN 0.25 ACRE.

IN CONCLUSION, IT HAS BEEN SHOWN THAT THE PROPOSED IMPROVEMENTS TO THE SUBJECT PROPERTY HAVE MET BOTH CRITERIA FOR HIGHLANDS EXEMPTION UNDER N.J.A.C. 7:38-2.3(a)4

HIGHLANDS OVERLAY PLAN
PHASE 2

FOR:

LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

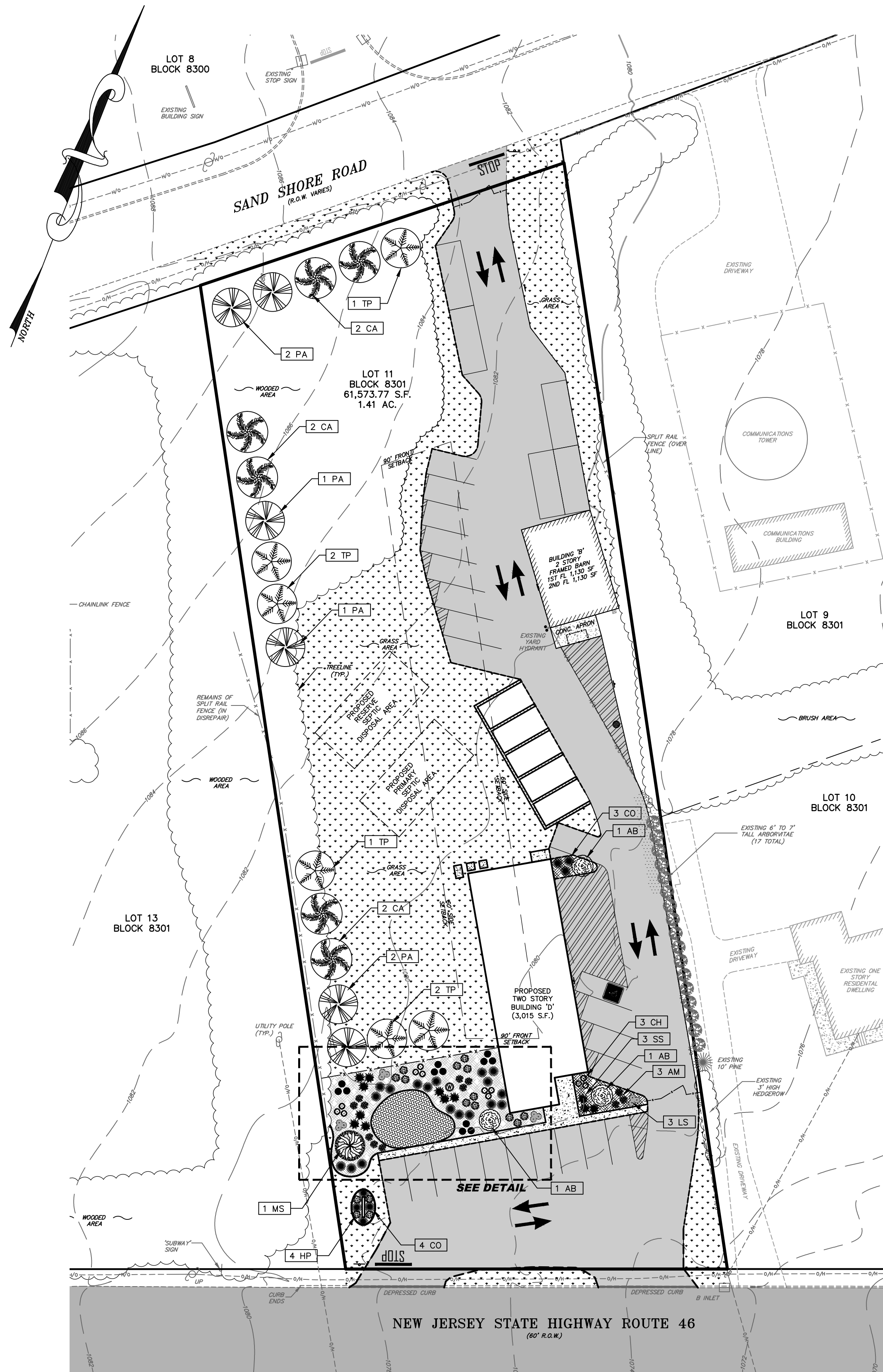
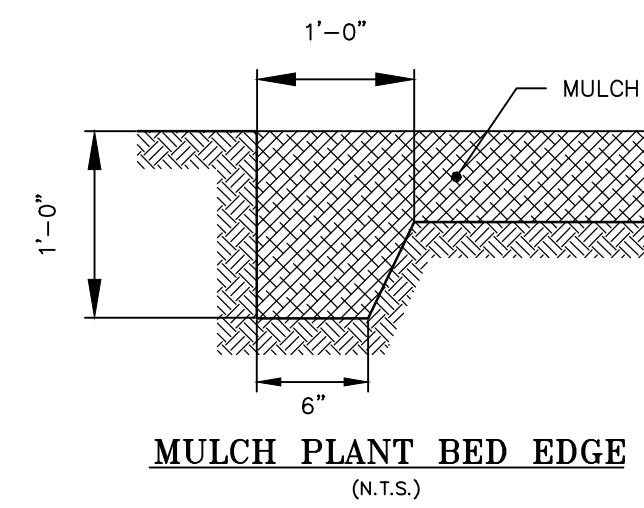
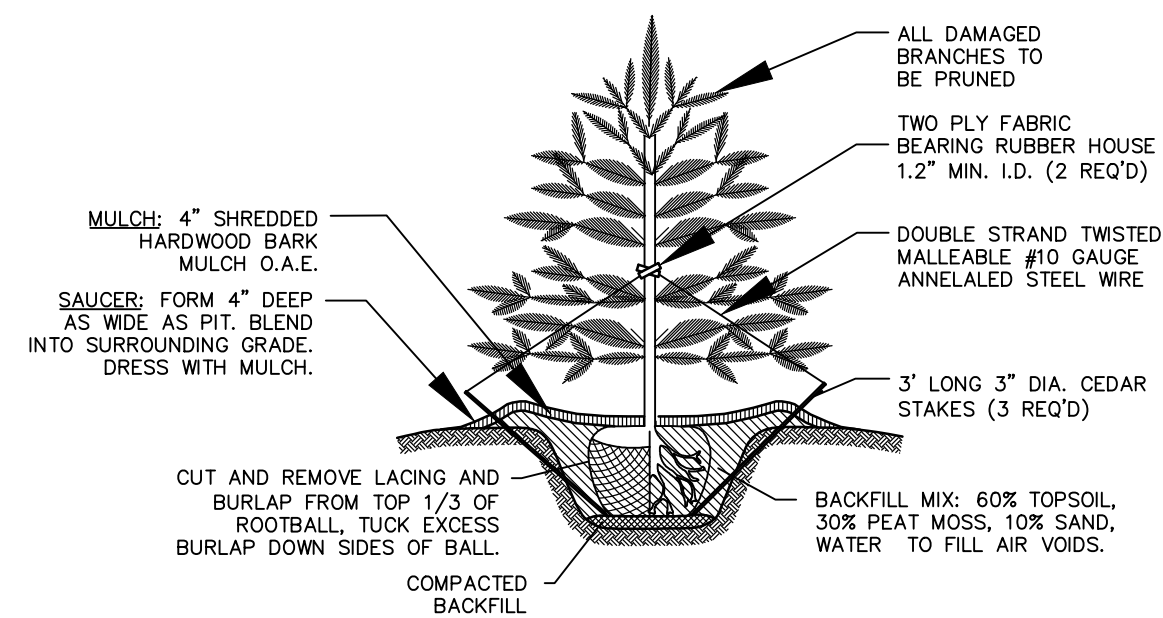
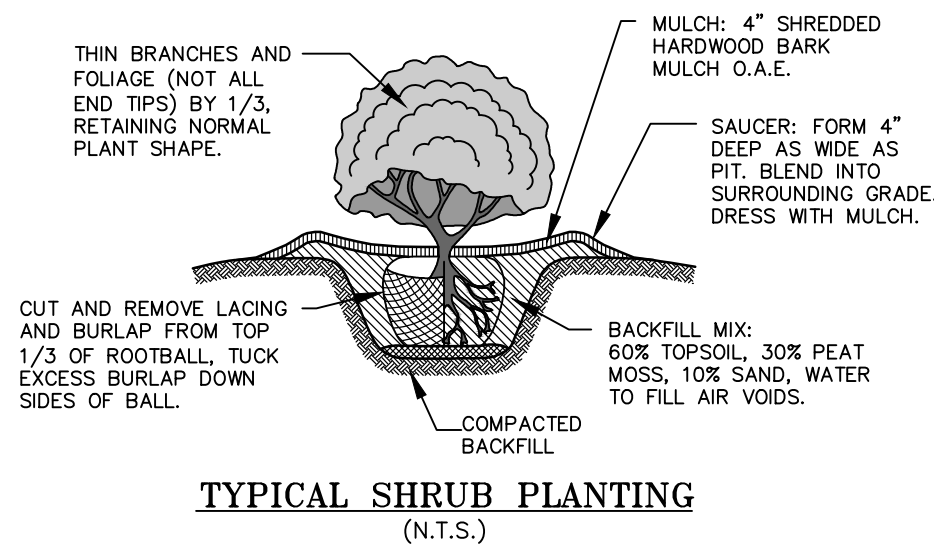
CIVIL ENGINEERING, INC.

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Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

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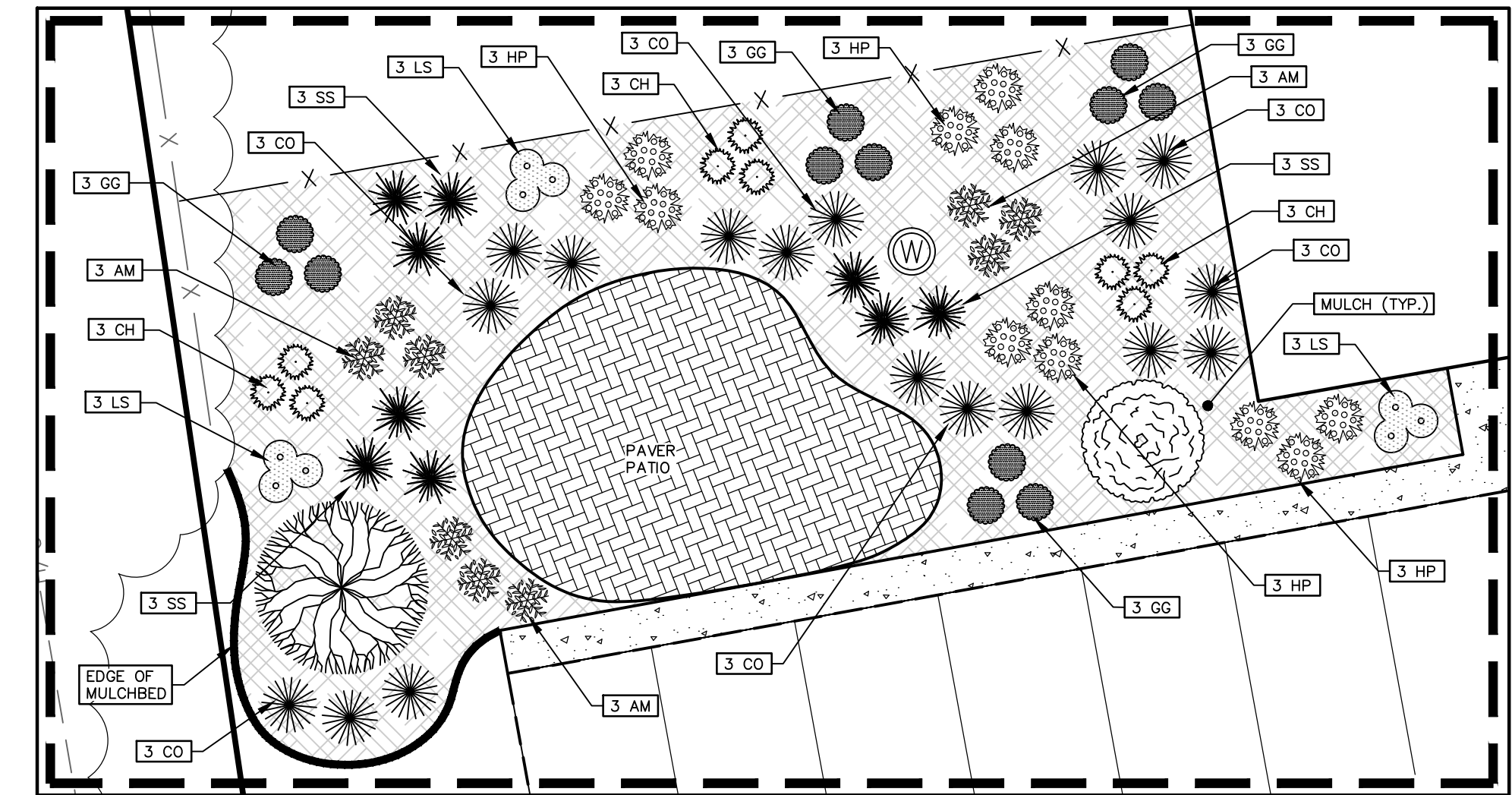


LANDSCAPING NOTES:

- ALL BEDS (OUTLINED) TO BE PLANTED WITH HARDWOOD MULCH.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSEYMAN STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSEYMAN STANDARDS.
- TREE STAKES AND WIRES SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF INSTALLATION.
- LAWN AREAS SHALL BE SEEDED AND MULCHED.

TREE REPLACEMENT

TREES TO BE REMOVED	REPLACEMENT REQUIREMENT	
BETWEEN 6" & 10" CALIPER - 0	FOR EVERY ONE REMOVED "3" REPLACEMENTS REQUIRED	TOTAL REQUIRED = 0
BETWEEN 11" & 18" CALIPER - 1	FOR EVERY ONE REMOVED "4" REPLACEMENTS REQUIRED	TOTAL REQUIRED = 4
BETWEEN 19" & 24" CALIPER - 0	FOR EVERY ONE REMOVED "5" REPLACEMENTS REQUIRED	TOTAL REQUIRED = 0
BETWEEN 25" & 30" CALIPER - 0	FOR EVERY ONE REMOVED "7" REPLACEMENTS REQUIRED	TOTAL REQUIRED = 0
BETWEEN 31" & 36" CALIPER - 0	FOR EVERY ONE REMOVED "10" REPLACEMENTS REQUIRED	TOTAL REQUIRED = 0
TOTAL REMOVED = 1	TOTAL REQUIREMENT REQUIRED = 4	
	TOTAL REPLACEMENT TREES PROPOSED = 18	



PLANTING LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	KEY	QUANTITY	CALIPER	HEIGHT	ROOT	COMMENT
	PICEA ABIES	NORWAY SPRUCE	PA	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	CEDRUS ATLANTICA 'GLAUCUA'	BLUE ATLAS CEDAR	CA	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	TP	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLANCE SERVICEBERRY	AB	3	2"+	2'-3'	B&B	DECIDUOUS
	MALUS SYLVESTRIS 'DOLGO'	EUROPEAN CRABAPPLE	MS	1	2"+	2'-3'	B&B	DECIDUOUS
	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE JAPANESE PLUM YEW	CH	12	-	12"-18"	#3 CONT.	EVERGREEN
	BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	GG	12	-	12"-18"	#5 CONT.	EVERGREEN
	HYDRANGAEA PANICULATA 'JANE'	LITTLE LIME HYDRANGAEA	HP	16	-	12"-18"	#5 CONT.	DECIDUOUS
	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	LS	12	-	12"-18"	#2 CONT.	DECIDUOUS
	SCHIZACHYRIUM SCOPARIUM	STANDING OVATION	SS	12	-	12"-18"	#2 CONT.	DECIDUOUS
	ARONIA MELANOCARPA	LOW SCAPE MOUND CHOKEBERRY	AM	12	-	12"-18"	#3 CONT.	DECIDUOUS
	CAREX OSHIMENSIS 'EVERGOLD'	JAPANESE SEDGE	CO	25	-	12"-18"	#2 CONT.	EVERGREEN

*TOTAL REPLACEMENT TREES = 18

SHEET 13 OF 16

LANDSCAPING PLAN
FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

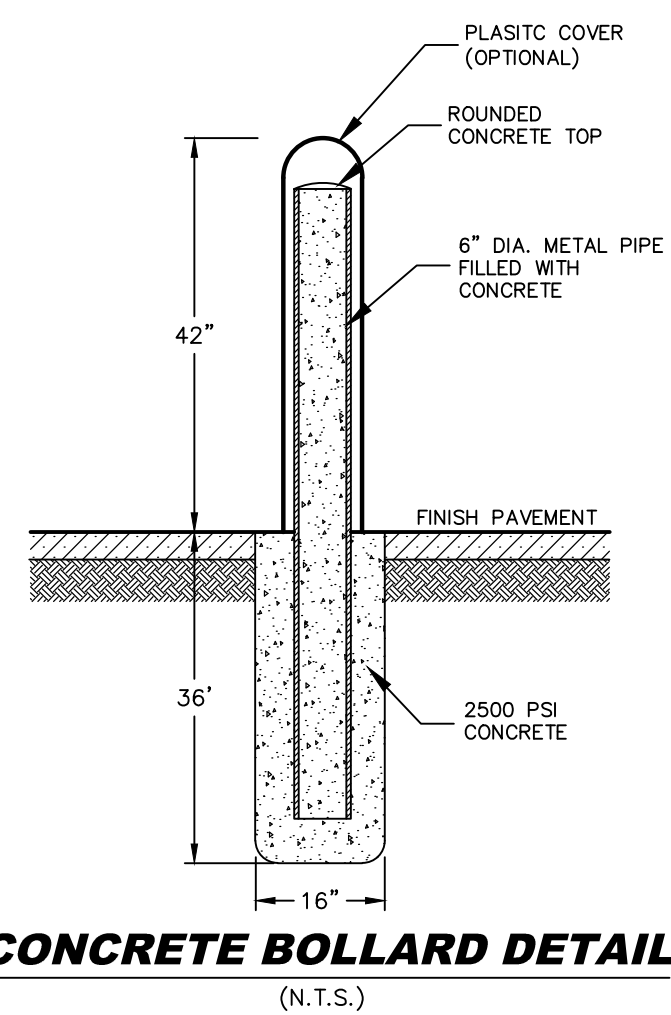
1. UPDATE WBB 7/27/22
Rev. No. Description By Date

CIVIL ENGINEERING, INC.

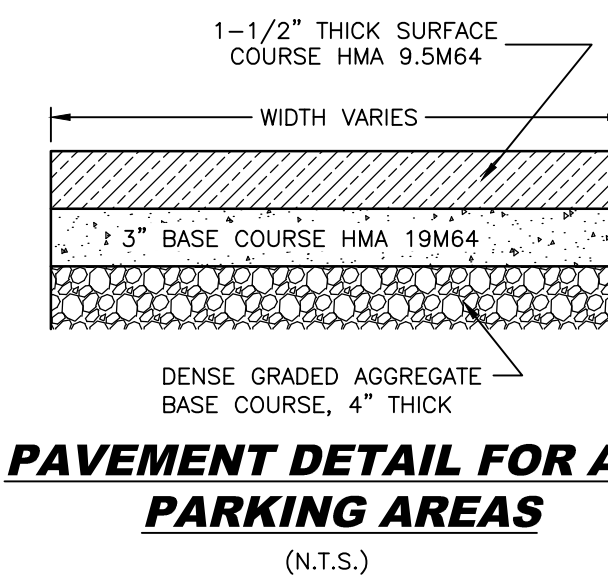
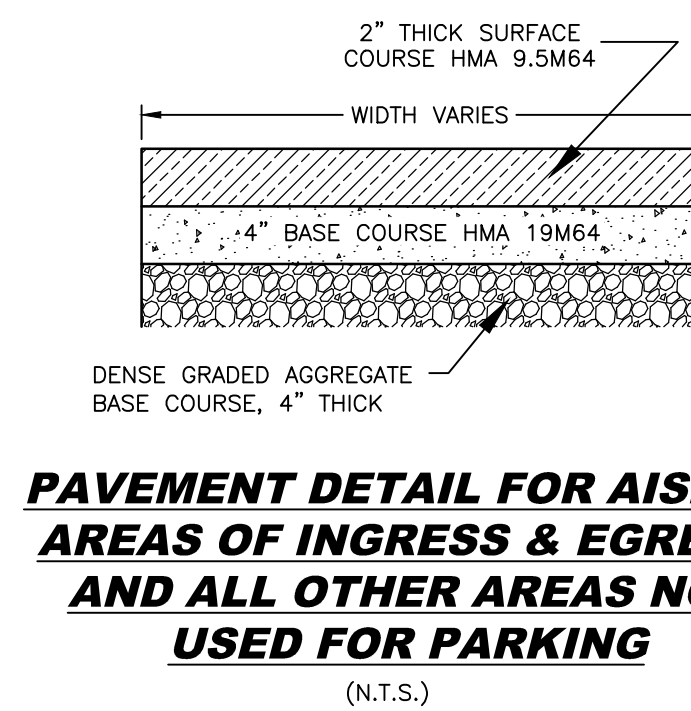
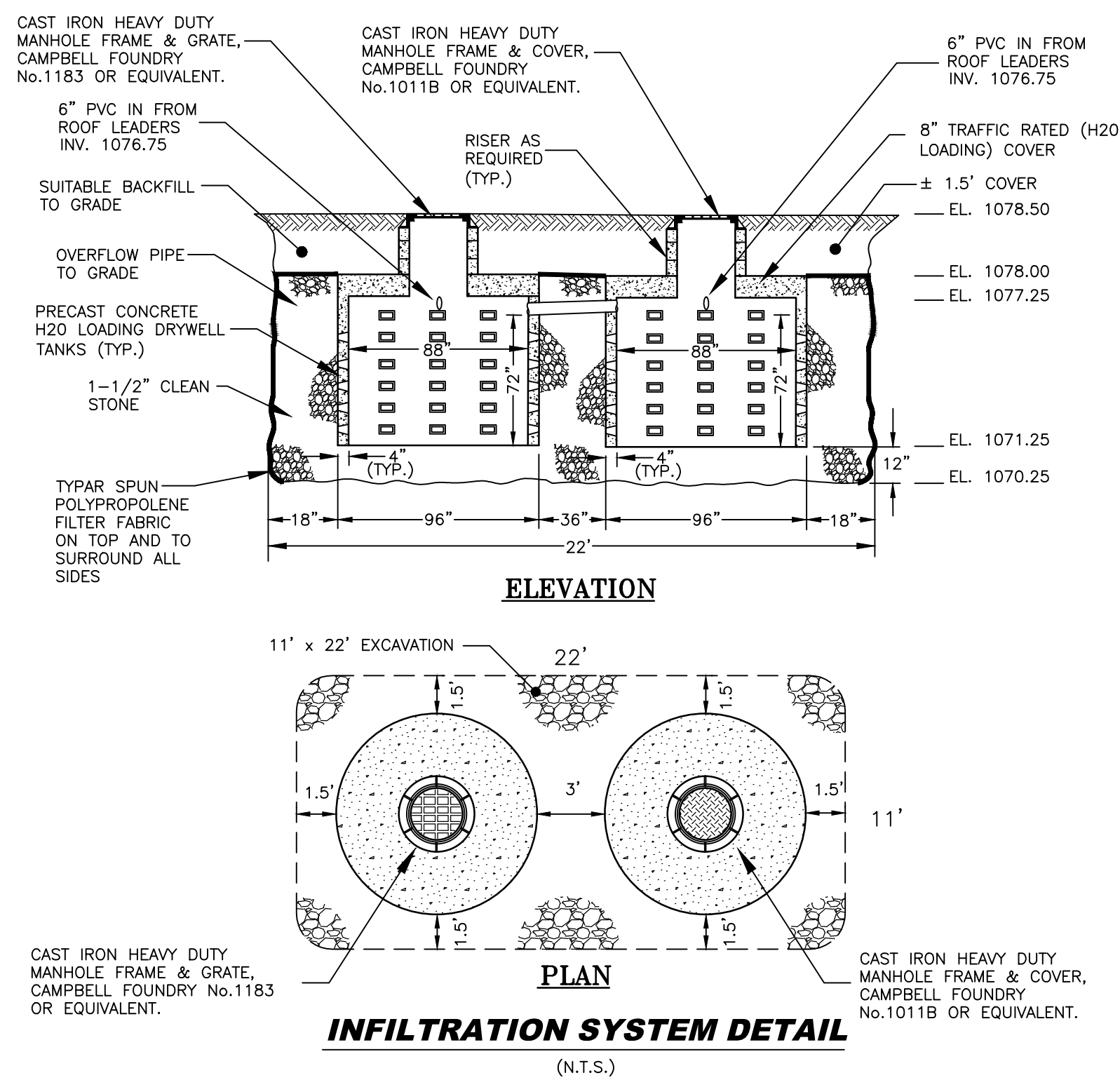
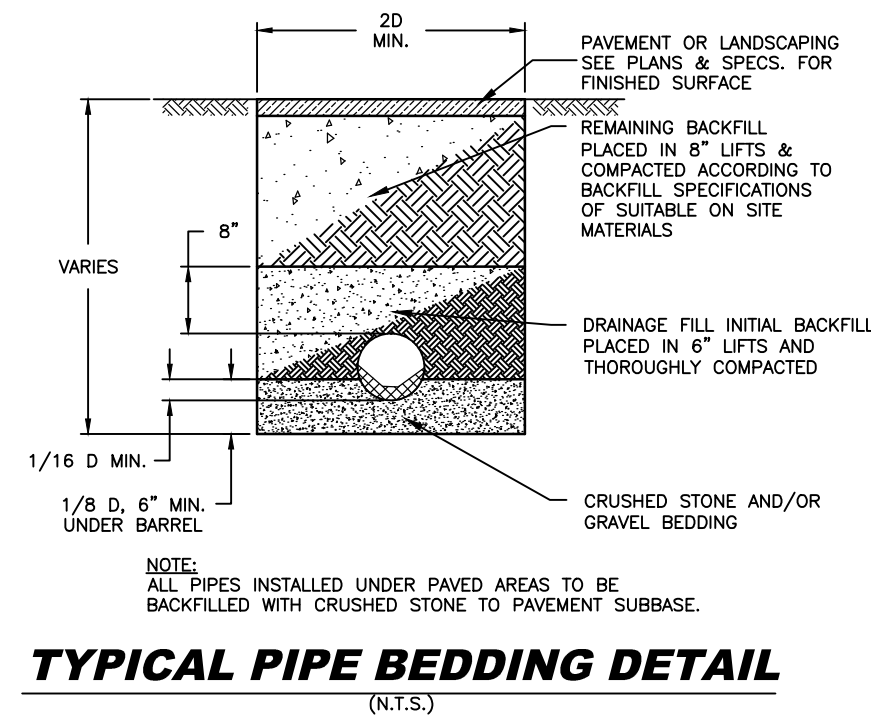
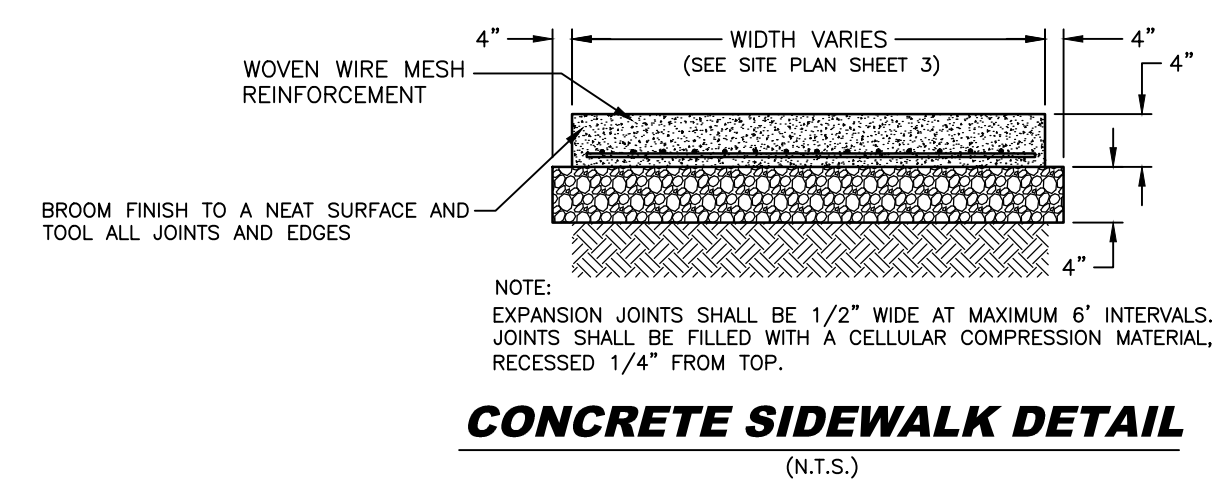
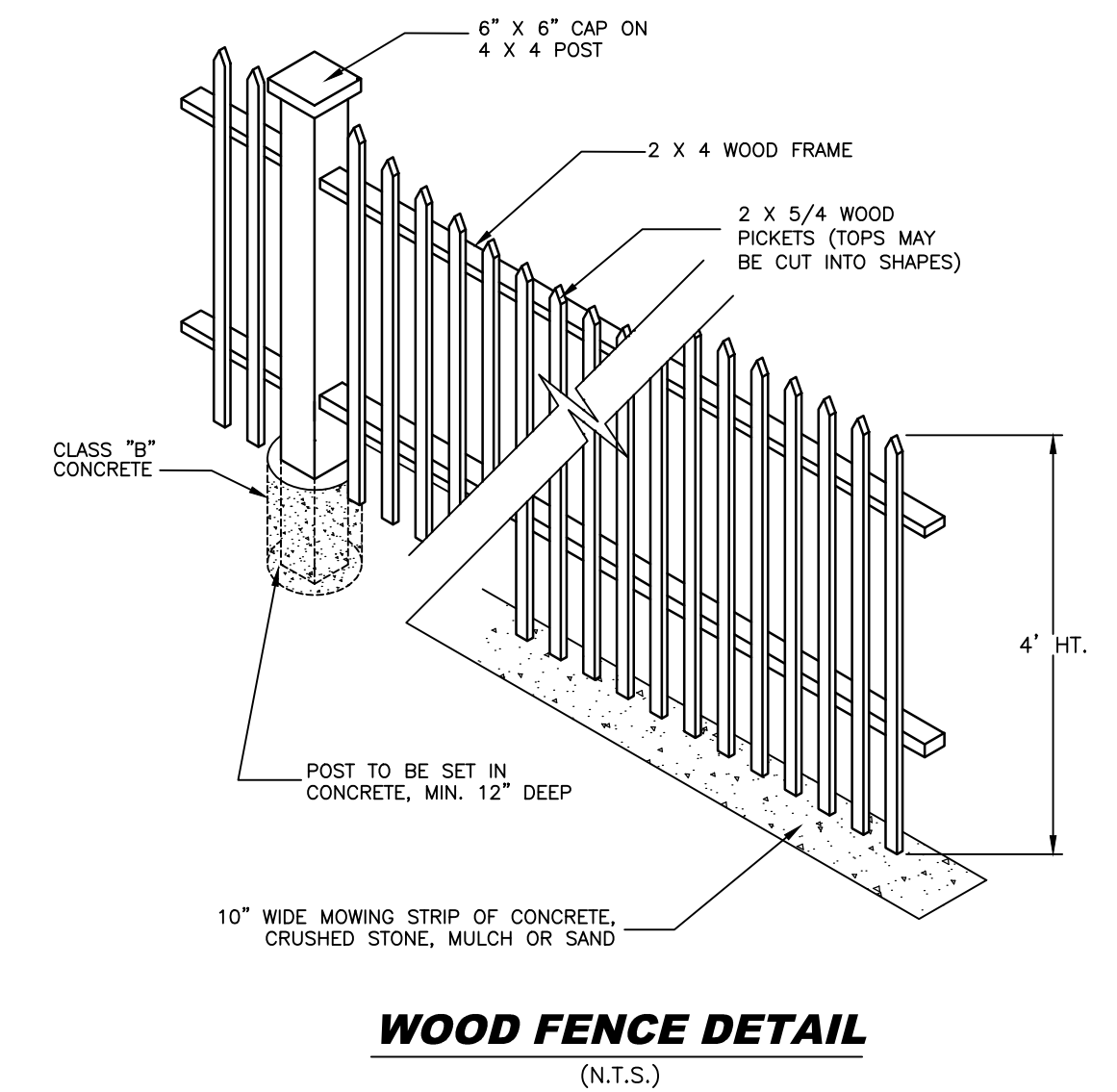
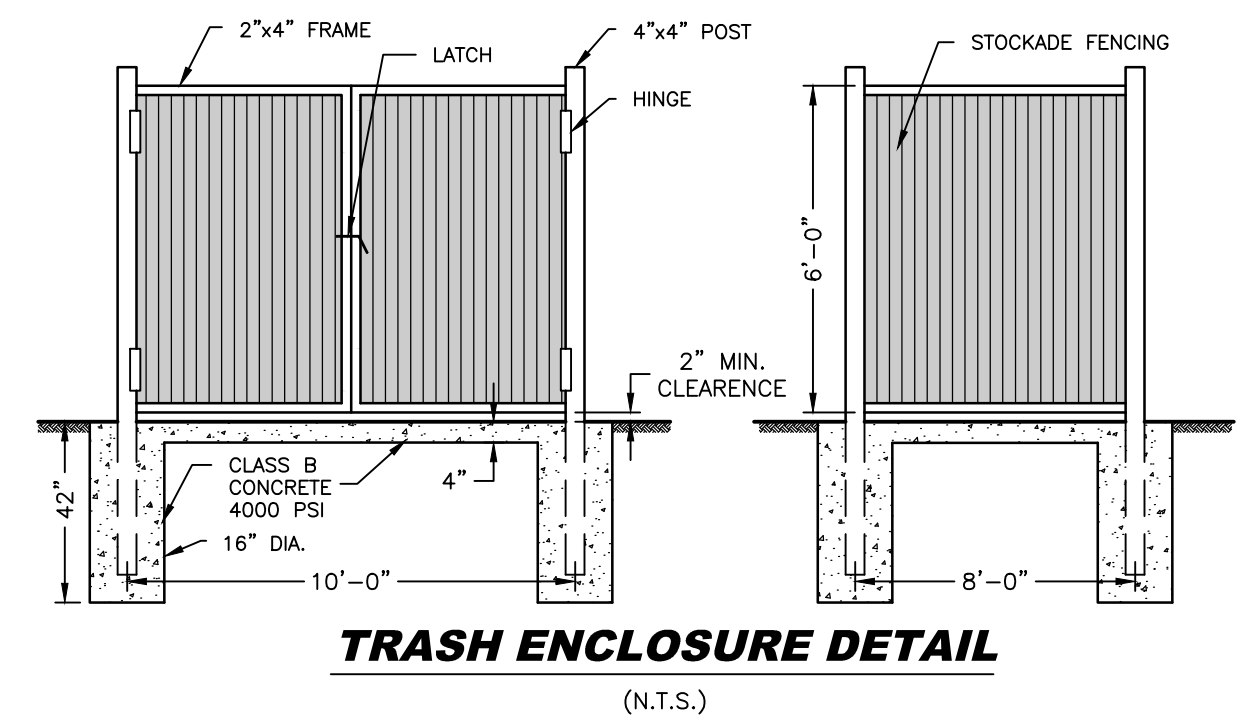
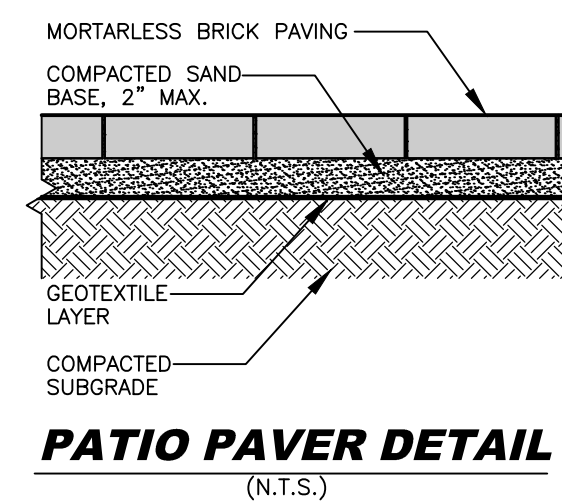
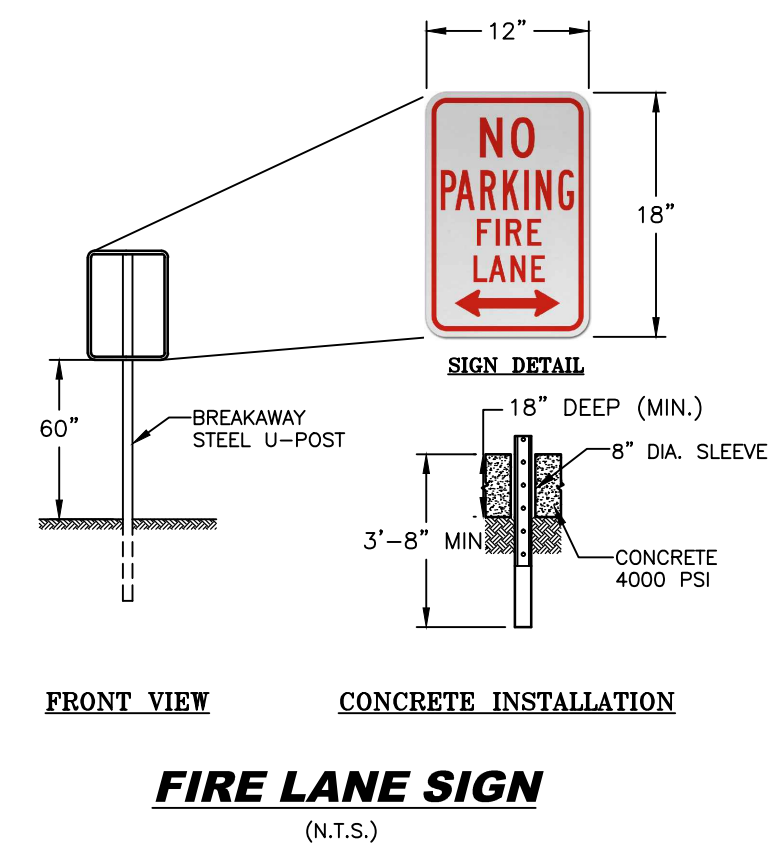
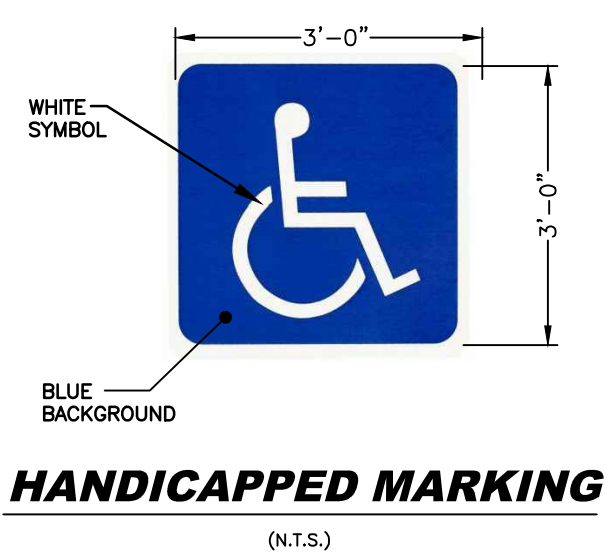
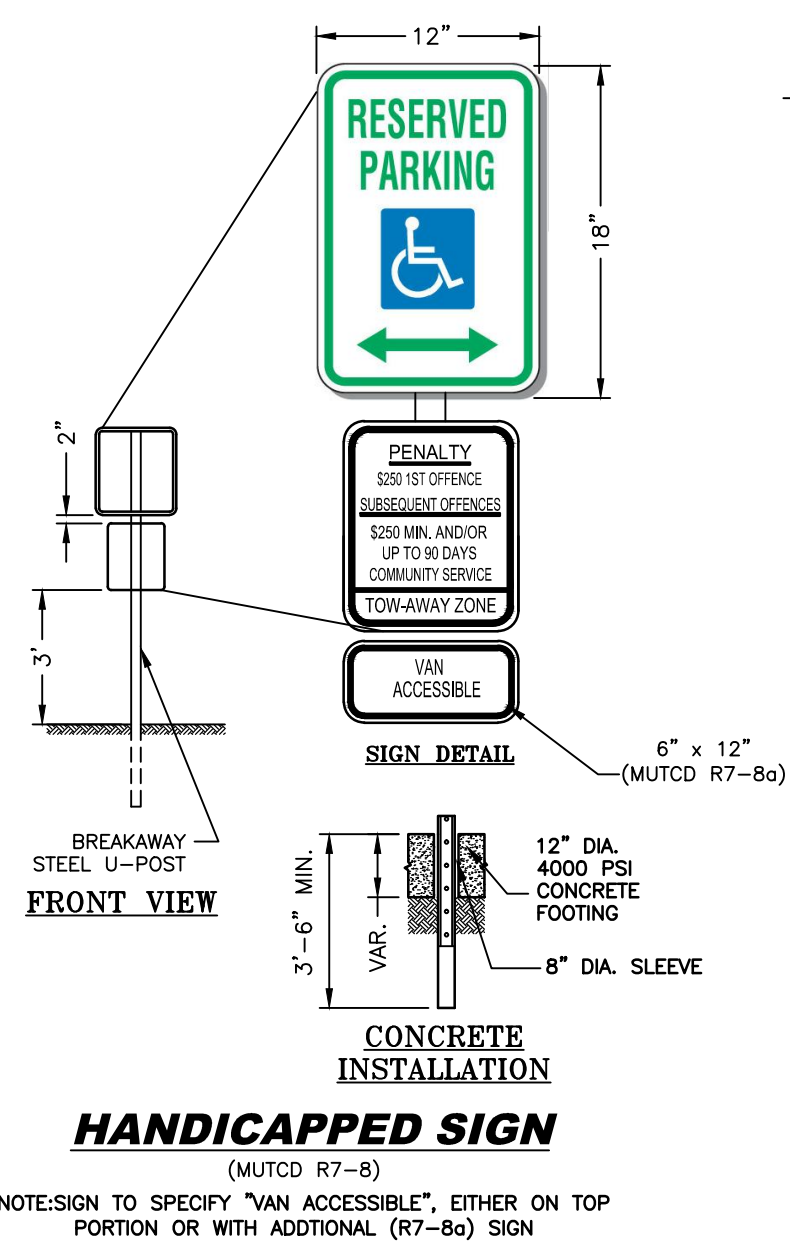
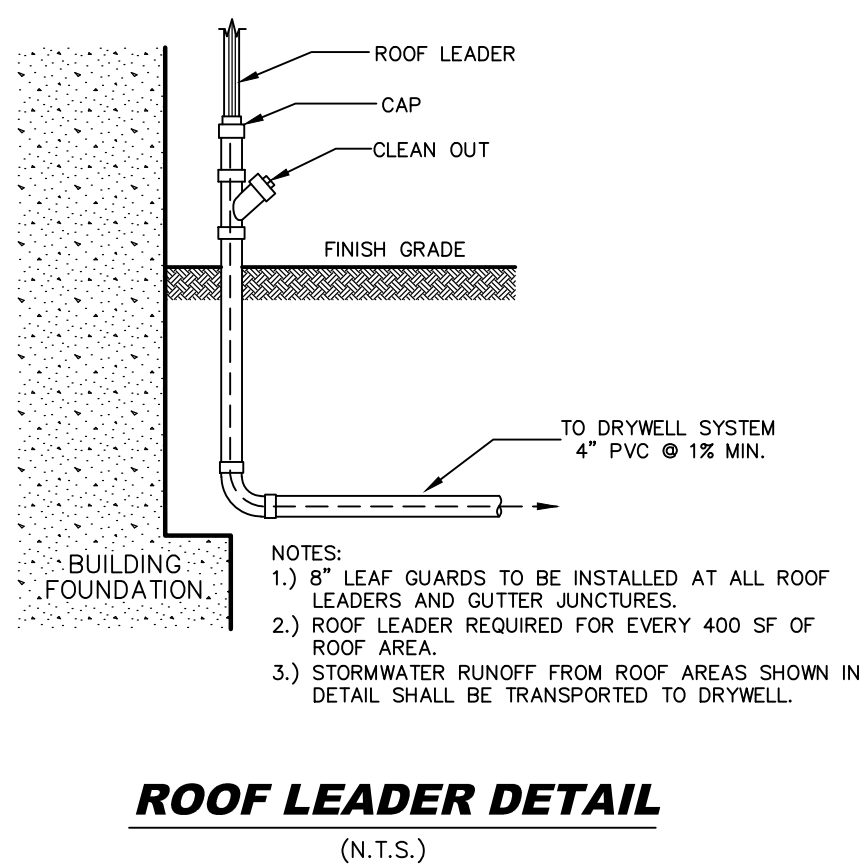
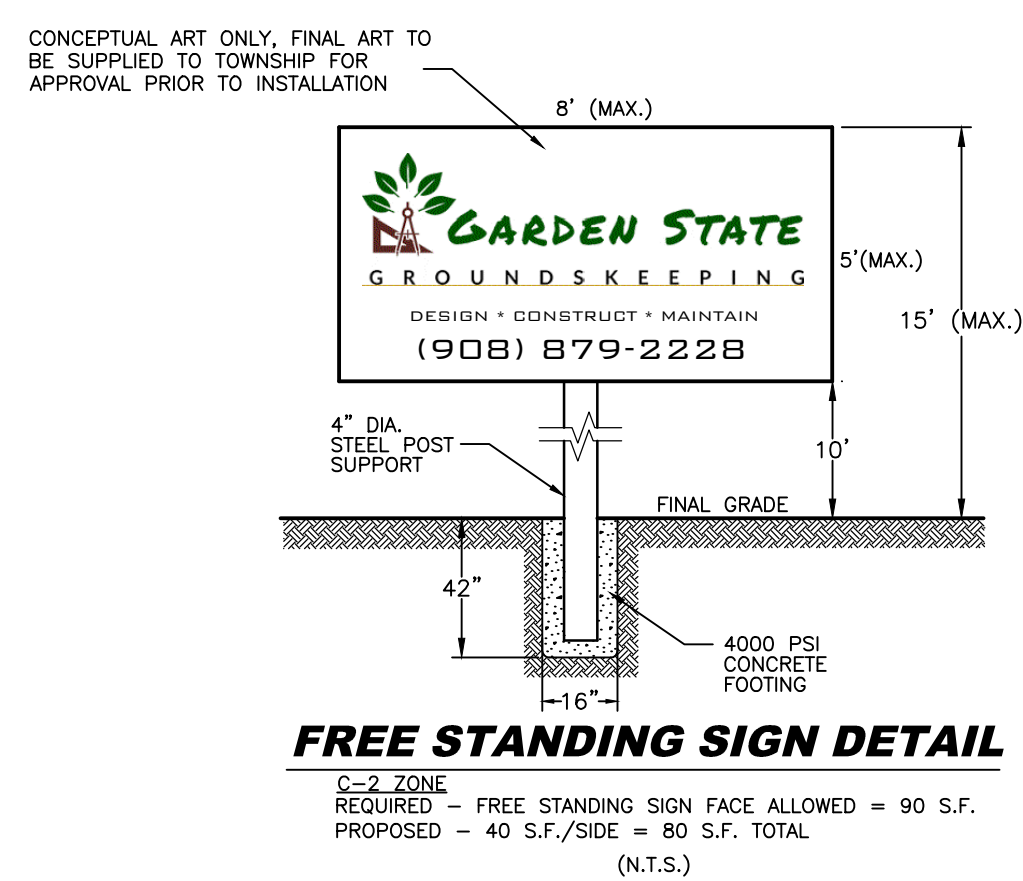
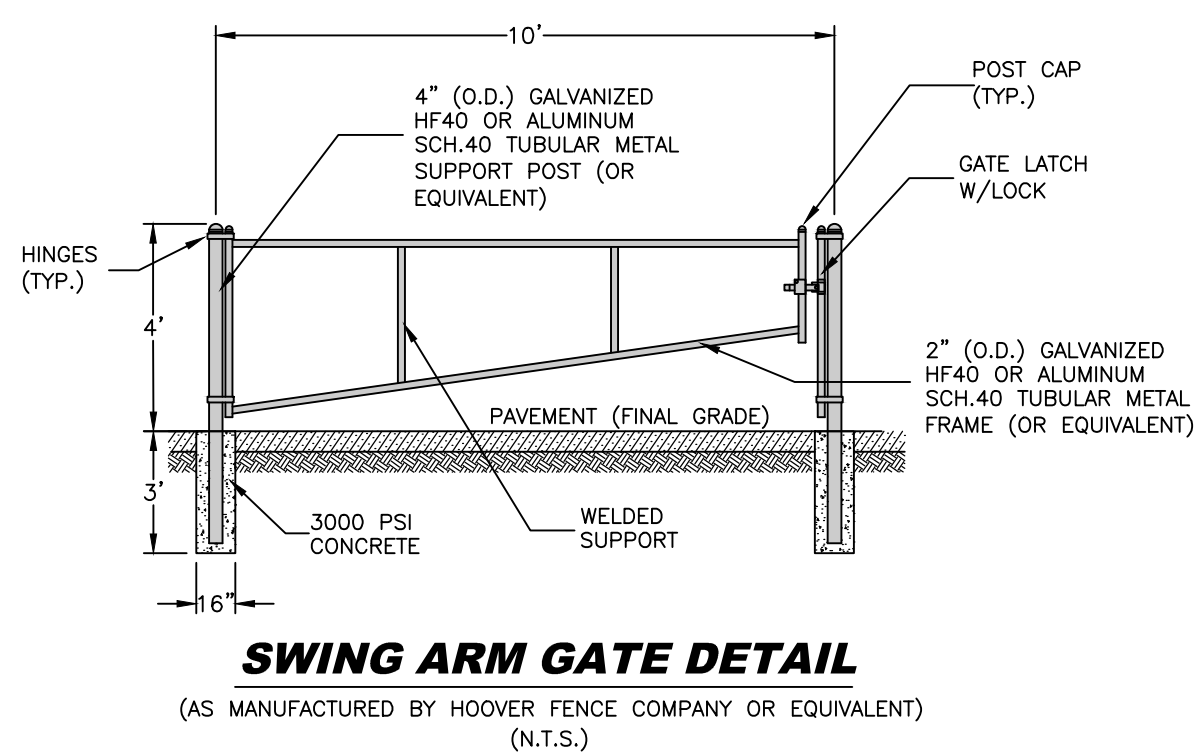
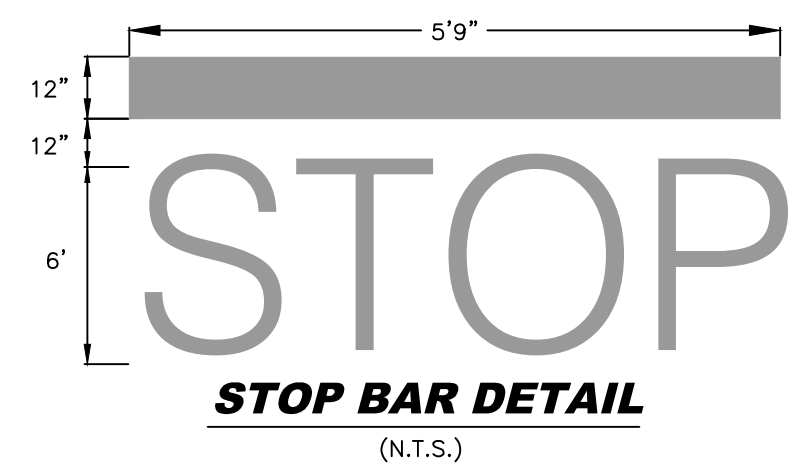
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N.J. - C of A #24GA27922000

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PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

Technical drawing of a Stop Sign Detail. The drawing shows a red octagonal stop sign with the word "STOP" in white. Below the sign is a "NO LEFT TURN SIGN" (MUTCD #R3-2) featuring a red circle with a diagonal slash and a black left-turn arrow. The signs are mounted on a "BLACK STEEL U-RAIL (TYP.)" which is 3'-6" high. The sign face is 3'-0" wide and 3'-0" high. The distance from the top of the sign face to the top of the U-rail is 6' MIN. The U-rail is mounted on a "12" DIA. 4000 PSI CONCRETE FOOTING" which is 3'-6" MIN. high. The drawing also indicates the "FINISH, SIZE AND SHAPE TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & N.J.D.O.T. REQUIREMENTS" and the "GRADE" level. The drawing is labeled "STOP SIGN DETAIL" and "(N.T.S.)".

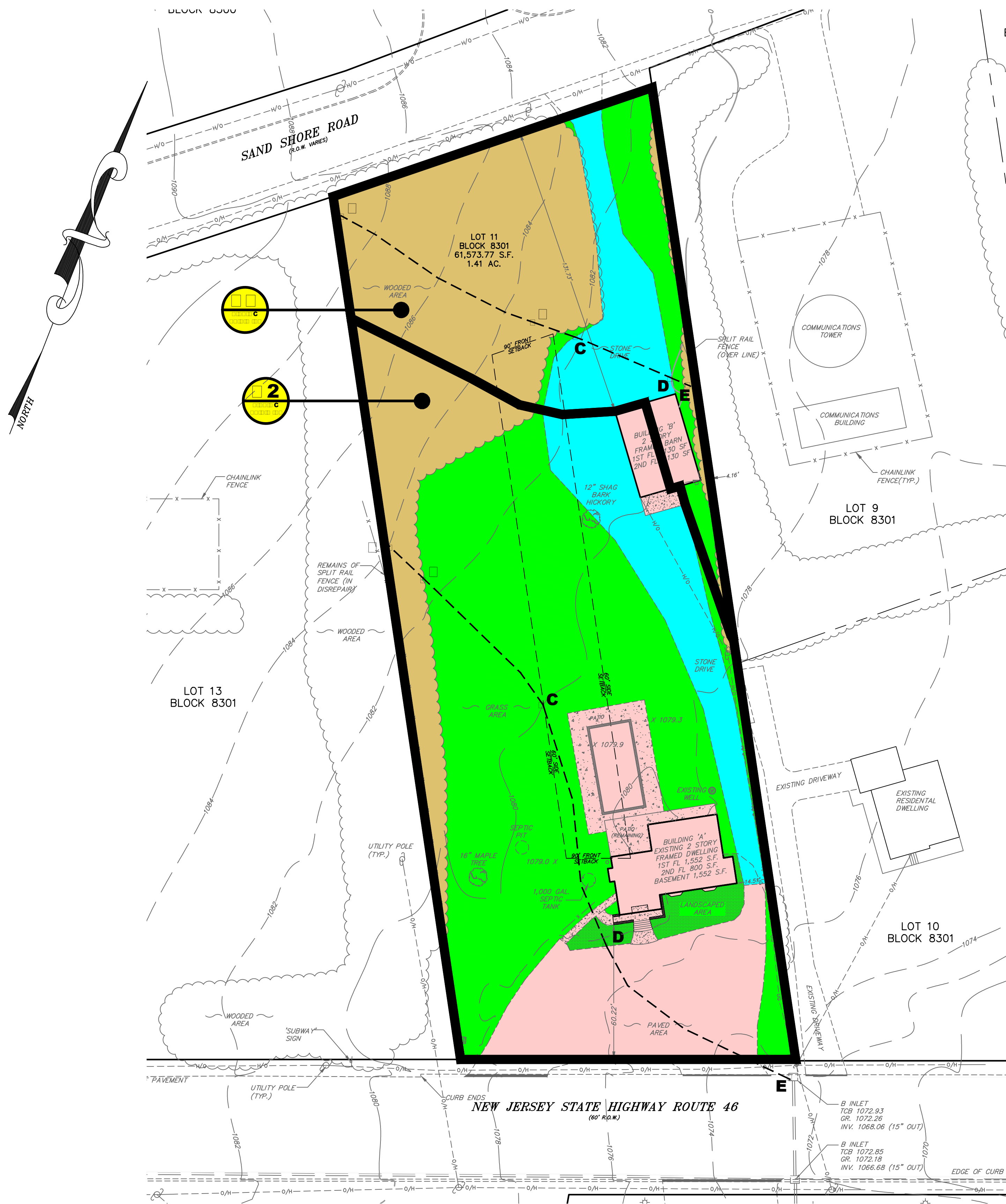


CONCRETE BOLLARD DETAIL
(N.T.S.)

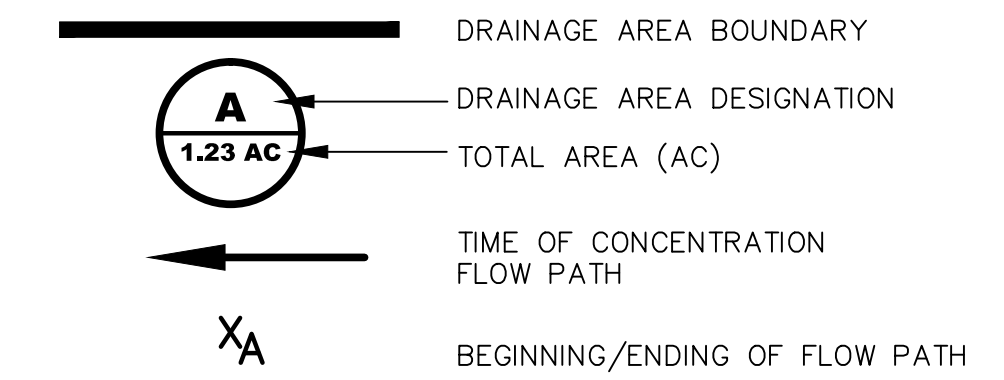


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				SHEET 14 OF 16	
				CONSTRUCTION DETAILS	
				FOR:	
				'GARDEN STATE GROUNDSKEEPING' LOT 11 BLOCK 8301	
				TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	
				Checked By: JG	Date: 4/27/22
				Drawn By: WBB	Project No: 6931



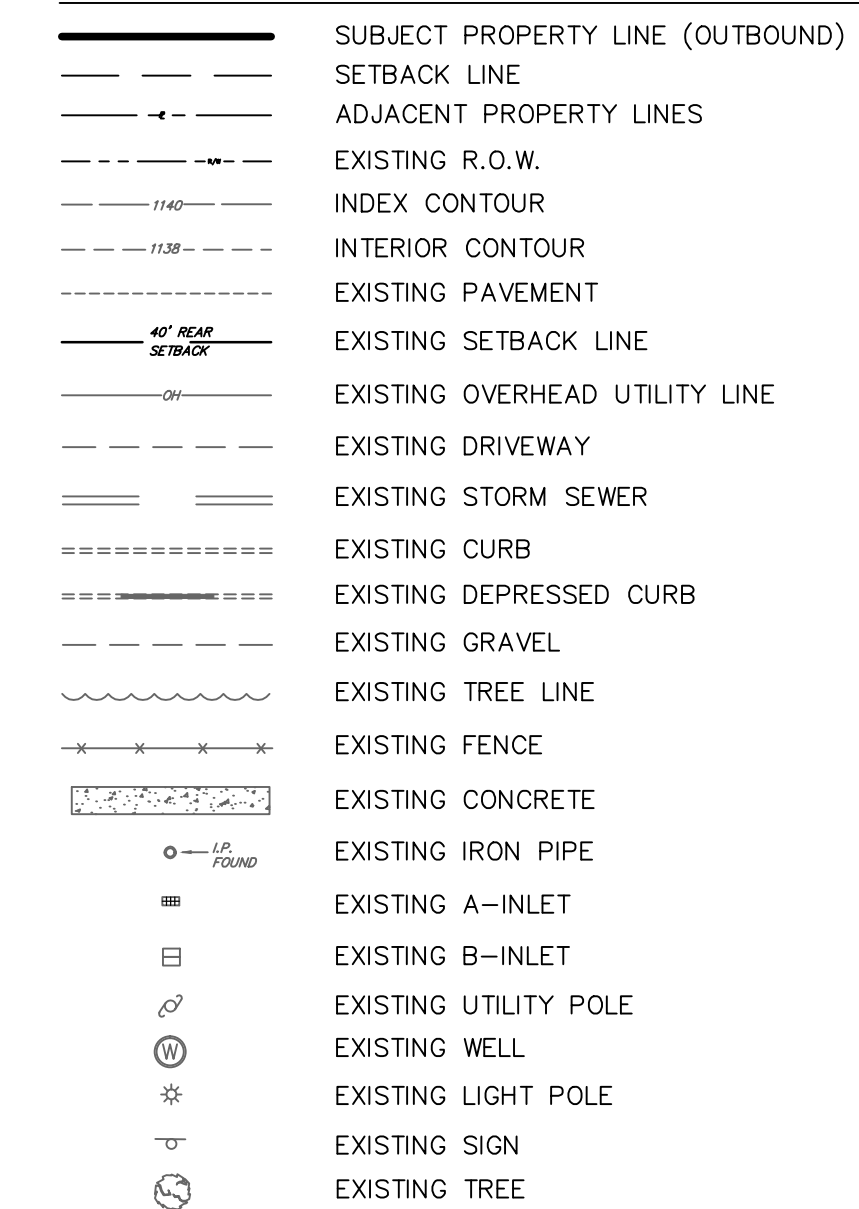
LEGEND:



PRE-DEVELOPMENT AREAS

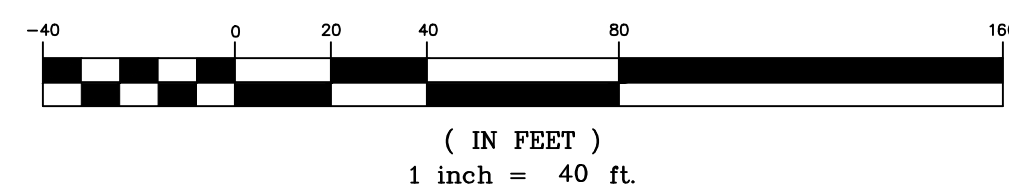
IMPERVIOUS (ROOF, PAVEMENT, PATIO, ETC.)	(12,507 S.F.) - 0.287 AC
WOODS	(16,755 S.F.) - 0.385 AC
GRASS	(24,198 S.F.) - 0.556 AC
GRAVEL	(8,114 S.F.) - 0.186 AC
TOTAL (61,574 S.F.) - 1.414 AC	

LEGEND:



PRE DEVELOPMENT DRAINAGE AREA PLAN

GRAPHIC SCALE



SHEET 15 OF 16

1.	UPDATE	WBB	7/27/22
Rev. No.	Description	By	Date

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

PRE DEVELOPMENT
DRAINAGE AREA PLAN
FOR:
'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

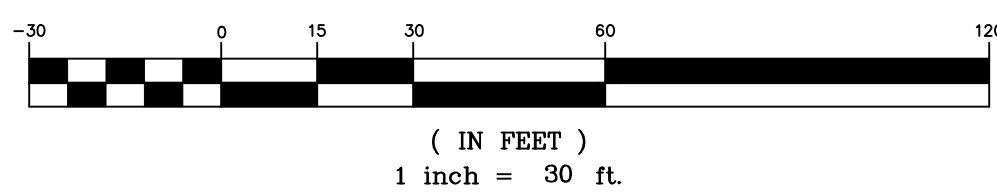
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

U:\3036 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 1\6831-16 Post Development Drainage Plan Rev 1.dwg PS: Civilinc.ctb

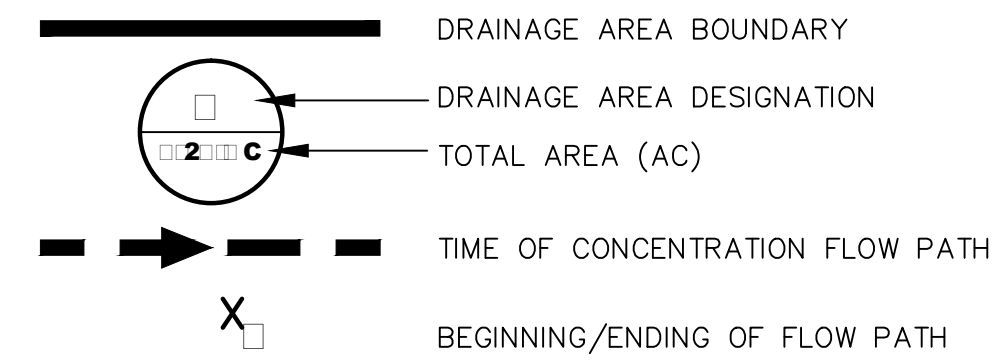


POST DEVELOPMENT DRAINAGE AREA PLAN

GRAPHIC SCALE



DRAINAGE AREAS LEGEND:



POST-DEVELOPMENT AREAS

IMPERVIOUS (ROOF, PAVEMENT, PATIO, ETC.)	(24,985 S.F.) - 0.574 AC
WOODS	(14,239 S.F.) - 0.327 AC
GRASS	(22,350 S.F.) - 0.513 AC
TOTAL (61,574 S.F.) - 1.414 AC	

LEGEND:

SUBJECT PROPERTY LINE (OUTBOUND)	EXISTING FENCE
ADJACENT PROPERTY LINES	PROPOSED FENCE
EXISTING R.O.W.	EXISTING CONCRETE
INDEX CONTOUR	PROPOSED CONCRETE
INTERIOR CONTOUR	PROPOSED PAVER PATIO
EXISTING PAVEMENT	PROPOSED PAVEMENT
PROPOSED PAVEMENT	EXISTING WELL
EXISTING SETBACK LINE	PROPOSED WELL
EXISTING OVERHEAD UTILITY LINE	EXISTING B-INLET
EXISTING UNDERGROUND UTILITY LINE	EXISTING UTILITY POLE
EXISTING DRIVEWAY	EXISTING LIGHT POLE
EXISTING STORM SEWER	EXISTING SIGN
EXISTING CURB	PROPOSED SIGN
EXISTING DEPRESSED CURB	PROPOSED PARKING SPACE (AUTOMOBILE)
PROPOSED SEPTIC	PROPOSED PARKING SPACE (TRAILER)
EXISTING TREE LINE	
PROPOSED TREE LINE	

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POST DEVELOPMENT
DRAINAGE AREA PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 4/27/22
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