PROPERTY OWNERS WITHIN 200 FT. MT. OLIVE TOWNSHIP PROPERTY LOCATION 30 INTERNATIONAL DR. SOUT O INTERNATIONAL DR SC 4100 4100 4100 111 GOLD MINE RD 07828 44 OLD BUDD LAKE RD 22 RINGENBACH LN 4100 19 RINGENBACH LN 4105 4400 4400

MOUNT OLIVE TOWNSHIP PO BOX 450 BUDD LAKE NJ 07828

PROPERTY OWNERS 200 FT LIST

List requested by:

Owner of Record:

Application No:

October 17, 2022

I do hereby certify that the attached property list of 14 parcels is complete to the best of my knowledge and belief and has been prepared from the most recent

Block 4100, Lot 10

NOTE TO APPLICANT: N.J.S.A.40:55D-12 may require service of notice of hearing on other interested parties in addition to property owners within 200 feet of the subject property. Please also notify the list of Utilities provided.

UTILITY COMPANIES HACKETTSOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKETTSTOWN, NI 07840 ATTN: BRUCE D. SMITH

NEW JERSEY NATURAL GAS 1415 WYCOFF ROAD WALL, NJ 07719 ATTN: R. ALBANESE COLUMBIA GAS TRANSMISSION CORP 1470 POORHOUSE ROAD **DOWNINGTON, PA 19335-342**

ATTN: BRUCE REYNOLDS MT. OLIVE TOWNSHIP. WATER & SEWER DEPARTMENT P.O. BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT. OLIVE, NJ 07828

N.J. DEPARTMENT OF TRANSPORTATION 1035 PARKWAY DR CN 600 TRENTON, NJ 08625 PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T6B **NEWARK, NJ 07102** NEW JERSEY - AMERICAN WATER CO. INC.

P.O. BOX 5627 CHERRY HILL, NEW JERSEY 08034 APPLIED WASTEWATER MANAGEMENT HILLSBOROUGH, NJ 08844

> MORRIS COUNTY PLANNING BOARD APPROVAL APPROVAL (PREVIOUSLY APPROVED) MORRIS COUNTY SOIL CONSERVATION DISTRICT CERTIFICATION (PREVIOUSLY APPROVED) NIDEP - FRESHWATER WETLANDS LETTER OF INTERPRETATION (PREVIOUSLY APPROVED) NIDEP - SANITARY DISRUPTION LANDFILL PERMIT (PREVIOUSLY APPROVED)

BULK REQUIREMENTS (COMBE

FILL NORTH REDEVELOPMENT

OVERLAY)

EXISTING PROPOSED

(101.235 AC)

1952' (AVG.)

50.40'

83.57'

347.02'

(101,235 AC

1952' (AVG.)

NONE

NONE

NONE

MOUNT OLIVE TOWNSHIP PLANNING BOARD AMENDED FINAL SITE PLAN APPROVAL

CFNRO

SOLAR FARM

NONE

NONE

NONE

* PER ORDINANCE 550-130C(8)(e) A DOUBLE ROW OF EVERGREEN TREES

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MOUNT OLIVE AT THE

DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

REGULAR MEETING OF _______DATE

ALONG GOLD MINE ROAD IS REQUIRED AS A BUFFER, A VARIANCE IS BEING

ZONE

MIN. LOT WIDTH

MIN. LOT FRONT YARD

MIN. REAR YARD

MAX. IMPERVIOUS

LOOR AREA RATIO

OFF-STREET PARKING/

PERMITS REQUIRED:

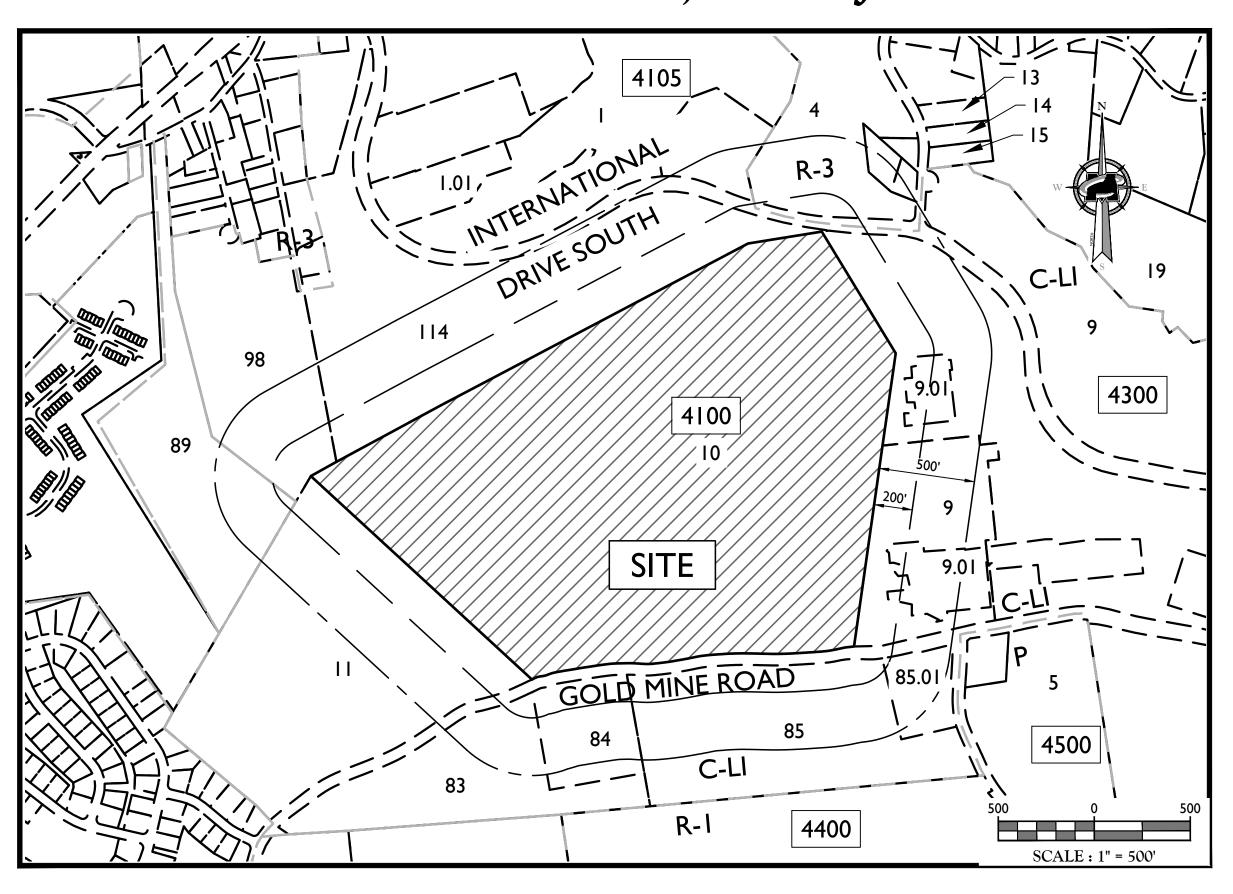
MIN. SIDE YARD SETBACK

3628C\Engineering\Site Plans\C-CVER-2022.dwg\C-01-CO\	INDEX OF SHEETS	
	SHT. No.	DESCRIPTION
	I	COVER SHEET
	2 - 6	EXISTING CONDITIONS AND SLOPE PLAN
	7 - 11	LAYOUT PLAN
9\19003628C	12-16	LANDSCAPING PLAN

AMENDED FINAL SITE PLAN

MOUNT OLIVE SOLAR FARM DEVELOPMENT BLOCK 4100, LOT 10

TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY



KEY & ZONING MAP

SOURCE: MOUNT OLIVE TOWNSHIP - ZONING MAP

ZONING LEGEND:

C-LI - COMMERCIAL - LIGHT INDUSTRIAL P - PUBLIC / CONSERVATION R-I - RESIDENTIAL - I DU / ACRE

R-3 - RESIDENTIAL - 3 DU / ACRE

__ _ ZONE BOUNDARY

_____ 500' RADIUS

COMPLETENESS WAIVERS WILL BE REQUESTED FOR THE FOLLOWING CHECKLIST ITEMS:

• EMISSION OF NOISE, GLARE, VIBRATION, HEAT, ODOR, AIR AND WATER POLLUTION

PLAN PREPARATION [550-29G] • THE FLOOD HAZARD AREAS BASED ON ONE HUNDRED-YEAR STORMS.

PLAN INFORMATION [550-29H(1)] BUILDING AND USE PLAN. THE SIZE, HEIGHT, LOCATION • ARRANGEMENTS AND USE OF ALL EXISTING AND PROPOSED STRUCTURES AND SIGNS • EXISTING AND PROPOSED TOTAL BUILDING COVERAGE IN ACRES OR SQUARE FOOTAGE • ARCHITECT'S SCALED ELEVATIONS OF THE FRONT, SIDE AND REAR OF ANY STRUCTURE AND SIGN TO BE ERECTED OR MODIFIED TO THE EXTENT NECESSARY TO APPRISE THE PLANNING BOARD OF THE SCOPE OF THE PROPOSED • THE PROPOSED NUMBER OF SHIFTS TO BE WORKED AND THE MAXIMUM EMPLOYEES ON EACH SHIFT • EXPECTED TRUCK AND TRACTOR-TRAILER TRAFFIC

• ANTICIPATED EXPANSION PLANS INCORPORATED IN THE BUILDING DESIGN • FLOOR PLANS SHALL BE SUBMITTED WHERE MULTIPLE DWELLING UNITS OR MORE THAN ONE USE ARE PROPOSED THAT HAVE DIFFERENT PARKING STANDARDS

CIRCULATION PLAN [550-29H(2)]

SAFFTY HAZARDS

ACCELERATION/DECELERATION LANES

• CURBS; CURB CUTS WITH RAMPS FOR HANDICAPPED PERSONS • INCLUDING THE DESIGNATED WIDER SPACES FOR THE HANDICAPPED LOADING BERTHS & DOCKS

• ALL RELATED FACILITIES FOR THE MOVEMENT AND STORAGE OF GOODS, VEHICLES AND PERSONS ON THE SITE • SIDEWALKS SHALL BE SHOWN FOR EACH ENTRANCE/EXIT ALONG EXPECTED PATHS OF PEDESTRIAN TRAVEL ACCESS TO PARKING LOTS, DRIVEWAYS, OTHER BUILDINGS ON THE SITE AND ACROSS COMMON YARD AREAS • PLANS SHALL BE ACCOMPANIED BY CROSS SECTIONS OF NEW STREETS, AISLES, LANES, DRIVEWAYS AND SIDEWALKS • ANY EXPANSION PLANS SHALL SHOW FEASIBLE PARKING & LOADING EXPANSION PLANS TO ACCOMPANY

LANDSCAPING & ENVIRONMENTAL PLAN [550-29H(3)] RETAINING WALLS

BUILDING EXPANSION

 RECREATION AREAS • A SEPARATE WRITTEN ENVIRONMENTAL IMPACT REPORT SHALL BE SUBMITTED WHICH SHALL COMPLY WITH THE ENVIRONMENTAL IMPACT REPORT SECTION OF THE CHAPTER^[1] AND ALL OTHER APPLICABLE ORDINANCES. THE MAXIMUM FEASIBLE AMOUNT OF TREES SHALL BE PRESERVED AND COORDINATED INTO THE LANDSCAPE TO

FACILITIES PLAN [550-29H(4)] OPEN SPACE (CONSERVATION, RECREATION AND COMMON)

MAINTAIN THE ECOLOGICAL BALANCE OF THE ENVIRONMENT

 COMMON PROPERTY SEWERAGE AND WATER LINE LOCATIONS

• SOLID WASTE COLLECTION AND DISPOSAL METHODS • INCLUDE PROPOSED GRADES, SIZES, CAPACITIES AND MATERIALS TO BE USED FOR FACILITIES INSTALLED BY THE • COPIES OF LEGAL DOCUMENTATION THAT SUPPORT THE GRANTING OF AN EASEMENT BY AN ADJOINING PROPERTY OWNER

 METHOD OF SANITARY WASTE DISPOSAL • ALL PROPOSED LIGHTING INCLUDING THE DIRECTION, ANGLE, HEIGHT AND REFLECTION OF EACH SOURCE OF • ALL UTILITIES SHALL BE INSTALLED UNDERGROUND

OUTSIDE AGENCY PLAN SUBMISSION [550-291] • NEW JERSEY OFFICE OF PLANNING ADVOCACY [AMENDED 10-28-2014 BY ORD. NO. 22-2014] • NEW JERSEY DEPARTMENT OF TRANSPORTATION: MAJOR ACCESS PERMITS

GENERAL INFORMATION

THE SUBJECT PROPERTY IS KNOWN AS LOT 10 IN BLOCK(S) 4100 AS SHOWN ON SHEET(S) 43 OF THE OFFICIAL TAX MAP OF THE TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ, DATED MAY, 1990 AND REVISED THROUGH SEPTEMBER, 1991. THE PROPERTY IS LOCATED IN THE CFNRO (COMBE FILL NORTH REDEVELOPMENT OVERLAY) ZONE AND CONTAINS A TOTAL TRACT AREA OF 4,409,808 SQ FT, 101.235 ACRES TO THE RIGHT-OF-WAY LINE AND 4,465,113 SQ FT, 102.505 ACRES TO

MT. OLIVE SOLAR FARM, LLC 20A SOUTH BEERS STREET

HOLMDEL, NJ 07733 PH: 732-335-5587 GOLD MINE ROAD SOLAR, LLC C/O CEP RENEWABLE, LLC 20A SOUTH BEERS STREET

. THE SUBJECT PROPERTY IS PRESENTLY OCCUPIED BY COMBE FILL NORTH LANDFILL. THE APPLICANT PROPOSES TO CONSTRÚCT A 25.7 MEGAWATTS DC (19.8 MW AC) GROUND MOUNTED SOLAR FARM INCLUDING 57,105± PANELS, FIVE (5) INVERTERS, ONE (I) SWITCHGEAR AND METERING POLES, ENCLOSED BY AN EXISTING SECURITY FENCE . BOUNDARY TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED AS-BUILT PLAN, SHEET I THROUGH 5 OF 5, DATED SEPTEMBER 19, 2022. PREPARED BY JEFFREY D BUNCE, P.L.S. LIC. NO. GS41045 OF NEW JERSEY,

. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO

. BENCHMARK REFERENCE: SEE SHEETS #8 & #11 FOR BENCHMARK LOCATION AND REFERENCE. . THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED ON MARCH 2020 BY MASER CONSULTING P.A. AND LOCATED ON MARCH 2020 BY MASER CONSULTING P.A. APPROVAL DATED 2/9/2021 , FILE: 1427-20-0004.1

. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP FOR THE

0005B, EFFECTIVE DATED MAY 15, 1985 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY

TOWNSHIP OF MOUNT OLIVE, COUNTY OF MORRIS, NJ, PANEL 4&5 OF 11, COMMUNITY PANEL NUMBER 340353 0004B & 340353

0. GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS ARE INCLUDED IN A REPORT ENTITLED "MAINTENANCE AND LAND SURFACE/ STORMWATER MANAGEMENT MANUAL" DATED JUNE 2020 PREPARED BY MASER CONSULTING P.A.. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO

EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.

A. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION", 2007; AS SUPPLEMENTED B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS

2. NO WATER SERVICE IS REQUIRED FOR THIS SITE. WATER WILL BE BROUGHT TO THE SITE FOR ANY PANEL CLEANING

13. SANITARY SEWER SERVICE IS NOT REQUIRED FOR THIS SITE 4. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER

D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

5. ALL PROPOSED UTILITIES, TELEPHONE, ELECTRIC, AND GAS LINES, IF REQUIRED, WILL BE INSTALLED UNDERGROUND, WITH THE EXCEPTION OF THE INTERCONNECTION TO J.C.P.L. POWER LINE. CROSSINGS OF THE PROPOSED PAVEMENT, IF REQUIRED. WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF THE PAVEMENT BASE COURSE.

6. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES. 7. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

18. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY 19. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADIACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.

.0. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SE OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.

21.EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.

22. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA, LOCAL AND STATE GOVERNING

23. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NIAC 5:23-2.21(e) OF THE NI UNIFORM CONSTRUCTION CODE

24. SOLAR PANEL LAYOUT, CONDUIT, AND STRING INVERTER LOCATIONS ARE SUBJECT TO CHANGE BASED ON FINAL SELECTION OF PANEL MANUFACTURER, INSTALLATION CONTRACTOR, AND FINAL PJM INTERCONNECTION AGREEMENT. 25. ALL SOLAR FACILITY COMPONENTS SHALL BE DESIGNED TO WITHSTAND A GROUND VELOCITY OF 90 MPH OR GREATER.

SUPPORTING DOCUMENTATION SHALL BE PROVIDED AT THE TIME OF BUILDING PERMITS. 26. ALL DEMOLITION AND DISPOSAL OF DEBRIS SHALL BE IN ACCORDANCE WITH NJDEP REGULATIONS AND ANY OTHER AGENCY HAVING JURISDICTION.

27.THE UNDERSIGNED PROFESSIONAL HAS NOT DETERMINED THE EXISTENCE OR NON-EXISTENCE OF TOXIC AND/OR REGULATED WASTE AND HAS NOT EVALUATED THE EXISTING ENVIRONMENTAL CONDITIONS OF THE EXISTING STRUCTURES. THEREFORE, IT SHOULD NOT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT BY THE FACT THAT NO EVIDENCE OF TOXIC AND/OR REGULATED WASTE IS PORTRAYED HEREON. PRIOR TO THE DEMOLITION AND REMOVAL OF ANY STRUCTURES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND/OR CONTRACTOR TO VERIFY THAT THE EXISTING STRUCTURES DO NOT CONTAIN TOXIC AND/OR REGULATED WASTE. ALL TOXIC AND/OR REGULATED WASTE FOUND SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

28.PROPOSED SOLAR FIELD WILL PRODUCE APPROXIMATELY 25.7 MWDC (19.8 MW AC) (57.105± PANELS) (BASED ON USING A CELL PANEL RATED 450 WATTS UNDER STC, SET AT 10° TILT). THE FINAL NUMBER OF PANELS AND ENERGY OUTPUT MAY VARY DEPENDING UPON THE FINAL SELECTION OF PANEL MANUFACTURER AND FIELD CONDITIONS. HOWEVER, THE AREA LIMITS OF THE SOLAR PANEL ARRAY FIELD AS DEFINED BY THE PERIMETER FENCE LINE SHALL REMAIN UNCHANGED.

29. THIS PLAN IS FOR PRESENTATION ONLY. COLLIERS ENGINEERING & DESIGN MAKES NO GUARANTEE AS TO THE FINAL DESIGN POWER OUTPUT OR YIELD BASED ON THE PROPOSED PHOTOVOLTAIC SYSTEM LAYOUT. MULTIPLE FACTORS, INCLUDING BUT NOT LIMITED TO, ON AND OFF-SITE SHADING, LOCAL MUNICIPAL APPROVALS, SITE CONDITIONS RELATED TO SOILS, SLOPES, WETLANDS, WATER BODIES, FLOOD PLAINS, ENVIRONMENTAL CONDITIONS, ARCHEOLOGICAL/HISTORIC DISCOVERIES, AVAILABILITY OF UTILITY SERVICES, PANEL DEGRADATION, SITE CONTAMINANTS AND FINAL TOPOGRAPHY AFFECT SYSTEM EFFICIENCY. MANY OF THESE FACTORS ARE BEYOND THE CONTROL OF THE CONSULTANT OF HAVE NOT BEEN EVALUATED IN THE PREPARATION OF THIS PLAN.

30. ALL TREES, STRUCTURES, AND BRUSH WITHIN THE SOLAR FACILITY LIMIT OF DISTURBANCE LIMITS SHALL BE REMOVED. NO STRUCTURES RELATING TO THE OPERATION OF THE LANDFILL ARE TO BE REMOVED, SUCH AS, METHANE VENTS, GROUNDWATER MONITORING WELLS, OR SWALES WITH THE EXCEPTION OF GROUNDWATER MONITORING WELLS MW-22, MW-23 AND MW-24, WHICH ARE TO BE DECOMMISSIONED.

BI. A KNOX PAD LOCK SHALL BE PROVIDED AT ALL GATES FOR SITE EMERGENCY ACCESS. THE DEPARTMENT'S BUREAU OF SITE MANAGEMENT (BSM) SHALL BE PROVIDED ACCESS TO ALL KNOX PAD LOCKS. IDENTIFICATION SIGNS WILL BE PROVIDED ON THE GATES INDICATING EMERGENCY CONTACT INFORMATION.

32. THE FOLLOWING PERMITS AND APPROVALS ARE REQUIRED: A. MT. OLIVE TOWNSHIP PLANNING BOARD AMENDED FINAL MAIOR SITE PLAN APPROVAL

B. MORRIS COUNTY PLANNING BOARD APPROVAL. (PREVIOUSLY APPROVED) MORRIS COUNTY SOIL CONSERVATION DISTRICT CERTIFICATION. (PREVIOUSLY APPROVED)

34. PROPOSED FACILITY WILL BE UNMANNED, AND OPERATE WITH REMOTE MONITORING.

D. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NIPDES STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITY (RFA), (PREVIOUSLY APPROVED) . NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR SANITARY LANDFILL DISRUPTION. (PREVIOUSLY

f. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FRESHWATER WETLANDS LETTER OF INTERPRETATION

33. ANY AREA OF THE SITE THAT DOES NOT SUPPORT GROUND COVER PARTICULARLY ANY PART OF THE UNPAVED PERIMETER ROADWAY, OR THE INTERIOR ACCESS AISLES, SHALL BE COVERED WITH STONE PER THE GRAVEL DRIVEWAY DETAIL, TO

35. ROUTINE FACILITY MAINTENANCE SCHEDULES AND INSPECTIONS WILL BE DETAILED IN A MAINTENANCE MANUAL PROVIDED TO THE TOWNSHIP, NIDEP'S BUREAU OF SOLID WASTE PERMITTING (BSWP), NIDEP'S BUREAU OF SITE MANAGEMENT (BSM), AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY (USEPA). ALL MAINTENANCE WILL OCCUR DURING DAYLIGHT HOURS EXCEPT FOR EMERGENCIES.

36. THE APPLICANT DOES NOT PROPOSE TO USE BATTERIES ON SITE TO STORE ENERGY. ALL ENERGY GENERATED WILL BE TIED 37. THE ONLY NOISE GENERATED FROM THE FACILITY WILL BE FROM THE INVERTER COOLING FANS. THE APPLICANT WILL

COMPLY WITH APPLICABLE NIDEP NOISE STANDARDS. 38. A DECOMMISSIONING PLAN HAS BEEN PROVIDED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PROVIDING FOR THE RESTORATION OF THE PROPERTY TO ITS PRIOR USE AT THE TIME OF CESSATION OF USE OF THE SOLAR FACILITY. THE DECOMMISSIONING PLAN SHALL ALSO BE PROVIDED TO NJDEP'S BUREAU OF SOLID WASTE PERMITTING (BSWP) AND NJDEP'S

BUREAU OF SITE MANAGEMENT (BSM) (PREVIOUSLY APPROVED).

39. NO SITE LIGHTING IS PROPOSED (EXCEPT SOLAR SECURITY LIGHTING).

40. SOLAR PANEL AREA, OPEN ACCESS AND BERM AREAS SHALL BE SEEDED WITH MEADOW MIX.

41. SOILS WILL ONLY BE DISTURBED FOR THE CONSTRUCTION OF THE CONCRETE PADS AND GRAVEL ROADWAYS. NO SOIL WILL BE REMOVED FROM THE SITE.

42.AN "AS-BUILT" PLAN SHOWING THE LOCATION OF THE SOLAR COMPONENTS, INCLUDING ALL UNDERGROUND WIRING AND CONDUITS SHALL BE PROVIDED TO THE TOWNSHIP'S PLANNING DEPARTMENT, TOWNSHIP ENGINEER, NJDEP'S BUREAU OF SOLID WASTE PERMITTING (BSWP) AND NIDEP'S BUREAU OF SITE MANAGEMENT (BSM) PRIOR TO A CERTIFICATION OF

43. AN "AS-BUILT" PLAN SHOWING ALL LANDSCAPING INCLUDING TREE LOCATIONS AND SPECIES SHALL BE PROVIDED TO THE TOWNSHIP'S PLANNING DEPARTMENT, TOWNSHIP ENGINEER, NJDEP'S BUREAU OF SOLID WASTE PERMITTING (BSWP) AND NJDEP'S BUREAU OF SITE MANAGEMENT (BSM).

44. VIDEO CAMERA MONITORING OF THE GATES AND FENCING DURING CONSTRUCTION AND UNTIL THE APPLICANT OBTAINS A CERTIFICATE OF APPROVAL, COMPLETION OR USE (WHICHEVER IS APPLICABLE) SHALL BE REQUIRED AND THAT THE APPLICANT SHALL BE REQUIRED TO MAINTAIN THE VIDEO CAMERA MONITORING SYSTEM AND PROVIDE COPIES OF THE VIDEO (OR DIGITAL IMAGES) IF REQUIRED BY THE TOWNSHIP POLICE DEPARTMENT AND NJDEP'S BUREAU OF SITE

45.MATERIAL SAFETY DATA SHEETS ("MSDS") FOR EACH COMPONENT OF THE SOLAR FACILITY (INCLUDING BUT NOT LIMITED TO THE SOLAR PANELS, INVERTERS, TRANSFORMERS, AND ELECTRICAL EQUIPMENT) SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER, NJDEP'S BUREAU OF SITE MANAGEMENT (BSM), AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY (USEPA). 46. THERE SHALL BE NO SITE GRADING OTHER THAN MINIMAL GRADING DEPICTED ON THE DEVELOPMENT PLANS.

47.A TRAINING SESSION ON THE OPERATIONS OF THE FACILITY WITH ALL EMERGENCY MANAGEMENT PERSONNEL WILL BE

SCHEDULED IMMEDIATELY AFTER STARTUP. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET. Colliers

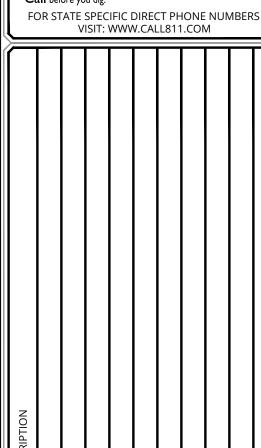
Engineering & Design

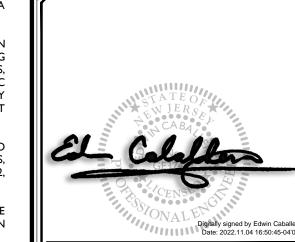
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Edwin Caballero IEW IERSEY LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: GE37447 COLLIERS ENGINEERING & DESIGN, INC. N.J. C.O.A. #: 24GA27986500

> AMENDED FINAL SITE PLAN

MOUNT OLIVE SOLAR FARM

> BLOCK 4100 LOT 10

MORRIS COUNTY **NEW JERSEY**

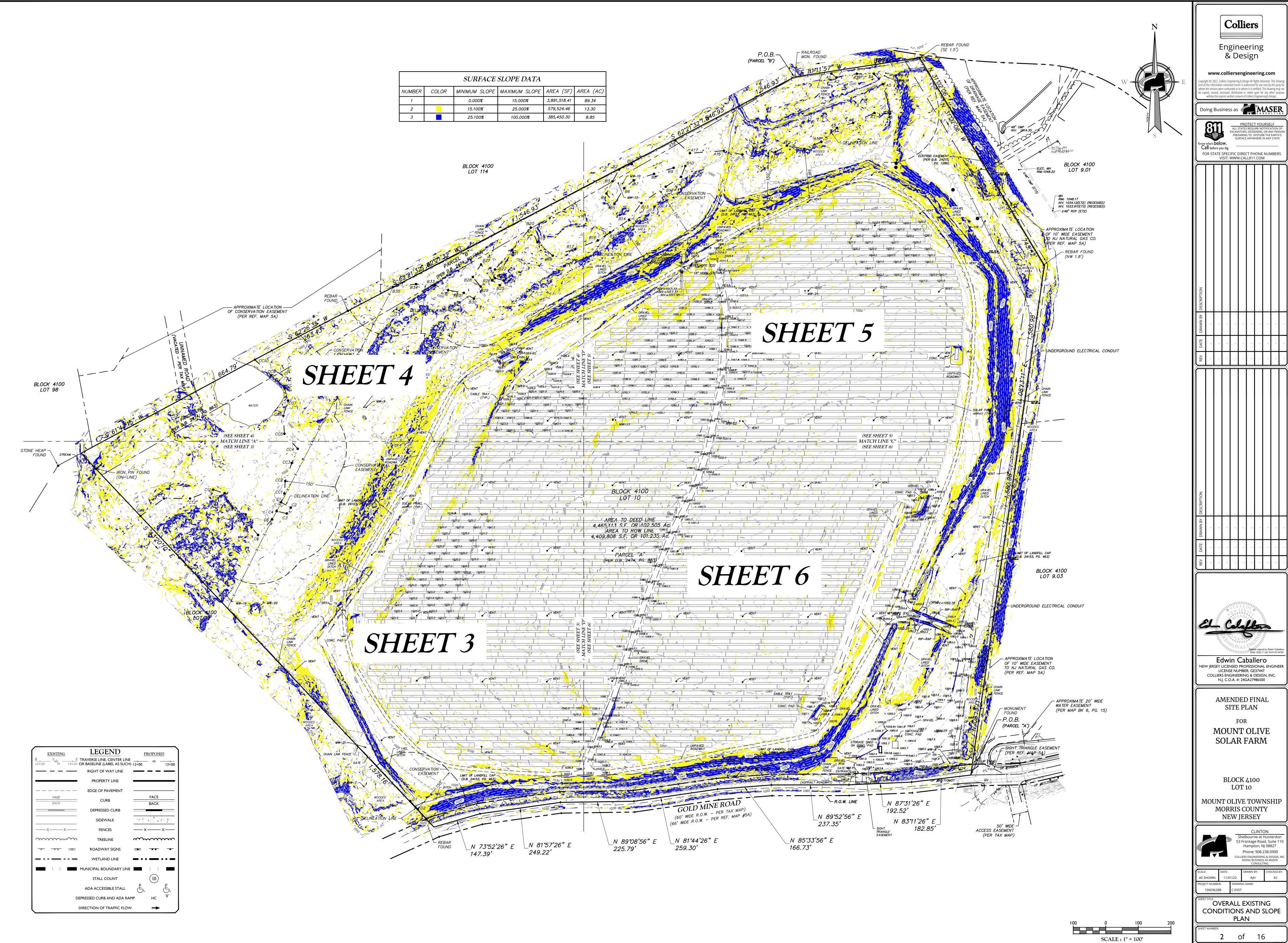
Shelbourne at Hunterdor 53 Frontage Road, Suite 110

Hampton, NJ 08827 Phone: 908.238.0900 DLLIERS ENGINEERING & DESIGN, IN

19003628B

COVER SHEET

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



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SITE PLAN

SOLAR FARM

BLOCK 4100

MOUNT OLIVE TOWNSHIP MORRIS COUNTY **NEW JERSEY**



Hampton, NJ 08827 Phone: 908.238.0900 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER

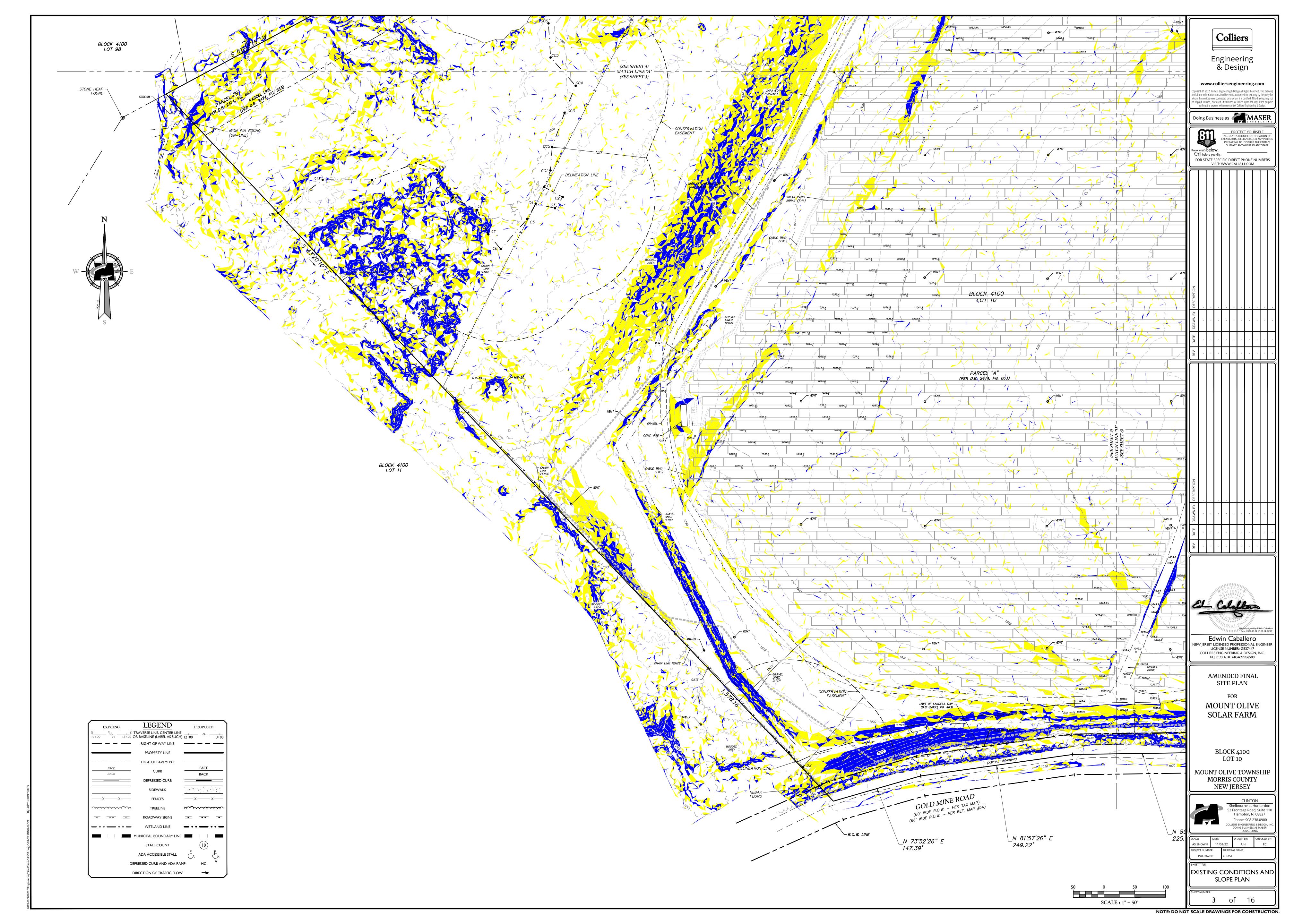
CONSULTING

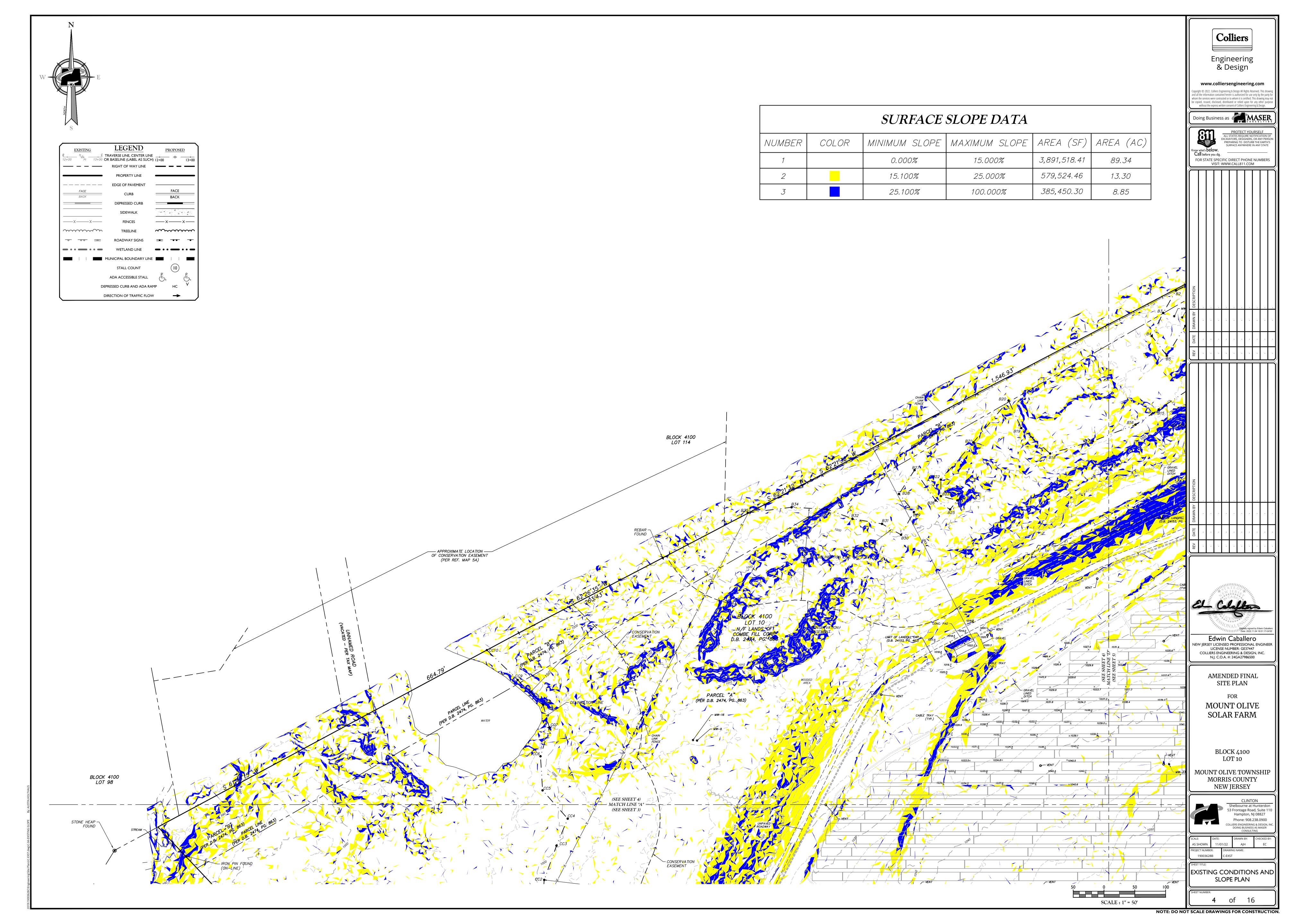
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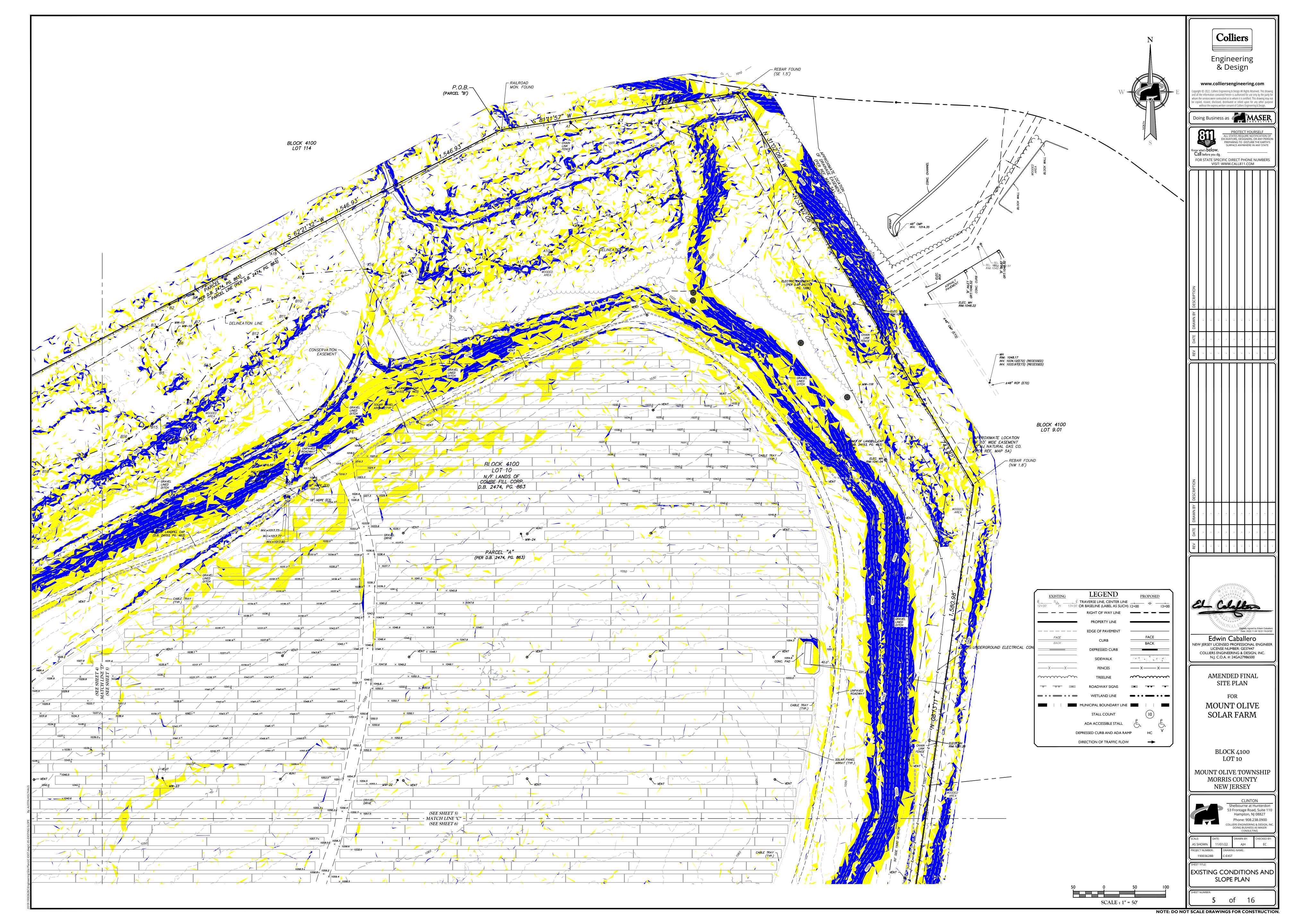
OVERALL EXISTING CONDITIONS AND SLOPE PLAN

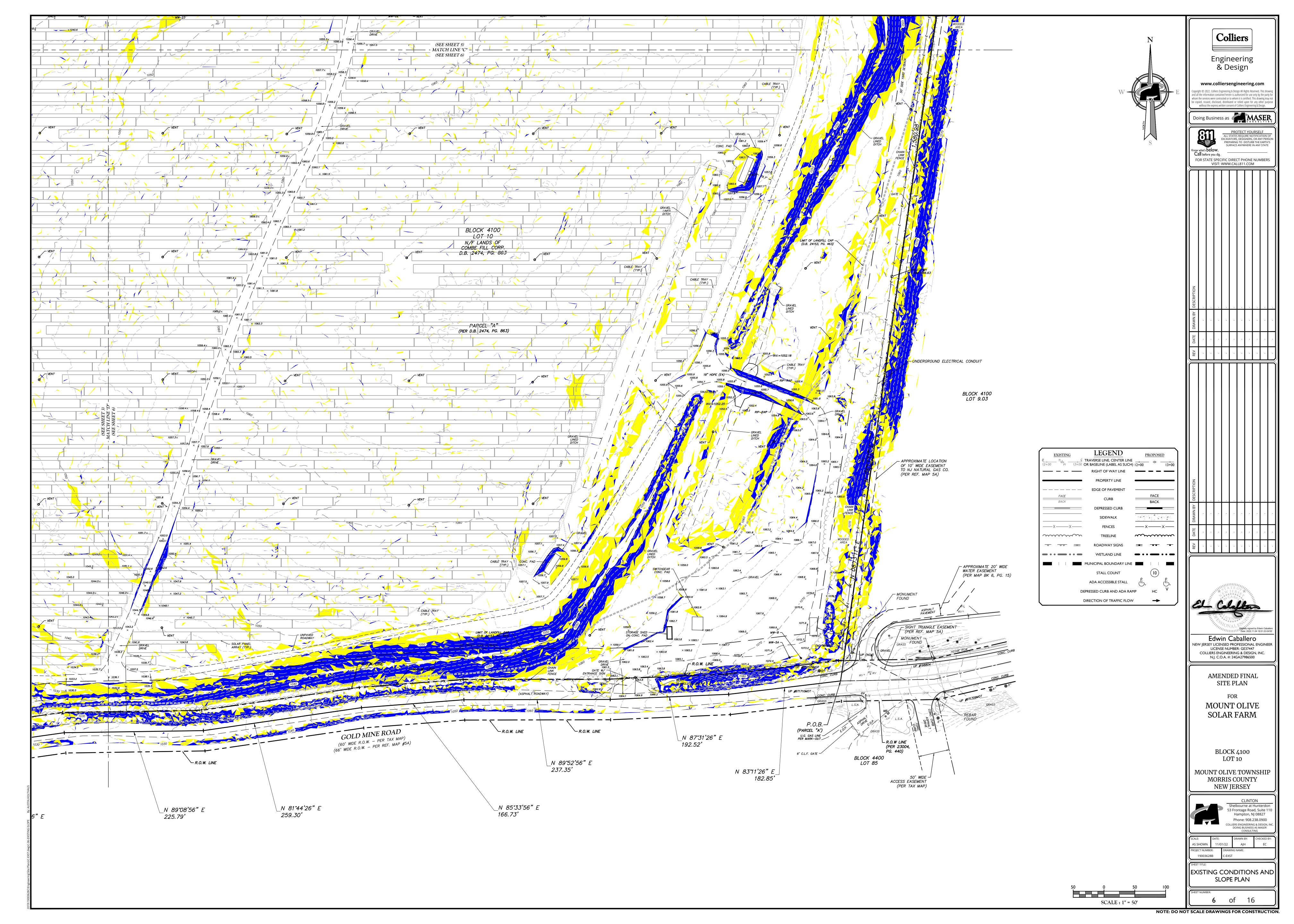
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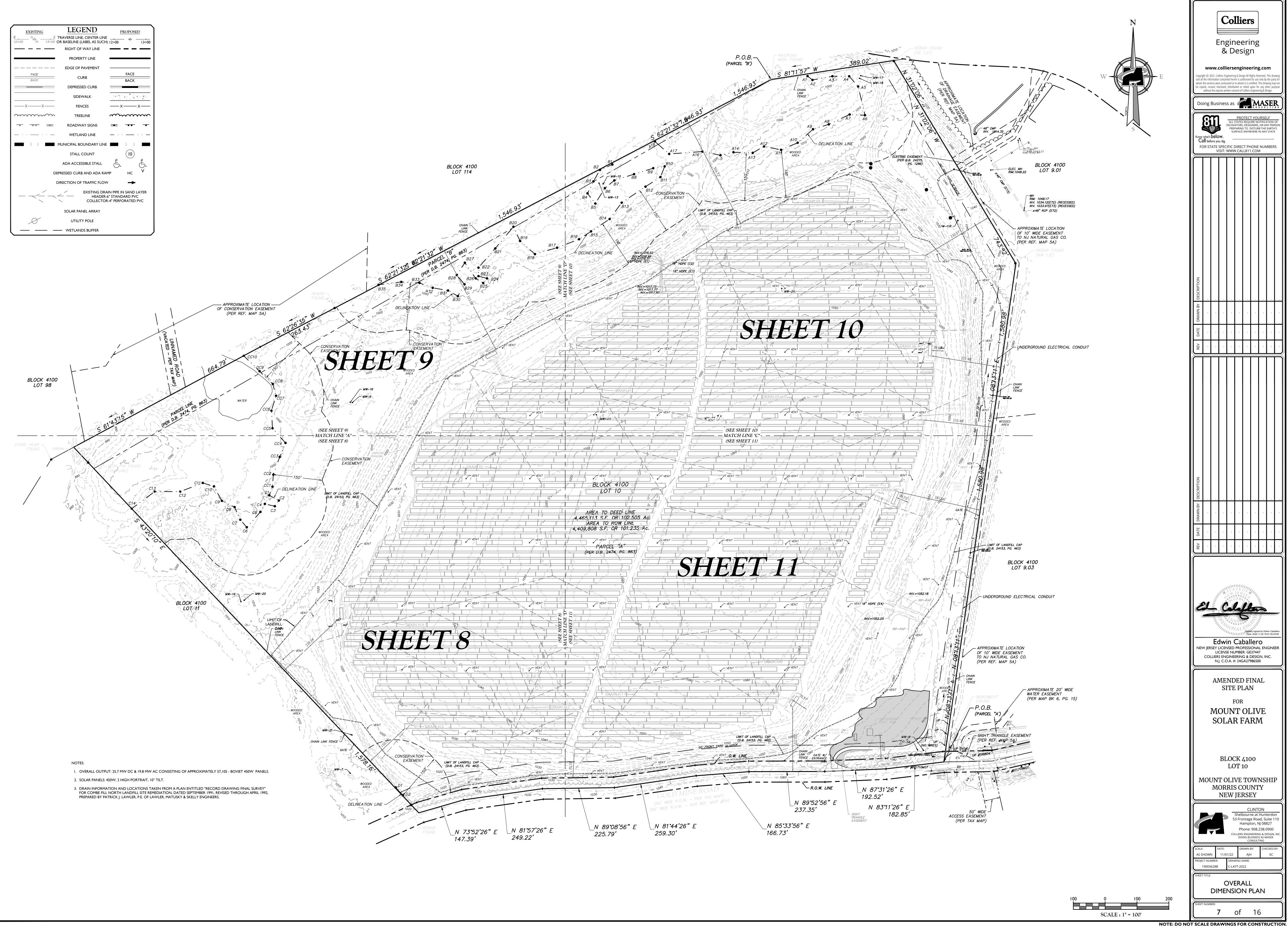
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



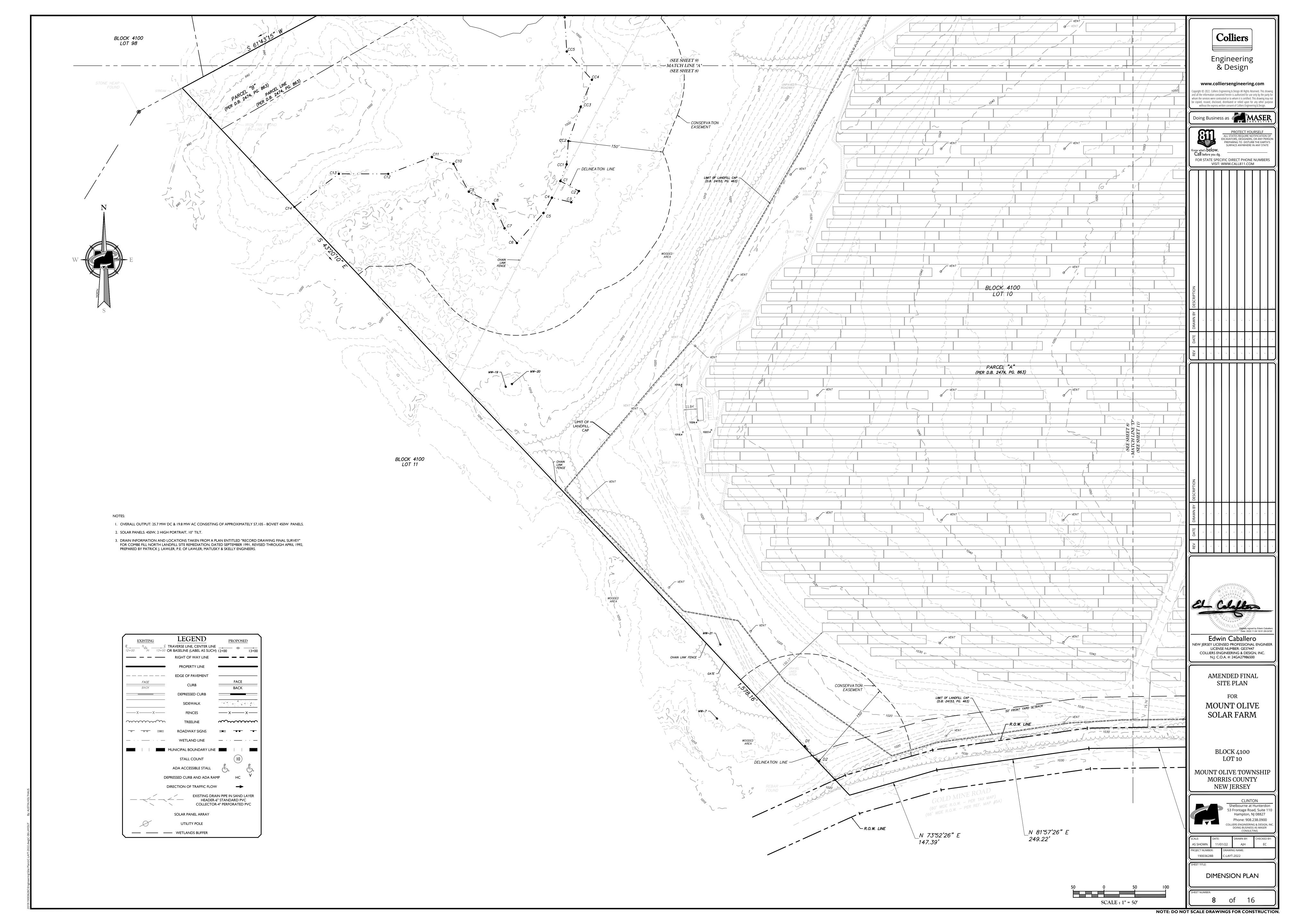


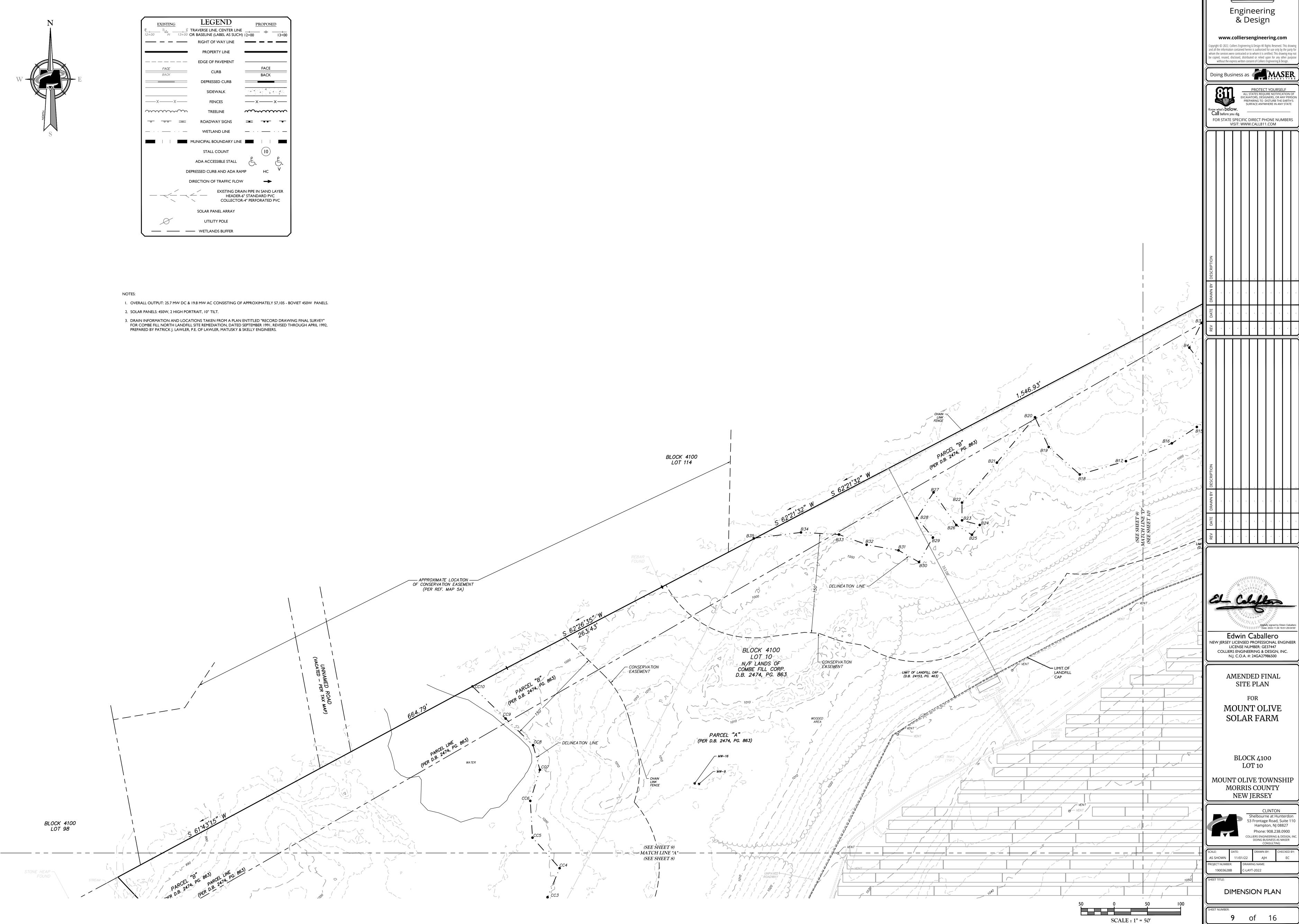






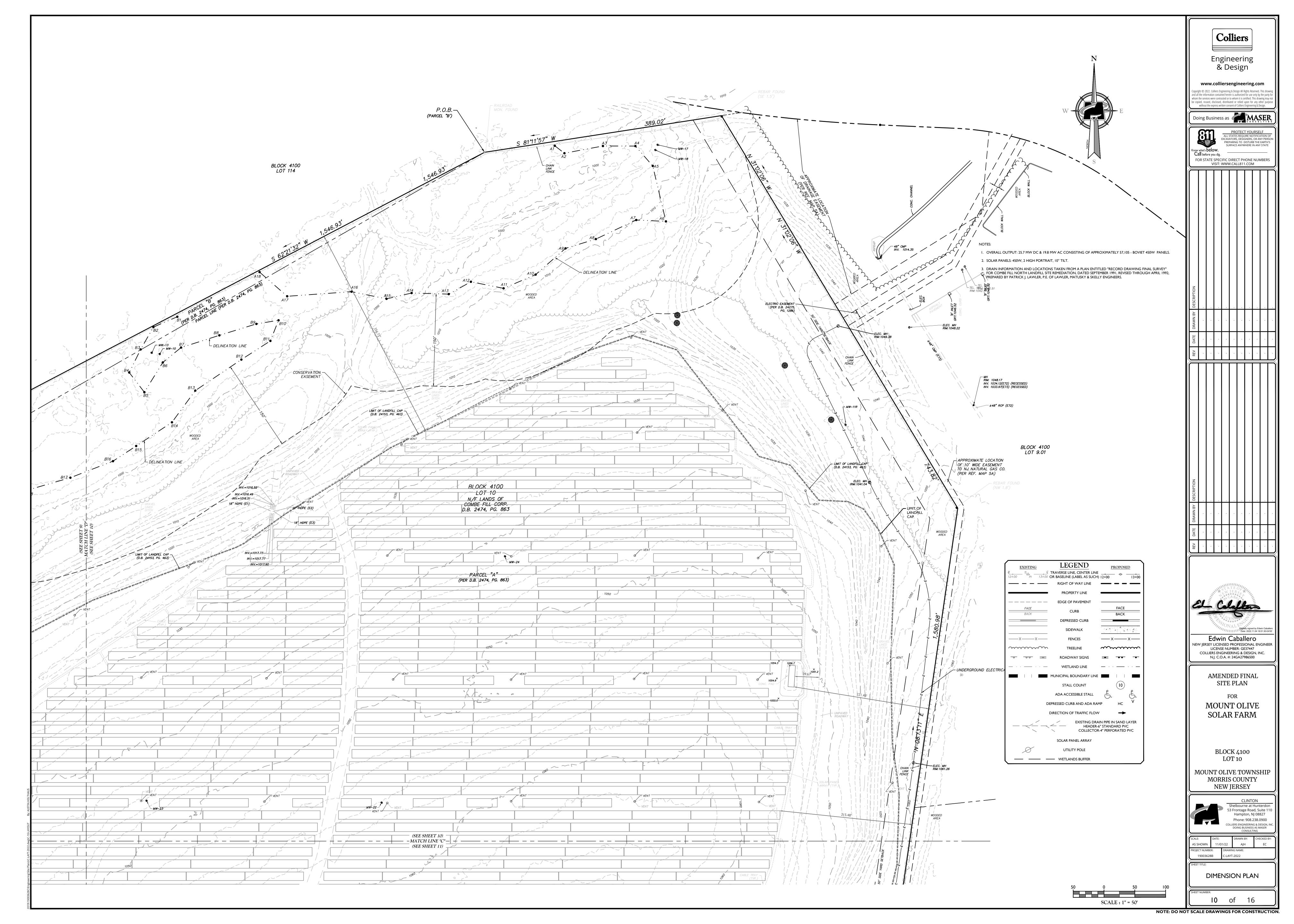
Phone: 908.238.0900 COLLIERS ENGINEERING & DESIGN, INC.

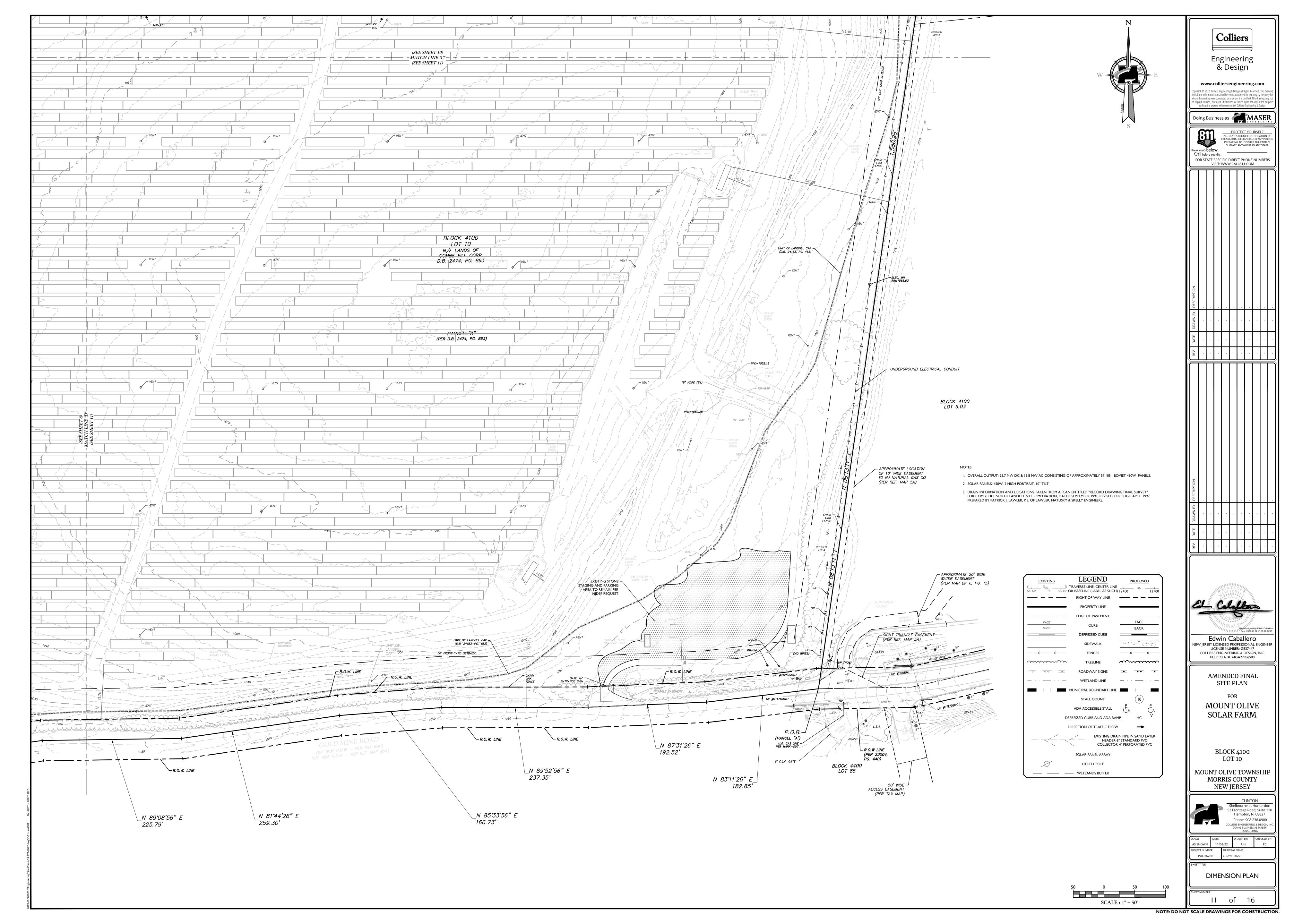


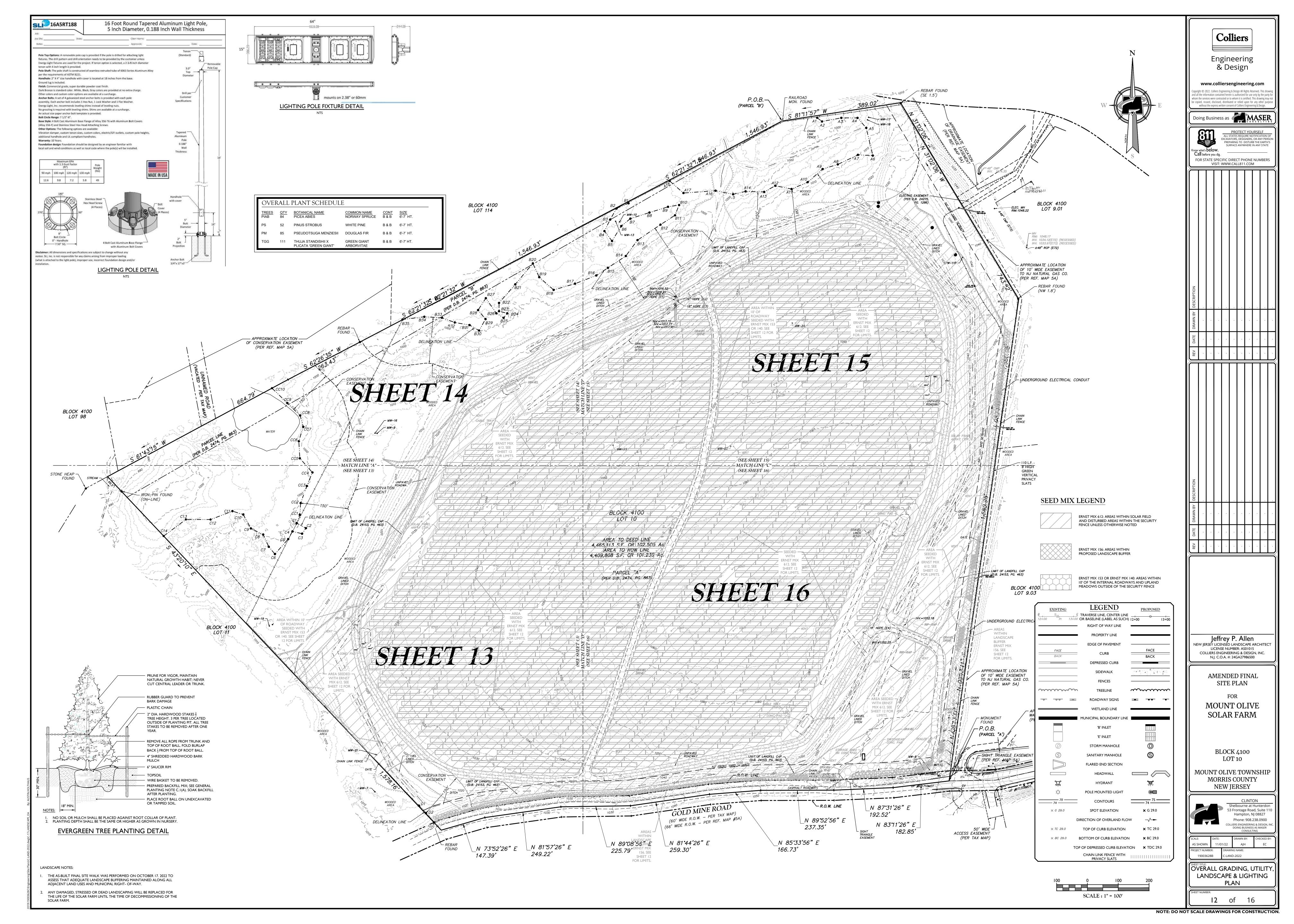


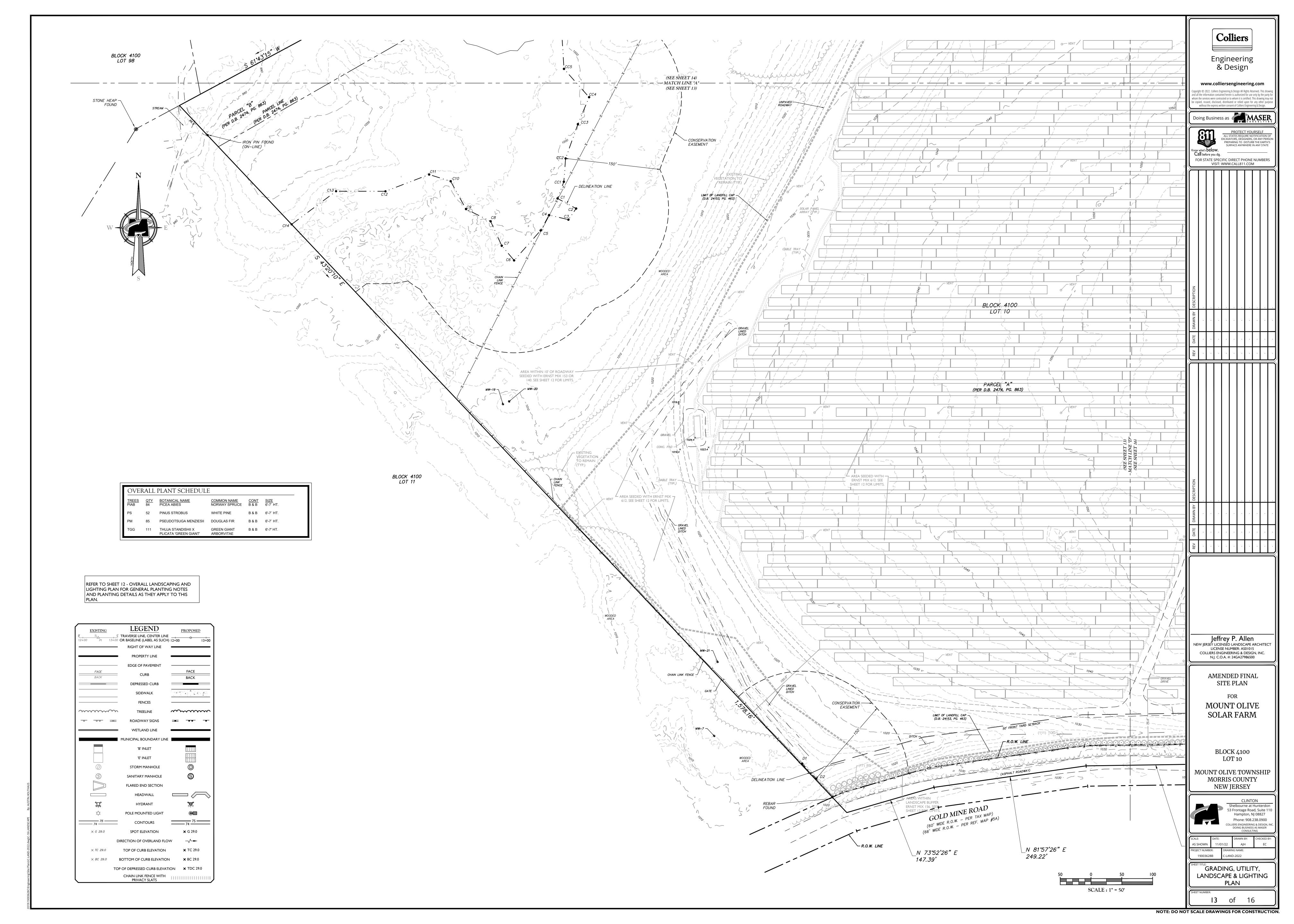
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

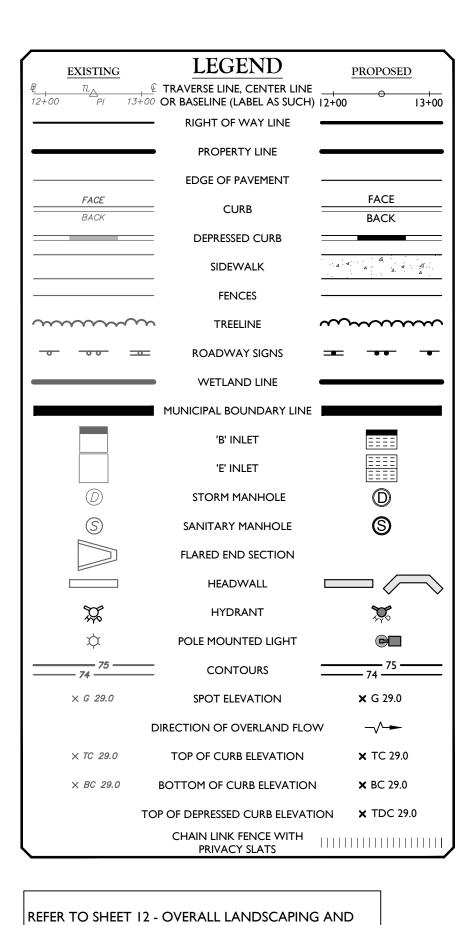
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LIGHTING PLAN FOR GENERAL PLANTING NOTES AND PLANTING DETAILS AS THEY APPLY TO THIS

BLOCK 4100 LOT 98

STONE HEAP — FOUND

OVERALL PLANT SCHEDULE PS 52 PINUS STROBUS WHITE PINE B & B 6'-7` HT. PM 85 PSEUDOTSUGA MENZIESII DOUGLAS FIR B & B 6'-7` HT. TGG 111 THUJA STANDISHII X GREEN GIANT B & B 6'-7' HT. PLICATA 'GREEN GIANT' ARBORVITAE

Doing Business as MASER PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE Know what's below.

Call before you dig. FOR STATE SPECIFIC DIRECT PHONE NUMBERS
VISIT: WWW.CALL811.COM BLOCK 4100 LOT 114 — APPROXIMATE LOCATION —— OF CONSERVATION EASEMENT (PER REF. MAP 5A) DELINEATION LINE -Jeffrey P. Allen
NEW JERSEY LICENSED LANDSCAPE ARCHITECT
LICENSE NUMBER: AS01015
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 24GA27986500 BLOCK 4100 LOT 10 N/F LANDS OF COMBE FILL CORP. D.B. 2474, PG. 863 CONSERVATION EASEMENT AMENDED FINAL SITE PLAN MOUNT OLIVE SOLAR FARM PARCEL "A" (PER D.B. 2474, PG. 863) BLOCK 4100 LOT 10 AREA SEEDED WITH — ERNST MIX 612. SEE SHEET 12 FOR LIMITS. MOUNT OLIVE TOWNSHIP MORRIS COUNTY **NEW JERSEY** CLINTON

Shelbourne at Hunterdon
53 Frontage Road, Suite 110
Hampton, NJ 08827 Phone: 908.238.0900 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING (SEE SHEET 14) — MATCH LINE "A" ——— (SEE SHEET 13) 19003628B CC4 GRADING, UTILITY, LANDSCAPE & LIGHTING PLAN

> I**4** of 16 NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

SCALE : 1" = 50'

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