

2-P-LETTER 220203 - NJRD Mount Olive DWG2-2 Site Plan (CVR-220203.dwg 01/20/23 02:33:17 PM, miker, LAYOUT SHEET 1)

OWNER/APPLICANT:

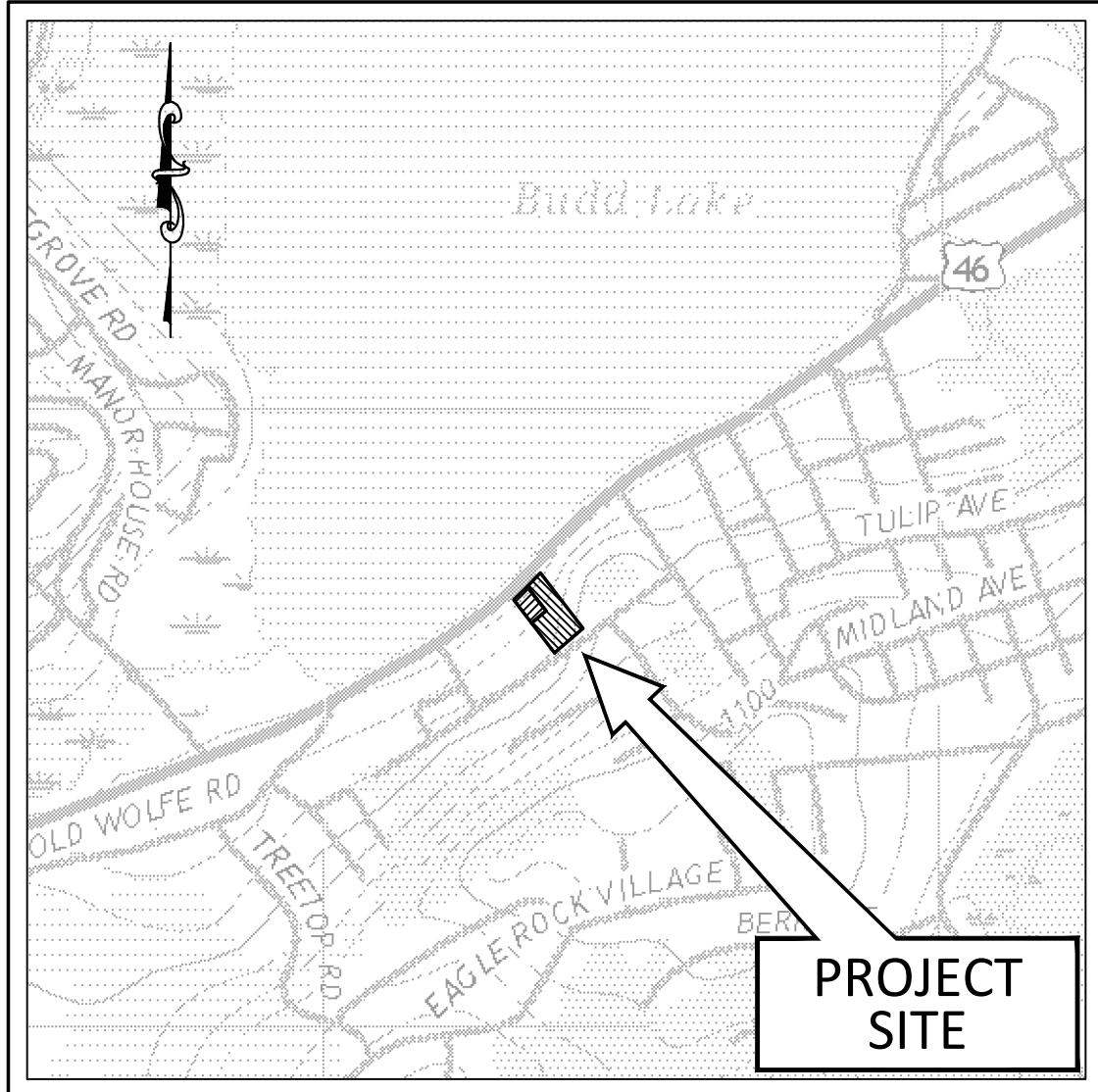
NJRD INVEST LLC
301 SQUAW TRAIL
ANDOVER, NJ 07821

INDEX OF SHEETS	
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PREPARATION PLAN / LAYOUT & DIMENSIONING PLAN
3	GRADING, UTILITY PLAN, AND SOIL EROSION & SEDIMENT CONTROL PLAN / LIGHTING PLAN
4 - 5	CONSTRUCTION DETAILS

GENERAL NOTES

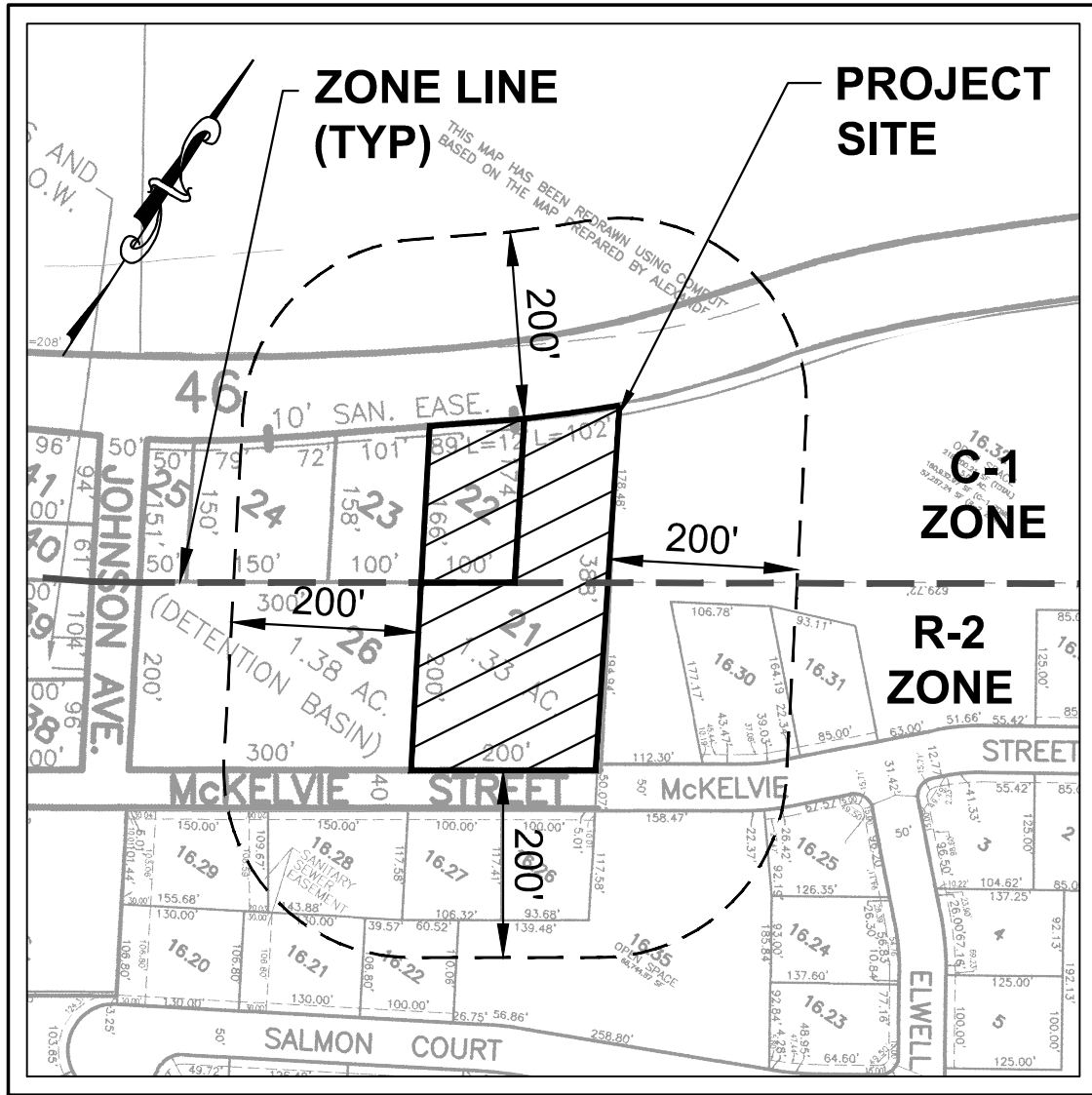
- BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM PLAN ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOTS 21 & 22 - BLOCK 7702, 325-327 U.S. ROUTE 46, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY" PREPARED BY LAKELAND SURVEYING DATED FEBRUARY 28, 2022. (VERTICAL DATUM IS NAVD83)
- REFER TO PLANS PREPARED BY BYRNE DESIGN ASSOCIATES, LLC FOR INFORMATION ON THE PROPOSED CHANGES TO EXISTING STRUCTURE.
- THE PROJECT SITE IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 34027C0251F WITH A REVISED PRELIMINARY DATE OF FEBRUARY 26, 2016.
- THIS PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT IF THE PROPOSED DISTURBANCE OF LAND SINCE FEBRUARY 2, 2004 IS LESS THAN ONE ACRE, THE PROPOSED REGULATED IMPERVIOUS SURFACE SINCE FEBRUARY 2, 2004 IS LESS THAN ONE-QUARTER ACRE AND THE PROPOSED REGULATED MOTOR VEHICLE SURFACE SINCE MARCH 2, 2021 IS LESS THAN ONE-QUARTER ACRE.
- THE SUBJECT PROPERTY IS IN THE HIGHLANDS PRESERVATION AREA AND IS DESIGNED TO QUALIFY FOR EXEMPTION #4 (RECONSTRUCTION OF BUILDING OR STRUCTURES WITHIN 125% OF THE FOOTPRINT). THE PROPOSED IMPERVIOUS SURFACES ARE WITHIN 125% OF THE EXISTING IMPERVIOUS SURFACES ON THE SITE (SEE COVERAGE TABLE) AND THE PROJECT DOES NOT INCREASE THE LAWFULLY EXISTING IMPERVIOUS SURFACE BY ONE-QUARTER ACRE OR MORE.
- THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION GEO-WEB MAPPING DOES NOT REVEAL ANY WETLANDS AND/OR WETLAND TRANSITION AREAS ON THE SUBJECT PROPERTY. THIS STATEMENT IS BASED ON THE NIDEP RESOURCE MAPPING AND DOES NOT QUALIFY AS A FORMAL INTERPRETATION OR WETLAND ABSENCE DETERMINATION.
- CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS REGARDING SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO SOIL CHARACTERISTICS, AS WELL AS DEPTH TO ROCK AND GROUNDWATER. THE DESIGN ENGINEER WAS NOT CONTRACTED TO MAKE ANY SUCH DETERMINATIONS.
- THE ENGINEER SIGNING THIS PLAN IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE PRESENCE OR ABSENCE OF CONTAMINATION OR OTHER ENVIRONMENTAL CONDITIONS ON THE SITE. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED BY THE FACT THAT NO EVIDENCE OF CONTAMINATION OR OTHER ENVIRONMENTAL CONDITIONS IS SHOWN ON THIS PLAN.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND BASED SOLELY UPON ABOVE GROUND OBSERVATIONS, MARK-OUTS AND/OR PLANS PROVIDED BY UTILITY COMPANIES. THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN REGARDING UNDERGROUND UTILITIES IS NOT GUARANTEED BY THE ENGINEER. CONNECTIONS BETWEEN STRUCTURES, IF AND WHERE SHOWN, MAY NOT REPRESENT ACTUAL BELOW GROUND CONDITIONS. CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR ORDERING MARK-OUTS, COORDINATION WITH THE VARIOUS UTILITY COMPANIES AND FOR MAKING THEIR OWN DETERMINATION AS TO THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION TO ASSURE DISTURBANCE AND/OR DISRUPTION OF EXISTING UTILITIES IS AVOIDED WHERE POSSIBLE AND MINIMIZED IN ALL CASES. AS THE EXACT ELEVATION OF EXISTING UTILITIES MAY BE UNKNOWN TO ENGINEER, CONTRACTOR IS ADVISED THAT THE POTENTIAL FOR CONFLICTS WITH PROPOSED WORK MAY EXIST. EXPLORATORY EXCAVATIONS, CONTRACT CONTINGENCIES OR EXCLUSIONS WITH OWNER SHOULD BE MADE TO ACCOMMODATE SUCH AN EVENT. IN THE EVENT THE CONTRACTOR IDENTIFIES A CONFLICT BETWEEN THE PROPOSED WORK AND EXISTING UTILITIES, THE CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE OWNER PRIOR TO ANY WORK BEING PERFORMED.
 - THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF THE EXISTING UTILITY TO WHICH CONNECTION IS BEING MADE BEFORE LAYING ANY PIPE, CONDUIT, ETC. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER.
 - ANY TEMPORARY INTERRUPTION OF SERVICE TO THE SITE AND/OR ADJACENT PROPERTIES SHALL BE PRE-APPROVED IN WRITING (EMAIL) BY THE RESPECTIVE UTILITY.
- ELECTRIC, TELEPHONE, CABLE TELEVISION AND ALL OTHER UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND AT LOCATIONS DETERMINED BY EACH RESPECTIVE UTILITY ENTITY, SUBJECT TO ANY REQUIRED MUNICIPAL APPROVALS, REGARDLESS OF WHETHER OR NOT THE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ALL UTILITY MAINS AND SERVICES WITH EACH UTILITY ENTITY AND PROVIDE WHATEVER CONSTRUCTION SUPPORT IS REQUIRED FOR ACHIEVING UTILITY SERVICE. THE CONTRACTOR IS ADVISED TO CONTACT EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION TO IDENTIFY AND COORDINATE ANY SCHEDULING REQUIREMENTS.
- SHOULD IT BE REQUIRED TO EXCAVATE ONE OR MORE TRENCHES IN EXISTING ROADWAYS, BACKFILLING AND PAVEMENT REPLACEMENT/REPAIR SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MUNICIPALITY OR COUNTY, AS APPLICABLE. VERIFICATION OF BACKFILL REQUIREMENTS SHALL BE MADE PRIOR TO BID.
- THE OWNER SHALL PROVIDE A COPY OF ALL PERMITS AND APPROVALS ISSUED FOR THE PROJECT TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND COMPLYING WITH THE TERMS AND CONDITIONS OF ALL PERMITS, APPROVALS AND AUTHORIZATIONS ISSUED BY THE VARIOUS REGULATORY AUTHORITIES FOR THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONFIRMING WITH THE ENGINEER THAT THE PERMITS AND APPROVALS PROVIDED BY THE OWNER IS COMPLETE. RESUBMISSIONS FOR ANY ADDITIONAL PERMITS REQUIRED AS CONSTRUCTION PROGRESSES, SUCH AS BUILDING PERMITS (INCLUDING BUILDING PERMITS FOR RETAINING WALLS) AND ROAD OPENING PERMITS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND OWNER.
- PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION ACTIVITY, THE CONTRACTOR SHALL COMPLETE THE FOLLOWING:
 - VERIFY THE PLANS CONTAIN THE RAISED SEAL OF THE ENGINEER AND DISPLAY THE LATEST REVISION AS "ISSUED FOR CONSTRUCTION." THE USE OF ANY OTHER PLANS IS AT THE CONTRACTOR'S RISK.
 - VERIFY THE INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE INFORMATION SHOWN ON ALL OTHER PLANS (ARCHITECTURAL, LANDSCAPING, ETC.) BEING USED FOR CONSTRUCTION OF THE PROJECT. ALSO, VERIFY THE PLANS ARE CONSISTENT WITH ALL CONDITIONS AND REQUIREMENTS SET FORTH IN THE PERMITS. REPORT ANY DISCREPANCIES/INCONSISTENCIES TO THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
 - DETERMINE ALL APPLICABLE SPECIFICATIONS, AS WELL AS ALL REQUIREMENTS FOR SHOP DRAWINGS, INSPECTIONS AND TESTING APPLICABLE TO PROJECT BY CONTACTING THE LOCAL BUILDING OFFICIAL, MUNICIPAL ENGINEER AND/OR AS-BUILT MAP. IN PARTICULAR, SHOULD NIDEP PERMITS APPLY TO ANY UTILITY CONSTRUCTION AND SHOULD THE PERMIT REQUIRE A CERTIFICATION OF THE WORK UPON COMPLETION, THE CONTRACTOR SHALL DETERMINE THE INDIVIDUAL RESPONSIBLE FOR PROVIDING THE CERTIFICATION. THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR COORDINATING WITH EACH INDIVIDUAL IDENTIFIED ON THE LIST AND SCHEDULING HIS WORK TO ASSURE EACH INDIVIDUAL HAS SUFFICIENT OPPORTUNITY TO CONDUCT THE REQUIRED TESTS, OBTAIN REQUIRED MEASUREMENTS AND/OR PERFORM ANY SERVICES OR WORK REQUIRED TO PREPARE THE REQUIRED POST-CONSTRUCTION APPROVAL DOCUMENTS.
- CONTRACTOR TO COORDINATE ALL WORK WITH ALL UTILITY COMPANIES AND/OR PUBLIC AGENCIES PROVIDING UTILITY SERVICE, AS APPLICABLE, AND ABIDE BY ALL OF THEIR REQUIREMENTS RELEVANT TO THE PERFORMANCE AND INSPECTION OF ALL WORK AFFECTING THEIR UTILITIES, INCLUDING COMPLYING WITH ANY AND ALL TESTING REQUIREMENTS. IN THE EVENT REQUIREMENTS OR SPECIFICATIONS OF THE UTILITY COMPANY OR PUBLIC AUTHORITY CONFLICT WITH THE PLANS, THE MUNICIPAL REQUIREMENTS SHALL GOVERN. IN SUCH CASE, THE CONTRACTOR SHALL ADVISE THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH ANY WORK.
- PRIOR TO ANY CONSTRUCTION, THE HORIZONTAL LIMITS OF THE WORK (LIMITS OF DISTURBANCE - LOD) SHALL BE ESTABLISHED AND SLIT FENCE IS BE INSTALLED. DISTURBANCE BEYOND THESE PERMITTED LIMITS EXPOSES THE CONTRACTOR TO FINES AND PENALTIES BY REGULATORY AGENCIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL SOIL CONSERVATION DISTRICT'S REQUIREMENTS. AS NOTED ON THE PLAN, THE LIMIT OF DISTURBANCE IS OVER 5,000 SQUARE FEET THEREFORE SECT CERTIFICATION IS REQUIRED. CONTRACTOR TO NOTIFY THE APPLICABLE SOIL CONSERVATION DISTRICT IN WRITING AT LEAST 72 HOURS PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR THEIR OWN VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION. SHOULD THERE BE ANY SUSPECTED DISCREPANCIES WITH THE TOPOGRAPHY DEPICTED ON THE PLANS AND ACTUAL PHYSICAL CONDITIONS, ANY CONFIRMED DISCREPANCY IDENTIFIED BY THE CONTRACTOR'S VERIFICATION SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO ANY SITE DISTURBANCE. ONCE ANY SITE DISTURBANCE OCCURS, THE CONTRACTOR SHALL HAVE NO CLAIM FOR EXTRA WORK BASED UPON SUSPECTED OR CONFIRMED TOPOGRAPHIC DISCREPANCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND FOR DETERMINING THE MEANS AND METHODS FOR ALL CONSTRUCTION ACTIVITIES. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.
- CONTRACTOR TO COMPLY WITH THE TRAFFIC CONTROL PLAN, IF PROVIDED. IF A TRAFFIC CONTROL PLAN IS NOT PROVIDED, THE CONTRACTOR SHALL DETERMINE AND COMPLY WITH ANY AND ALL TRAFFIC CONTROL REQUIREMENTS OF THE LOCAL POLICE DEPARTMENT AND ANY PUBLIC AGENCY HAVING JURISDICTION PRIOR TO ANY CONSTRUCTION IN OR NEAR PUBLIC STREETS AS WELL AS FOR INGRESS AND EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL SUCH TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN SATISFACTORY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL HDPE TO BE N-12 DOUBLE WALLED, (SOIL TIGHT, WATER TIGHT) CORRUGATED PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, OR APPROVED EQUAL. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE TO APPLICABLE MANUFACTURERS' SPECIFICATIONS.
- THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED WITH THE INTENT TO COMPLY WITH ALL APPLICABLE REQUIREMENTS FOR BARRIER FREE ACCESS, INCLUDING THE SATISFYING OF ALL REQUIREMENTS OF THE NEW JERSEY INTERNATIONAL BUILDING CODE, CHAPTER 11, AS WELL AS THE AMERICANS WITH DISABILITIES ACT (ADA). IN GENERAL, BARRIER FREE ACCESS FOR SITE CONSTRUCTION IS TO BE PROVIDED BETWEEN ALL PARKING SPACES DESIGNATED AS ADA AND THE FRONT DOOR OF ADJACENT BUILDINGS). HOWEVER, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE NOTES REQUIRED TO BE BARRIER FREE WITH THE LOCAL BUILDING CODE OFFICIAL. SHOULD ANY IDENTIFIED ROUTES CONFLICT WITH THE GRADING SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER FOR RESOLUTION PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETED CONSTRUCTION ALONG BARRIER FREE ROUTES COMPLYING WITH ALL APPLICABLE REQUIREMENTS OF NJIBC CHAP 11, WHETHER SPECIFICALLY STATED ON THE PLANS OR NOT. IN PARTICULAR, THE FOLLOWING REQUIREMENTS ARE NOTED:
 - SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT ACCESS AISLES SHALL NOT EXCEED TWO PERCENT (2.0%) IN ANY DIRECTION.
 - SLOPES FOR CURB RAMPS SHALL NOT EXCEED 1:12 (8.33%)
 - THE EXTERIOR SIDE OF ALL DOORWAYS AND BOTH SIDES OF ACCESSIBLE GATES SHALL HAVE A LANDING SLOPED FOR POSITIVE DRAINAGE AT TWO PERCENT (2.0%) MAX. FOR DOORS & GATES WITH A STRAIGHT APPROACH SIDEWALK, THE LANDING SHALL BE A MINIMUM OF 5' LONG BEFORE BREAKING GRADE TO A SLOPED SIDEWALK. THE WIDTH SHALL BE AS SHOWN ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN ARCHITECTURAL PLANS AND SITE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER FOR RESOLUTION OF THE DISCREPANCY PRIOR TO ANY CONSTRUCTION FOR THE LANDING OR ASSOCIATED WALKWAY. NOTE THAT THE WIDTH IS NOT NECESSARILY CENTERED ON THE DOOR OR GATE, AS MINIMUM CLEARANCES ARE REQUIRED ON THE HANDLE SIDE (OPPOSITE THE HANDLE SIDE). EACH BARRIER FREE ROUTE SHALL PROVIDE FOR A MINIMUM FOUR FOOT UNOBSTRUCTED OVERHANGS AT CURBS MUST BE CONSIDERED) WIDTH WITH A LONGITUDINAL (DIRECTION OF ROUTE) SLOPE NO GREATER THAN 1:20 (5%). CROSS SLOPE SHALL NOT EXCEED TWO PERCENT (2.0%). IN TURNING AREAS, CROSS SLOPE MUST BE LESS THAN 2.0 % IN ALL DIRECTIONS. WHERE SHOWN ON THE PLANS AND/OR WHERE THE GRADING ALONG THE PATH OF TRAVEL EXCEEDS 5%, A RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.33%) SHALL BE CONSTRUCTED, HAVING A MAXIMUM RISE OF 30 INCHES. HAND RAILS COMPLYING WITH NJIBC CHAP 11 REQUIREMENTS SHALL BE INSTALLED FOR ALL SUCH RAMPS, EXCEPT CURB RAMPS AT PAVEMENT EDGES.
 - REFER TO THE DETAIL SHEETS FOR LANDINGS AT CURB RAMPS. ALL OTHER RAMPS SHALL BE PROVIDED WITH LANDINGS AT EACH END AND EACH LANDING SHALL BE AT LEAST FIVE FEET LONG WITH A WIDTH MATCHING THE WIDTH OF THE RAMP. LANDINGS SHALL SLOPE NO MORE THAN TWO PERCENT (2.0%) IN ANY DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING ALL CONSTRUCTION ALONG BARRIER FREE ROUTES COMPLIES WITH ALL REQUIREMENTS PRIOR TO THE ACTUAL POURING OF CONCRETE ALONG BARRIER FREE ROUTES. THE CONTRACTOR SHALL CHECK ALL FORMWORK TO VERIFY COMPLIANCE WITH THE APPLICABLE BARRIER FREE REQUIREMENTS AND REQUEST CONFIRMATION OF SAME BY THE INSPECTING AUTHORITY.
- THE DETAILS SHOWN ON THESE PLANS FOR RETAINING WALLS AND HAVE BEEN PREPARED FOR THE PURPOSE OF SITE PLAN REVIEW AND APPROVAL AND ARE NOT FOR CONSTRUCTION. STRUCTURAL DESIGNS FOR ALL WALLS MUST BE PROCURED BY THE CONTRACTOR (OR OWNER) AND PREPARED BY AN ENGINEER LICENSED IN NEW JERSEY.
- A BUILDING PERMIT IS REQUIRED FOR ALL WALLS FOUR OR MORE FEET IN HEIGHT. CONTRACTOR (OR OWNER) IS RESPONSIBLE FOR SECURING SUD PERMITS(S). WALLS OVER FOUR (4) FEET IN HEIGHT NEED TO BE DESIGNED BY A LICENSED ENGINEER AND ARE SUBJECT TO REVIEW AND APPROVAL FROM THE TOWNSHIP BUILDING DEPARTMENT.
- BOTTOM OF WALL ELEVATIONS (BW) SHOWN ON THE PLANS INDICATE GROUND ELEVATION AT TOP OF WALL UPON COMPLETION OF CONSTRUCTION. FOOTING ELEVATIONS TO BE TAKEN FROM THE STRUCTURAL PLANS PROCURED BY THE CONTRACTOR (OR OWNER).
- IT IS NOT THE INTENT OF THESE PLANS TO PROVIDE STRUCTURAL DESIGN FOR ANY PRE-CAST OR CAST IN PLACE CONCRETE STRUCTURE. ALL STRUCTURAL DESIGN OF PRE-CAST AND/OR CAST-IN-PLACE CONCRETE STRUCTURES SHALL BE PREPARED BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR.
- POST-CONSTRUCTION CERTIFICATION AS TO THE CONSTRUCTION OF A RETAINING WALL OR OTHER STRUCTURAL COMPONENTS TO BE PROVIDED BY A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR (OR OWNER).
- THE APPLICANT SHALL FILE WITH THE LOCAL UTILITY COMPANIES FOR THE PROPOSED WATER, SANITARY SEWER, GAS, AND ELECTRIC CONNECTIONS PRIOR TO CONSTRUCTION.

USE VARIANCE AND PRELIMINARY & FINAL MAJOR SITE PLANS FOR 325 & 327 ROUTE 46 BLOCK 7702, LOTS 21 & 22 ZONE: C-1 (COMMERCIAL ZONE) & R-2 (RESIDENTIAL ZONE) TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY



(REFERENCE: CHESTER, TRANQUILITY, STANHOPE AND HACKETTSTOWN, NJ USGS MAPS 2019)

LOCATION MAP
SCALE: 1"= 1,000'



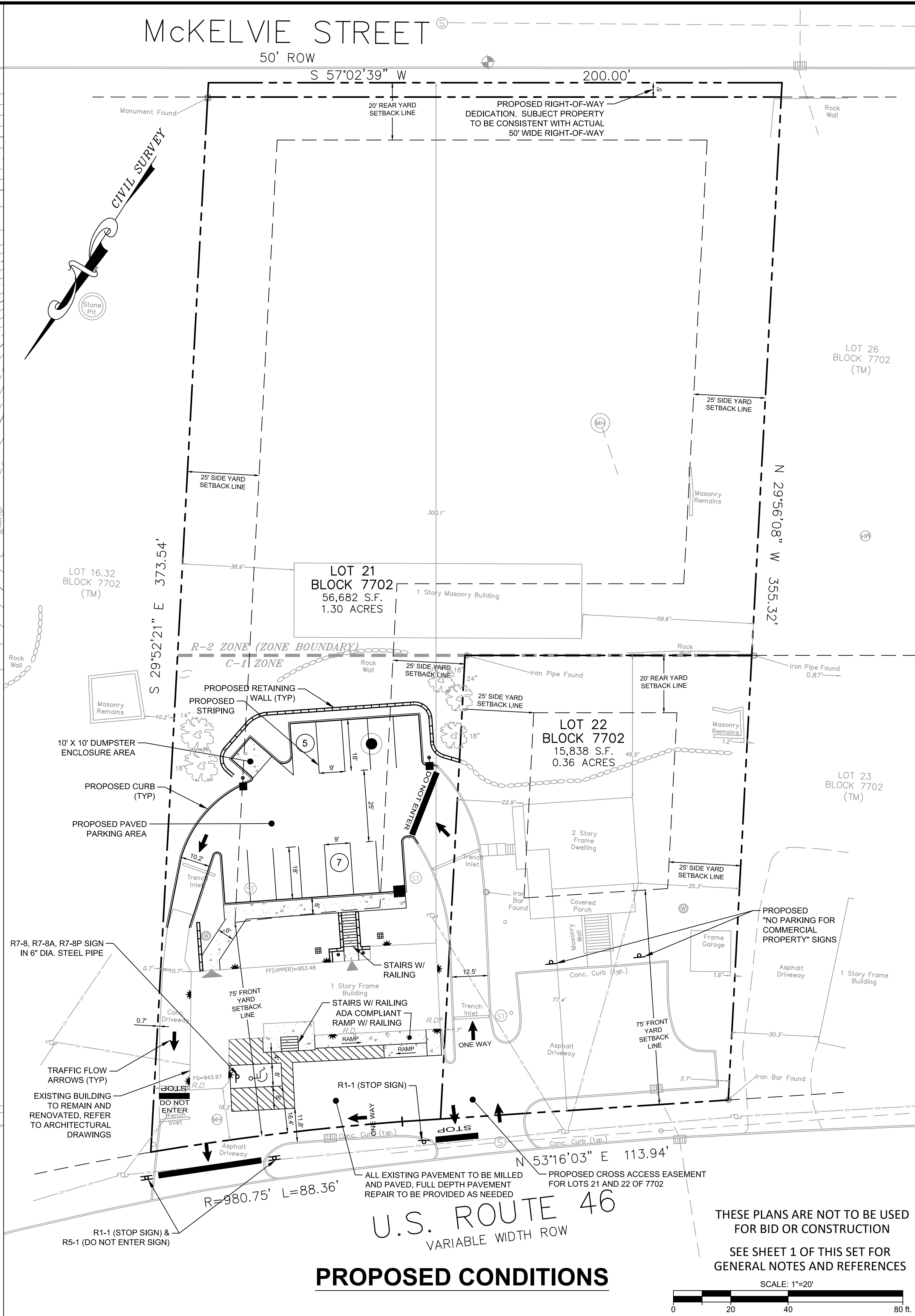
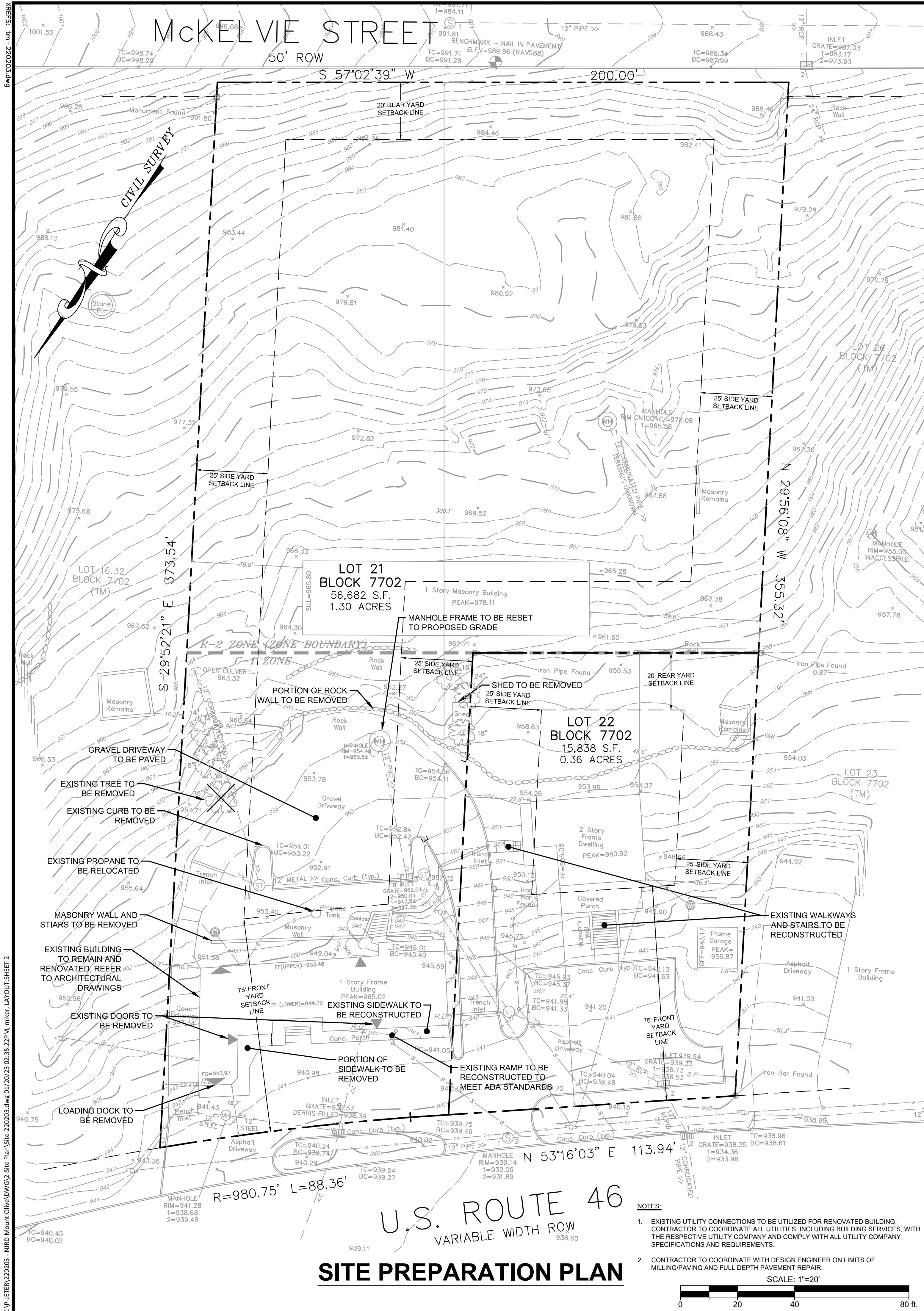
(REFERENCE: MOUNT OLIVE TOWNSHIP TAX MAP SHEETS 23, 24, 77 & 77.1)

ZONING MAP
SCALE: 1"= 200'

200' PROPERTY OWNERS LIST(LOT 21)

PAMS_PIN	Acres	Property Location	Owner Name	Mailing Address
1427_7702_25	261.0000	381 ROUTE 46	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.01	0.0300	17 SALMON CT	LAKE, VASHTI & BIA SOUTHS	15 SALMON CT BUDD LAKE, NJ 07828
1427_7702_26.02	0.0300	10 SALMON CT	MOHANTRA, RADEEP & PANDASWATHI	10 SALMON CT BUDD LAKE, NJ 07828
1427_7702_26.03	0.0300	10 SALMON CT	DEVIRES, NICOLE/DEVIRES	10 SALMON CT BUDD LAKE, NJ 07828
1427_7702_26.04	0.0300	10 SALMON CT	SHARMA, SHINDHA, SHIVAM/SHARMA, LATHA	10 SALMON CT BUDD LAKE, NJ 07828
1427_7702_26.05	0.0300	10 SALMON CT	KANAKY, SATISH V/SHARMA S	10 SALMON CT BUDD LAKE, NJ 07828
1427_7702_26.06	0.0300	21 ALBION ST	CHAI, KENNETH J/JOHNS R	21 ALBION ST BUDD LAKE, NJ 07828
1427_7702_26.07	0.0300	21 ALBION ST	ANIL, RESHMI & AAR N	21 ALBION ST BUDD LAKE, NJ 07828
1427_7702_26.08	0.0300	23 ALBION ST	CHAI, KENNETH J/JOHNS R	23 ALBION ST BUDD LAKE, NJ 07828
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1427_7702_26.67	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.68	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.69	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
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1427_7702_26.71	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.72	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.73	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
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1427_7702_26.82	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.83	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_26.84	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
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1427_7702_26.94	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
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1427_7702_26.99	0.0300	16 ALBION ST	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828
1427_7702_27	1.3900	DECEPTION BASIN A	MT OLIVE TOWNSHIP	PO BOX 450 BUDD LAKE, NJ 07828

Z:\P\ITEM\220203 - NIBD Mount Olive\DWG\3 Site Plan\Site-220203.dwg 01/20/23 02:35:22PM, miker, LAYOUT-SHEET 2



REV #	DATE	REVISION
3	01/20/23	PER CHANGE IN PROPOSED USE TO RETAIL PRINT SHOP & GRAPHIC DESIGN
2	07/15/22	PER REMOVAL OF PARKING SPACES ON RESIDENTIAL PROPERTY (LOT 22)
1	07/06/22	PER TOWNSHIP DIRECTOR OF PLANNING 06/30/22 REVIEW LETTER

MICHAEL J. ROTH
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24GE05262600
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW JERSEY ENGINEERING ACT AND THE RULES OF THE BOARD OF ENGINEERING EXAMINERS. NO PART OF THIS PLAN OR ANY PORTION IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ROTH ENGINEERING, LLC.

ROTH ENGINEERING
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USE VARIANCE AND PRELIMINARY & FINAL MAJOR SITE PLANS FOR 325 & 327 ROUTE 46

SITE PREPARATION PLAN / LAYOUT & DIMENSIONING PLAN
BLOCK 7702, LOTS 21 & 22
TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY

DATE: 05/24/22
PROJECT NO.: 220203
SHEET NO.: 2 OF 5

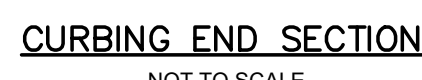


NOTES:

1. EXPANSION JOINTS SHALL BE FILLED WITH PREFORMED, BITUMINOUS IMPREGATED FIBER JOINT FILLER, RECESSED 1/4" FROM FACE AND TOP OF CURB.
2. EXPANSION JOINTS SHALL BE INSTALLED BETWEEN CURB AND INLET HEADS.
3. EXPANSION JOINTS SHALL ALTERNATE WITH CONSTRUCTION JOINTS EVERY 10' (SEE DETAIL ABOVE).
4. ALL JOINTS SHALL EXTEND FULL 16" DEPTH OF CURB.
5. EXPANSION JOINTS THROUGH AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.



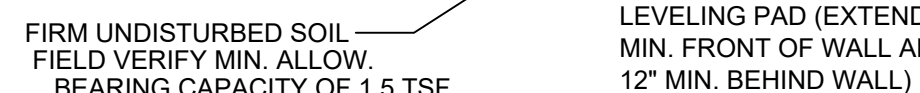
8"x 16" CONCRETE VERTICAL CURB



1. RAILS ARE REQUIRED ON BOTH SIDES OF RAMPS GREATER THAN 5", WITH A RISE GREATER THAN 6".
2. THE INSIDE HANDRAIL ON DOGLEG OR SWITCHBACK RAMPS SHALL BE CONTINUOUS.
3. IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12" BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE LANDING.
4. EDGE PROTECTION RAIL NOT REQUIRED IF A 4" HIGH EDGE PROTECTION CURB IS PROVIDED AT THE RAMP EDGES.
5. EDGE PROTECTION (RAIL OR CURB) NOT REQUIRED IF RAMP OR LANDING WIDTH EXTENDS 12" BEYOND FACE OF RAIL.
6. EDGE PROTECTION NOT REQUIRED ON LANDINGS HAVING A VERTICAL DROP-OFF OF 1/2" OR LESS WITHIN 10" HORIZONTAL OF THE MIN REQUIRED LANDING AREA.

ALUMINUM RAMP RAILING

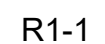
N.T.S.



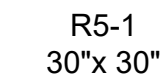
NOTES:

1. THIS DETAIL IS SCHEMATIC AND NOT FOR CONSTRUCTION. STABILITY CALCULATIONS PREPARED BY A.P.E. TO BE PROVIDED TO THE MUNICIPAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. FOR WALLS 30" OR HIGHER PROVIDE GUARD PER IBC 1015. STRUCTURAL ENGINEERED DRAWINGS TO BE PREPARED PRIOR TO CONSTRUCTION TO DETERMINE REQUIRED FENCING DEPTH BASED ON WALL DESIGN.
3. CONTRACTOR SHALL VERIFY THAT SELECTED WALL MANUFACTURER'S BATTER WILL NOT IMPACT DESIGN OF IMPROVEMENTS AT TOP OF WALL.

MODULAR RETAINING WALL DETAIL



STOP SIGN DETAIL



DO NOT ENTER
SIGN DETAIL



NOTES:

1. DEPTH OF FOOTING TO EXTEND BELOW FROST LINE (TYP).
2. REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM A615, GRADE 60 AND SHALL BE FIELD WIRED IN PLACE.
3. IF POLE IS WITHIN PARKING LOT OR WITHIN 2'-9" OF CURB. CONC. BASE FOUNDATION TO EXCEED 30" ABOVE GRADE, WITH RESULTING ADJUSTMENTS TO POLE HEIGHT.
4. THE COLOR OF THE POSTS AND HOUSING SHALL BE AS APPROVED BY OWNER AND IN CONFORMANCE WITH TOWNSHIP REGULATIONS.
5. THE HOUSING SHALL BE ONE PIECE DIE-FORMED ALUMINUM AND THE POST SHALL BE RECTANGULAR ALUMINUM TUBING.



THESE PLANS ARE NOT TO BE USED
FOR BID OR CONSTRUCTION

SEE SHEET 1 OF THIS SET FOR
GENERAL NOTES AND REFERENCES

	2	01/20/23	PER CHANGE IN PROPOSED USE TO RETAIL PRINT SHOP & GRAPHIC DESIGN
	1	07/06/22	PER TOWNSHIP DIRECTOR OF PLANNING 06/30/22 REVIEW LETTER
	REV #	DATE	REVISION

MICHAEL J. ROTH

MICHAEL J. RUIH

EW JERSEY LICENSE NO. 24GE05262600



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USE VARIANCE AND PRELIMINARY & FINAL MAJOR SITE PLANS FOR 325 & 327 ROUTE 46

CONSTRUCTION DETAILS

BLOCK 7702, LOTS 21 & 22
TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY

DATE: 05/24/22

PROJECT NO.: 220203

SHEET NO.:

4 OF 5

