

PRELIMINARY & FINAL SITE PLAN FOR

LOT 11 BLOCK 8301 "GARDEN STATE GROUNDSKEEPING"

SITUATED IN :
THE TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF LOT 11 BLOCK 8301

BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
8100	43	JOHNSON FAMILY HOLDINGS LLC 385 ROUTE 46 HACKETTSTOWN, NJ 07840	8300	7 C010	MANAGED BUSINESS LLC 430 SAND SHORE RD HACKETTSTOWN, NJ 07840
8100	44	CALLAREM LINCOLN-MERCURY INC 379 ROUTE 46 HACKETTSTOWN, NJ 07840	8300	8	SAND SHORE INDUSTRIAL COMPLEX J LYNCH 421 WEST MAIN ST BOONTON, NJ 07005
8300	7 C001	FITZGERALD, GERALD W. & YOLANDE 430 SANDSHORE RD HACKETTSTOWN, NJ 07840	8300	9	ENTERPRISE PARK INC. R. HUESTON 285 COLUMBIA TPK. SITE 207 FLORHAM PARK, NJ 07832
8300	7 C002	CUMMINS, JAMES 699 MADISON AVE NEW YORK, NY 10021	8301	10	GLADISH, ROBERT 482 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C003	UNIT 3 INC. MUSEUM STORE PRODUCTS 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	11	ELEVENTH HR ANML RESC ATTN R KEYSER 482 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C004	UNIT FOUR/FIVE INC W HUNTLY 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	13	VARETTONI, JULIAN B 486 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C006	CUMMINS, JAMES JR 699 MADISON AVE NEW YORK, NY 10021	8301	6	MCCORT PROPERTIES LLC 480 ROUTE 46 HACKETTSTOWN, NJ 07840
8300	7 C007	PROPERTY ONE MANAGEMENT LLC 430 SAND SHORE RD HACKETTSTOWN, NJ 07840	8301	8	JENC PROPERTIES LLC 433 SAND SHORE RD HACKETTSTOWN, NJ 07840
8300	7 C008	ADK MOUNT OLIVE LLC 8 MANEE PL HOLMDEL, NJ 07733	8301	9	TIONE, LAWRENCE J. JR PO BOX 1000 HACKETTSTOWN, NJ 07840
8300	7 C009	JAMES CUMMINS FINE ART INC 699 MADISON AVE NEW YORK, NY 10021			

UTILITIES

BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKETTSTOWN, NJ 07840	MT. OLIVE TOWNSHIP, WATER & SEWER DEPT. P.O. BOX 450 204 PLAINERS--DRAKESTOWN RD. MT. OLIVE, NJ 07828	NEW JERSEY - AMERICAN WATER CO., INC. P.O. BOX 5627 CHERRY HILL, NJ 08034
R. ALBANESE NEW JERSEY NATURAL GAS 1415 WHIFFOFF ROAD WALL, NJ 07719	N.J. DEPT. OF TRANSPORTATION 1035 PARKWAY DRIVE, CN 600 TRENTON, NJ 08625	APPLIED WASTEWATER MANAGEMENT 2 CLERICO LANE HILLSBOROUGH, NJ 08844
BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP. 1470 FORBHOUSE ROAD DOWNTOWNTOWN, PA 19335-3642	PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 07102	

SHEET INDEX

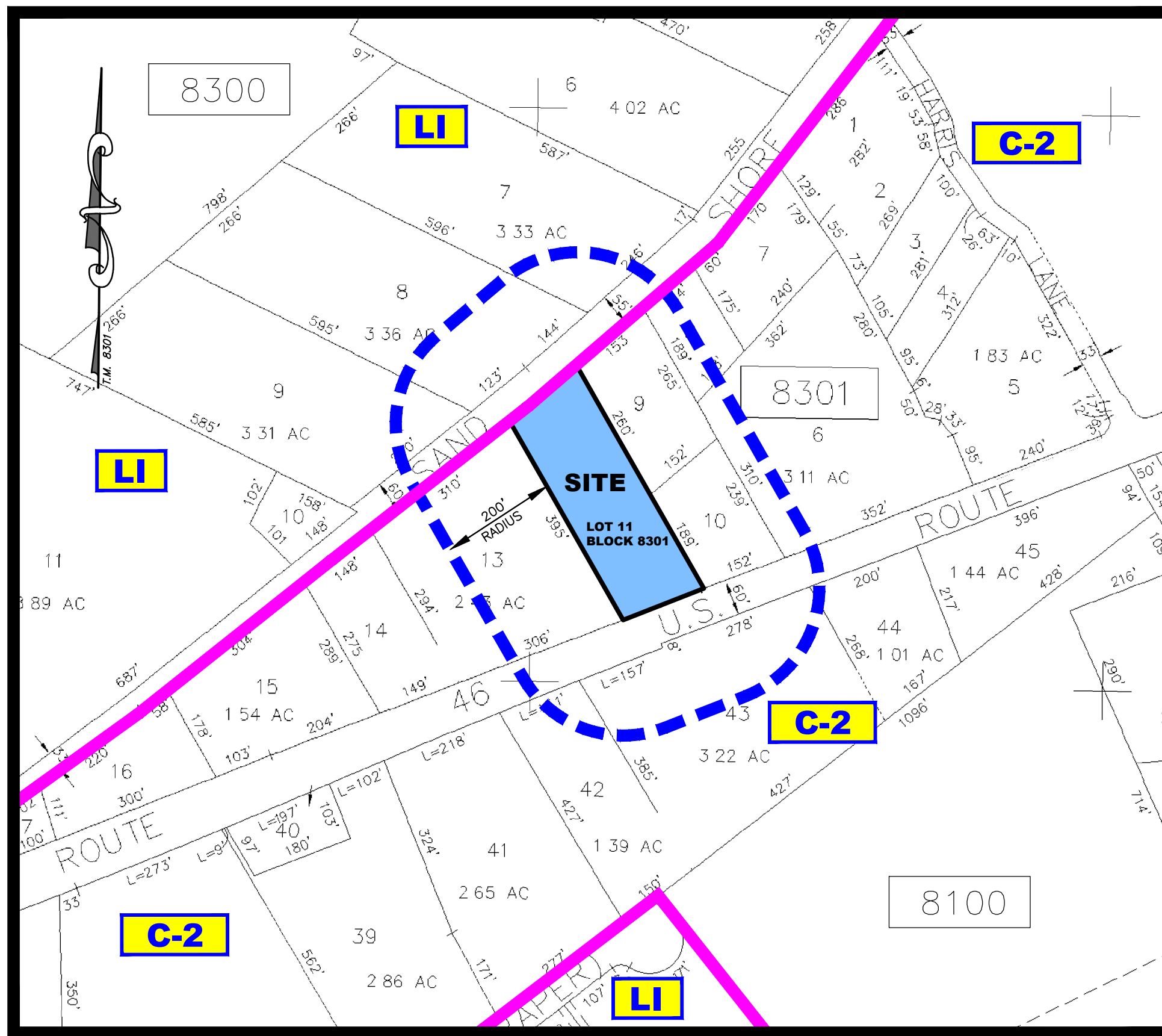
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BOARD APPROVAL BLOCK

CHAIRMAN	DATE
SECRETARY	DATE

OWNER'S SIGNATURE

NAME	DATE
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KEY MAP

GRAPHIC SCALE



(IN FEET)

1 inch = 200 ft.

PREPARED BY :

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716

GENERAL NOTES

- 1.) APPLICANT/PROJECT OWNER: GARDEN STATE GROUNDSKEEPING
P.O. BOX 597
LONG VALLEY, NJ 07853
OWNER: ELEVENTH HOUR ANIMAL RESCUE
ATT: S KUDNIK
33 REGER RD.
SUCCASUNNA, NJ 07876
- 2.) THE SUBJECT PROPERTY IS KNOWN AS LOT 11 BLOCK 8301 AS SHOWN ON SHEET 83.01 OF THE TOWNSHIP OF MT. OLIVE TAX MAPS. THE PROPERTY CONTAINS 61,573.77 S.F. OR 1.41 AC.
- 3.) LOT DIMENSIONS (METES AND BOUNDS), PER MAP ENTITLED "OUTBOUND & TOPOGRAPHY FOR TAX MAP LOTS 11 & 12 BLOCK 8301" PREPARED BY CIVIL ENGINEERING, INC., JAMES A. BAKER, N.J.PLS No. 23132, DATED 12/1/06.
- 4.) LOCATION OF EXISTING POOL & PATIO (BURIED & PARTIALLY REMOVED) AS SHOWN ON SURVEY PERFORMED BY W. LEE BOOTY, DATE UNKNOWN (SURVEY COMPLETED PRIOR TO 2004).
- 5.) TOPOGRAPHIC INFORMATION PERFORMED BY CIVIL ENGINEERING INC., ON 11/28/06 & 12/16/22. VERTICAL DATUM (NAVD 88) ESTABLISHED BY GLOBAL POSITIONING SYSTEM TECHNOLOGY.
- 6.) WATER IS SUPPLIED TO THE SUBJECT PROPERTY BY AN EXISTING WELL. THIS WELL WILL REMAIN AND BE MODIFIED AND SET INSIDE A MANHOLE FOR SAFETY ACCESS.
- 7.) SANITARY SEWERAGE IS PROVIDED BY AN EXISTING SEPTIC DISPOSAL SYSTEM CONSISTING OF A 1,000 GAL. SEPTIC TANK AND AN EXISTING SEEPAGE PIT. THIS SYSTEM WILL BE ABANDONED AND A NEW ON LOT SUBSURFACE SEPTIC SYSTEM (SERVING BOTH BUILDINGS 'A' & 'B') CONSISTING OF FOUR 1,000 GAL. CONCRETE SEPTIC TANKS, A 1,500 GAL. PUMP TANK AND AN 615 S.F. PRESSURE DOSING SEPTIC DISPOSAL BED IS PROPOSED. APPLICATION FOR APPROVAL IS TO BE MADE TO THE MOUNT OLIVE HEALTH DEPARTMENT, UNDER SEPARATE COVER.
- 8.) ALL CONSTRUCTION AND IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, AND MUNICIPAL REQUIREMENTS.
- 9.) ALL MATERIALS ACCUMULATED BY GRUBBING OR EXCAVATION SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE TOWNSHIP ENGINEER.

PROPOSAL

THE SUBJECT PROPERTY IS LOCATED IN THE C-2 COMMERCIAL ZONE (AND NJ HIGHLANDS PRESERVATION AREA), LOCATED ALONG ROUTE 46 WEST IN MOUNT OLIVE TOWNSHIP. THE SITE HAS BEEN PREVIOUSLY DEVELOPED AND WAS FORMERLY USED AS A LIMOUSINE RENTAL SERVICE ("TEMPE'S LIMOUSINE") AND MOST RECENTLY WAS THE OFFICE FOR AN ANIMAL RESCUE ORGANIZATION ("11TH HOUR ANIMAL RESCUE"). THE PROPERTY CURRENTLY CONTAINS 2 BUILDINGS, AN EXISTING TWO STORY 1,552 S.F. FRAMED PRINCIPAL BUILDING (BUILDING 'A'), AND A 1,130 S.F. TWO STORY FRAMED BARN (BUILDING 'B'). THERE ALSO WAS A THIRD BUILDING (BUILDING 'C') AS SHOWN ON HIGHLANDS EXEMPTION PLANS SHEET 7) WHICH HAS BEEN REMOVED. THE SITE ALSO CONTAINS 14,356 S.F. OF PAVED AND GRAVEL PARKING AND DRIVEWAY AREAS AND AN ADDITIONAL 2,746 S.F. OF CONCRETE WALKWAYS, PATIOS, AND A BURIED POOL AREA. THE SITE HAS TWO POINTS OF ACCESS TO ROUTE 46 IN THE FRONT AND A SINGLE ACCESS POINT TO SAND SHORE ROAD IN THE REAR. UTILITIES ARE PROVIDED BY UNDERGROUND LINES FOR ELECTRIC, TELEPHONE & CABLE, AN EXISTING WELL FOR WATER AND AN ONSITE SEPTIC SYSTEM FOR SEPTIC SEWERAGE.

THE APPLICANT IS PROPOSING TO RENOVATE AND USE THE PRESENT SITE FOR THE NEW HOME OF "GARDEN STATE GROUNDSKEEPING", A LANDSCAPING DESIGN, INSTALLATION AND MAINTENANCE COMPANY. THE FOLLOWING IMPROVEMENTS ARE PROPOSED:

1. THE EXISTING POOL & PATIO WILL BE EXCAVATED, UNCOVERED AND TOTALLY REMOVED.
2. ADDITIONAL AREAS OF CONCRETE SIDEWALK WILL BE REMOVED.
3. ONE TREE WILL BE REMOVED.
4. THE EXISTING WELL HEAD WILL REMAIN AND BE MODIFIED AND PLACED IN AN H20 HANDLING MANHOLE.
5. THE EXISTING SEPTIC TANKS WILL BE PUMPED OUT BY A LICENSED HAULER AND REMOVED.
6. A NEW PRESSURE DOSING SEPTIC SYSTEM AND CATCH BASIN WILL BE INSTALLED, AND CONNECTED TO BOTH BUILDINGS, WITH SEPARATE TANKS FOR EACH BUILDING.
7. THE EXISTING PARKING LOT AND ACCESS DRIVES WILL BE RECONFIGURED WITH PARTIAL MOUNTABLE CURBING AND A NEW CATCH BASIN INSTALLED. ANY EXCESS GRAVEL WILL BE REMOVED.
8. A NEW PROPOSED DRYWELL INFILTRATION SYSTEM AND CATCH BASIN WILL BE INSTALLED TO HANDLE RUNOFF FROM BOTH BUILDING ROOF AREAS AND A PORTION OF THE REAR OF THE SITE.
9. BOLLARDS WILL BE INSTALLED TO PROTECT THE EXISTING WATER SPIGOT.
10. CONCRETE STORAGE BINS WILL BE ERCTED FOR STORAGE OF BULK LOOSE MATERIAL.
11. THE ENTIRE PARKING LOT AND ACCESS DRIVES WILL BE PAVED/OVERLAYED.
12. THE INTERIOR OF EXISTING BUILDING 'A' WILL BE RENOVATED.
13. THE EXISTING BARN BUILDING 'B' WILL REMAIN AND BE RENOVATED INTERNALLY AS A WOOD SHOP/FENCE FABRICATION AREA. A NEW BATHROOM WILL BE INSTALLED.
14. NEW SIGNAGE WILL BE INSTALLED.
15. LOCKING SWING ARM GATES WILL BE INSTALLED IN THE FRONT AND REAR OF THE PROPERTY, FOR SECURITY REASONS.
16. ADDITIONAL LIGHTING AND LANDSCAPING WILL BE INSTALLED.

BUSINESS NOTES

GARDEN STATE GROUNDSKEEPING IS A LANDSCAPE DESIGN, INSTALLATION AND MAINTENANCE COMPANY THAT SERVES BOTH RESIDENTIAL AND COMMERCIAL CLIENTS. THE BUSINESS CURRENTLY HAS 28 EMPLOYEES AND OPERATES 5 DAYS A WEEK FROM 7AM TO 5PM, WITH OCCASIONAL SATURDAYS DURING THE SUMMER AND AS NEEDED. THE COMPANY IS COMPRISED OF OFFICE PERSONNEL, SALES PEOPLE, MANAGEMENT, FOREMEN AND LABORERS. THE COMPANY OWNS 15 VEHICLES AND 5 TRAILERS, OF WHICH 8 VEHICLES AND ALL 5 TRAILERS WILL BE PARKED ON THE SITE ON A NIGHTLY BASIS.

ON A TYPICAL DAY THE EMPLOYEES WILL ARRIVE TO THE COMPANY'S OFFICES IN THE MORNING. FOREMEN AND LABORERS WILL CARPOOL TO THE COMPANY SITE AND UTILIZE UP TO 8 SHARED VEHICLES (2 COMPANY OWNED) FOR THE APPROXIMATELY 21 WORKERS. THE OFFICE PERSONNEL, MANAGEMENT AND SALES PEOPLE WILL ALSO USE COMPANY VEHICLES (5 TOTAL) TO ARRIVE AT THE SITE. IF ALL EMPLOYEES ARRIVE IN THE MORNING, THIS WOULD ACCOUNT FOR UP TO 13 VEHICLES REQUIRING PARKING SPACES.

THE SALES PEOPLE AND MANAGEMENT WILL ACCESS THE SITE INTERMITTENTLY DURING THE DAY AND MAY OR MAY NOT ARRIVE IN THE MORNING WITH THE OTHER WORKERS. THESE EMPLOYEES MAY REPORT DIRECTLY TO JOB SITES OR MEET WITH CLIENTS OFF SITE. AT LEAST ONE OFFICE WORKER WILL OCCUPY THE SITE FOR THE ENTIRE DAY. THE LABORERS WILL THEN LEAVE BY APPROX. 7:30AM, UTILIZING SOME OF THE COMPANY'S VEHICLES PULLING TRAILERS AS TRANSPORTATION TO THE JOB SITES. AT THE END OF THE WORK DAY, THE WORKERS WILL THEN RETURN AT APPROX. 4:45PM TO STORE THE COMPANY'S TOOLS AND EQUIPMENT, RETRIEVE THEIR VEHICLES, STORE TRAILERS AND DEPART FOR THE DAY AT 5PM, ALONG WITH ANY OFFICE WORKERS.

ZONE REQUIREMENTS

THE SUBJECT PROPERTY IS LOCATED IN THE C-2 COMMERCIAL ZONE AND IS SUBJECT TO THE FOLLOWING:

LOT:	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 AC.	1.41 AC. *	NO CHANGE
MINIMUM LOT WIDTH	200 FT.	150.00 FT. *	NO CHANGE
MINIMUM LOT DEPTH	250 FT.	264.17 FT.	NO CHANGE
MAXIMUM FLOOR AREA RATIO	0.3	1.10	NO CHANGE
MAXIMUM BUILDING COVERAGE	20% MAX.	4.35%	NO CHANGE
MAXIMUM LOT COVERAGE	60% MAX.	32.13%	39.30%
PRINCIPAL BUILDING 'A':			
MINIMUM FRONT YARD SETBACK	90 FT.	65.3 FT. * (RT. 46)/ 311.3 FT. (SANDSHORE RD.)	NO CHANGE
MINIMUM SIDE YARD SETBACK	60 FT.	14.5 FT. (R)*/77.7 FT. (L)	NO CHANGE
MINIMUM REAR YARD SETBACK	50 FT.	N/A	NO CHANGE
MAXIMUM HEIGHT	30 FT.	< 30 FT.	NO CHANGE
ACCESSORY BUILDING 'B':			
MINIMUM FRONT YARD SETBACK	100 FT.	252.1 FT. (RT. 46)/ 131.4 FT. (SANDSHORE RD.)	NO CHANGE
MINIMUM SIDE/REAR YARD SETBACK	20 FT.	4.2 FT. (R)*	NO CHANGE
MINIMUM PRINCIPAL STRUCTURE SETBACK	20 FT.	145.3 FT.	NO CHANGE
MAXIMUM HEIGHT	15 FT.	> 15 FT.*	NO CHANGE

*EXISTING NON-CONFORMING CONDITION

DESIGN EXCEPTIONS REQUESTED

	REQUIRED	EXISTING	PROPOSED
LOADING SPACE SIZE	1 - 12' x 60'	N/A	NONE
PARKING SPACE SIZE	10' x 18' OR 9' X 20'	N/A	9' X 18'
PARKING AREA SETBACK (SIDE)	15'	2.0'	1.5'
ENVIRONMENTAL IMPACT STATEMENT	YES	N/A	NONE
PARKING LOT BUFFER	25' LEFT	33.8'	12.5' (FRONT LEFT)
	25' RIGHT	ROW OF ARBORVITAE (17' @ 6-7')	1.5' (FRONT RIGHT)
CURBING FOR PARKING LOT	YES	NONE	PARTIAL MOUNTABLE CURB

2.	UPDATE	WBB	1/27/23
1.	UPDATE	WBB	7/27/22
Rev. No.	Description	By	Date

CIVIL ENGINEERING, INC.

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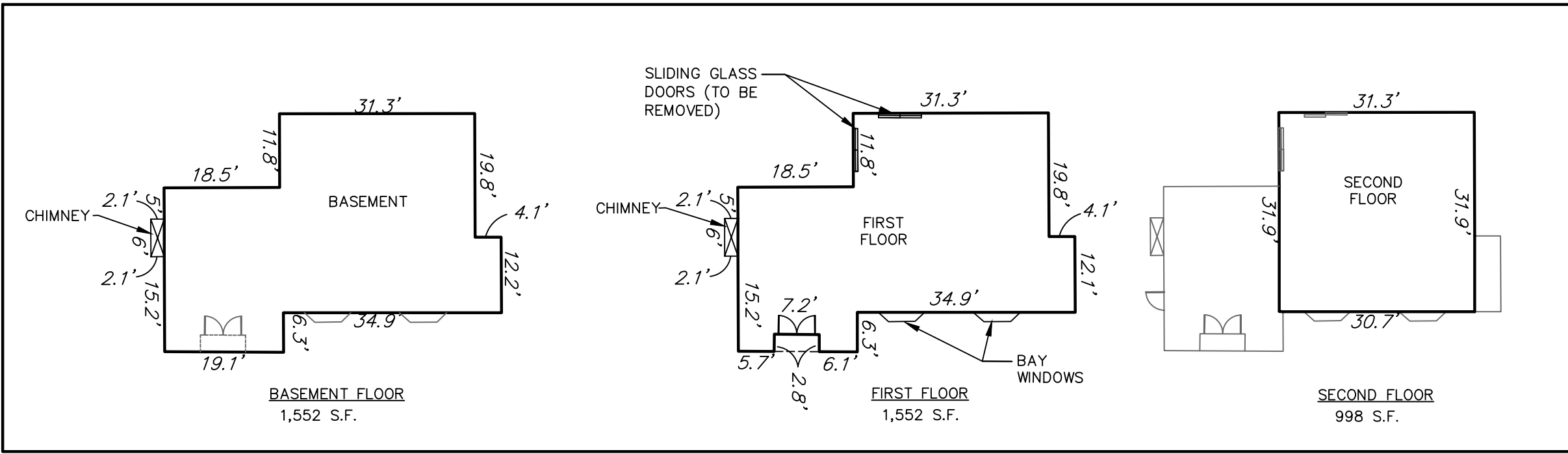
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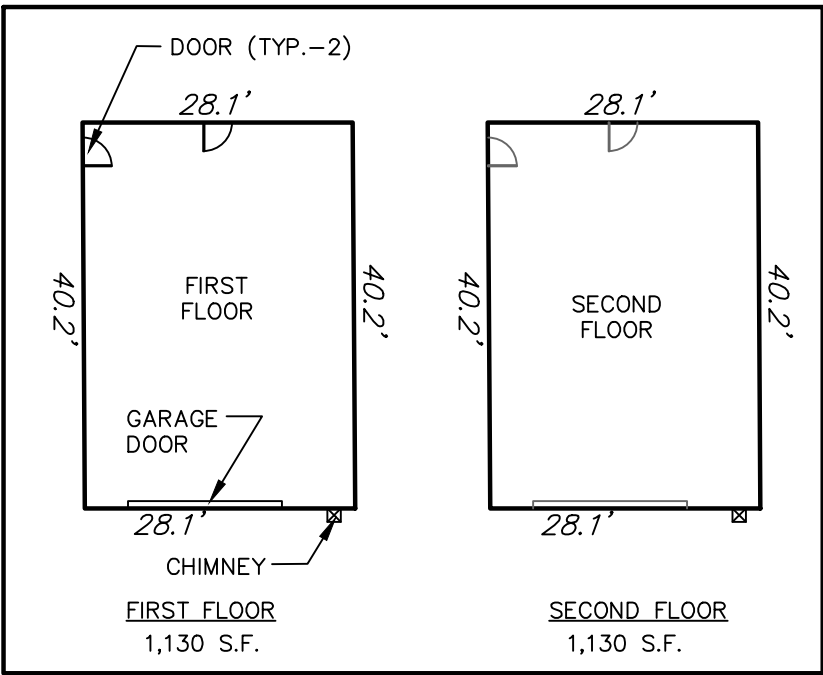
'GARDEN STATE GROUNDSKEEPING'
PRELIMINARY & FINAL SITE PLAN
LOT 11 BLOCK 8301
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

SHEET 1 OF 11



EXISTING BUILDING 'A' FOOTPRINT
(TO REMAIN FOR PHASE 1 ONLY)
(SCALE 1" = 20')



EXISTING BUILDING 'B' FOOTPRINT
(TO REMAIN FOR PHASE 1 & 2)
(SCALE 1" = 20')

SOIL CATEGORIES:

- PHF** PITS, GRAVEL
AnoB ANNANDALE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
SOIL BOUNDARIES LINE

LEGEND:

- SUBJECT PROPERTY LINE (OUTBOUND)
ADJACENT PROPERTY LINES
EXISTING R.O.W.
INDEX CONTOUR
INTERIOR CONTOUR
EXISTING PAVEMENT
EXISTING SETBACK LINE
EXISTING OVERHEAD UTILITY LINE
EXISTING UNDERGROUND UTILITY LINE
EXISTING DRIVEWAY
EXISTING STORM SEWER
EXISTING CURB
EXISTING DEPRESSED CURB
EXISTING GRAVEL
EXISTING TREE LINE
EXISTING FENCE
EXISTING CONCRETE
EXISTING WELL
EXISTING IRON PIPE
EXISTING A-INLET
EXISTING B-INLET
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING SIGN
EXISTING TREE

EXISTING IMPERVIOUS COVERAGE

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
EXISTING PAVEMENT & STONE DRIVEWAY	14,356 S.F.
EXISTING CONCRETE APRON AT BARN	157 S.F.
EXISTING BURIED CONCRETE POOL & SURROUNDING PATIO	2,264 S.F.
EXISTING CONCRETE PORCH W/ PLANTERS (DWELLING)	101 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
EXISTING CONCRETE APRON AT DWELLING	52 S.F.
EXISTING CONCRETE SIDEWALK	127 S.F.
EXISTING CONCRETE SIGN FOOTING	9 S.F.
TOTAL	19,784 S.F.

$19,784 \text{ S.F.} / 61,573.77 \text{ S.F.} = 0.3213 \text{ OR } 32.13\%$

EXISTING BUILDING COVERAGE

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
TOTAL	2,682 S.F.

$2,682 \text{ S.F.} / 61,573.77 \text{ S.F.} = 0.0435 \text{ OR } 4.35\%$

EXISTING FLOOR AREA RATIO

EXISTING 2 STORY BUILDING 'A'	1,552 S.F.
BASEMENT	1,552 S.F.
FIRST FLOOR	998 S.F.
EXISTING 2 STORY BARN BUILDING 'B'	1,130 S.F.
FIRST FLOOR	1,130 S.F.
SECOND FLOOR	998 S.F.
TOTAL	6,362 S.F.

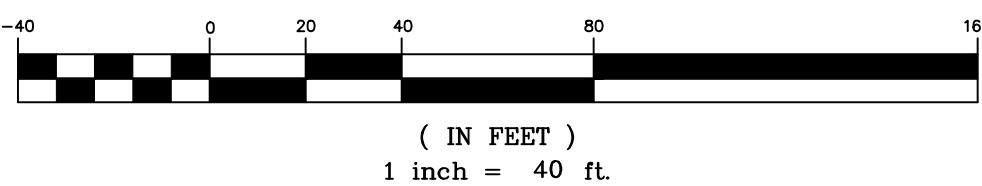
$6,362 \text{ S.F.} / 61,573.77 \text{ S.F.} = 0.10 \text{ FLOOR AREA RATIO}$

SLOPE CALCULATIONS

0 - 14.9% SLOPE
15 - 24.9% SLOPE
25% AND GREATER SLOPE

EXISTING CONDITIONS

GRAPHIC SCALE



ROBERT H. JORDAN, Jr.
PROFESSIONAL SURVEYOR, N.J. LIC. NO. 34485

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

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EXISTING CONDITIONS PLAN
FOR:

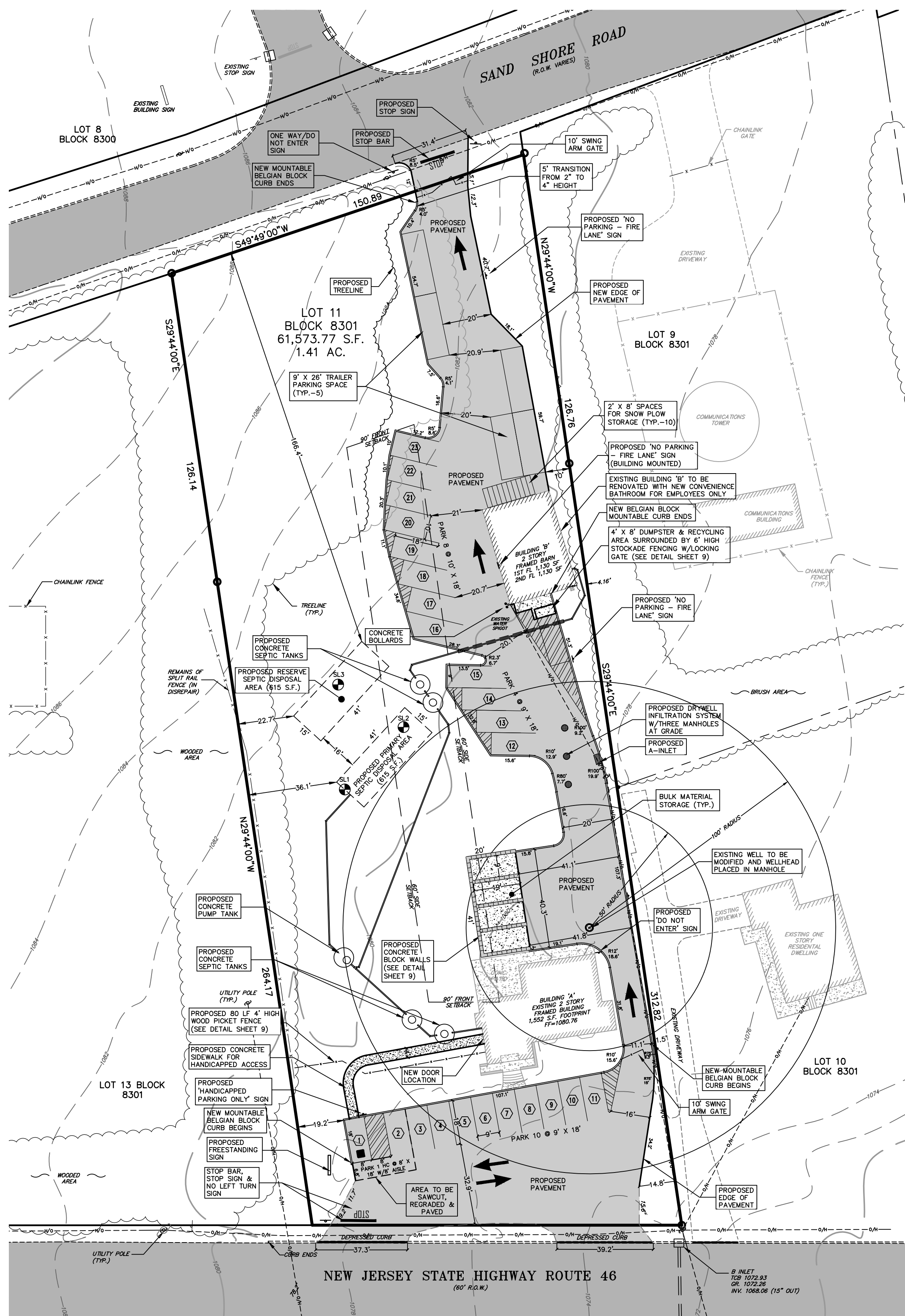
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LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
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Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

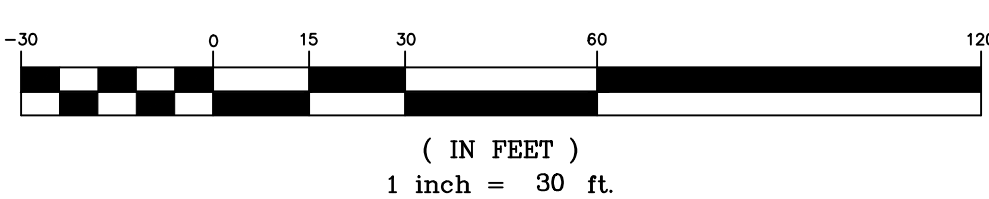
LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING TREE LINE
	ADJACENT PROPERTY LINES		PROPOSED TREE LINE
	EXISTING R.O.W.		EXISTING FENCE
	INDEX CONTOUR		PROPOSED FENCE
	INTERIOR CONTOUR		EXISTING ROAD PAVEMENT
	EXISTING PAVEMENT		PROPOSED PAVEMENT
	PROPOSED PAVEMENT		EXISTING CONCRETE
	EXISTING SETBACK LINE		PROPOSED CONCRETE
	EXISTING OVERHEAD UTILITY LINE		EXISTING WELL
	EXISTING DRIVEWAY		EXISTING IRON PIPE
	EXISTING STORM SEWER		EXISTING B-INLET
	EXISTING CURB		EXISTING UTILITY POLE
	EXISTING DEPRESSED CURB		EXISTING LIGHT POLE
	PROPOSED CURB		EXISTING SIGN
	PROPOSED SEPTIC LINE		
	PROPOSED SEPTIC BED		



SITE LAYOUT PLAN

GRAPHIC SCALE



PROPOSED IMPERVIOUS COVERAGE

EXISTING 2 STORY BUILDING - A	1,552 S.F.
EXISTING 2 STORY BARN BUILDING - B	1,130 S.F.
EXISTING CONCRETE PATIO BEHIND HOUSE - PORTION TO REMAIN	451 S.F.
EXISTING CONCRETE PORCH W/ PLANTERS	101 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
PROPOSED RECONFIGURED & PAVED PARKING LOT	19,287 S.F.
PROPOSED CURBING	387 S.F.
PROPOSED CONCRETE APRON AT BRICK STEPS - PORTION TO REMAIN	103 S.F.
PROPOSED CONCRETE DUMPSTER PAD & APRON	303 S.F.
PROPOSED CONCRETE SIDEWALK	136 S.F.
PROPOSED BLOCK WALLS	8 S.F.
PROPOSED FREESTANDING SIGN	684 S.F.
PROPOSED CONCRETE PADS FOR BULK STORAGE	
TOTAL	24,201 S.F.

24,201 S.F./61,573.77 S.F. = 0.3930 OR 39.30%

PROPOSED BUILDING COVERAGE

EXISTING BUILDING 'A' - 2 STORY BUILDING	1,552 S.F.
EXISTING BUILDING 'B' - 2 STORY BARN	1,130 S.F.
TOTAL	2,682 S.F.

2,682 S.F./61,573.77 S.F. = 0.0435 OR 4.35%

PROPOSED FLOOR AREA RATIO

BUILDING 'A' - 2 STORY BUILDING	
BASEMENT	1,552 S.F.
FIRST FLOOR	1,552 S.F.
SECOND FLOOR	998 S.F.
BUILDING 'B' - 2 STORY BARN	
FIRST FLOOR	1,130 S.F.
SECOND FLOOR	1,130 S.F.
TOTAL	6,362 S.F.

6,362 S.F./61,573.77 S.F. = 0.10 FLOOR AREA RATIO

PARKING REQUIREMENTS PER ORDINANCE

PARKING SPACE SIZE 10 FT. x 18 FT. OR 9 FT. x 20 FT.

BUILDING 'A'

OFFICE SPACE
1st FLOOR - 1,552 S.F. 4.5 P.S. PER 1,000 S.F. (1,552 S.F. / 1,000 S.F.) X 4.5 = 6.98 SPACES REQUIRED
2nd FLOOR - 998 S.F. 4.5 P.S. PER 1,000 S.F. (998 S.F. / 1,000 S.F.) X 4.5 = 4.49 SPACES REQUIRED

STORAGE SPACE

BASEMENT - 1,552 S.F. 1 P.S. PER 5,000 S.F. (1,552 S.F. / 5,000 S.F.) X 1 = 0.31 SPACES REQUIRED
SUBTOTAL 11.78 SPACES REQUIRED

BUILDING 'B'

STORAGE SPACE
1st FLOOR - 1,130 S.F. 1 P.S. PER 5,000 S.F. (1,130 S.F. / 5,000 S.F.) X 1 = 0.23 SPACES REQUIRED
2nd FLOOR - 1,130 S.F. 1 P.S. PER 5,000 S.F. (1,130 S.F. / 5,000 S.F.) X 1 = 0.23 SPACES REQUIRED

SUBTOTAL 0.46 SPACES REQUIRED
TOTAL 13 SPACES REQUIRED

PARKING REQUIREMENTS PER USE

VEHICLE SPACES

6 EMPLOYEE VEHICLES (LABORERS TRANSPORTATION TO OFFICE) = 6 SPACES REQUIRED
2 COMPANY VEHICLES (FOREMEN & LABORERS TRANSPORTATION TO OFFICE) = 2 SPACES REQUIRED
8 COMPANY VEHICLES (LABORERS TRANSPORTATION TO JOB SITES) = 8 SPACES REQUIRED
5 COMPANY VEHICLES (MANAGEMENT, SALES, OFFICE) = 5 SPACES REQUIRED
TOTAL 21 SPACES REQUIRED

TRAILER SPACES

5 COMPANY TRAILERS (UP TO 24' LENGTH) = 5 SPACES REQUIRED
TOTAL 5 SPACES REQUIRED

PARKING PROVIDED

VEHICLE SPACES

8' X 18' HC SPACE W/8' ACCESS AISLE = 1 SPACES PROVIDED
9' X 18' UNDERSIZED VEHICLE SPACE* = 14 SPACES PROVIDED
10' X 18' STANDARD VEHICLE SPACE = 8 SPACES PROVIDED
TOTAL 23 SPACES PROVIDED

TRAILER SPACES

9' X 26' OVERSIZED SPACE = 5 SPACES PROVIDED
TOTAL = 5 SPACES PROVIDED

*DESIGN EXEMPTION REQUIRED

LOADING SPACE REQUIREMENTS

REQUIRED (OFFICE) - 1 SPACE (12' x 60') FOR < 100,000 S.F. OFFICE AREA

LOADING SPACE PROVIDED

NO LOADING SPACE PROVIDED (DESIGN EXEMPTION REQUIRED)

BUSINESS NOTES

- NO LARGE GAS STORAGE TANKS TO BE USED AND ALL COMPANY VEHICLES AND GAS POWERED EQUIPMENT TO BE FUELED AT LOCAL GASOLINE STATIONS. ADDITIONAL PORTABLE GAS CANS TO BE STORED IN ENCLOSED TRAILERS ALONG WITH EQUIPMENT.
- ALL USED OIL, FLOW TOOLS AND MACHINERY TO BE KEPT IN CONTAINERS AND EMPTIED BY AN OUTSIDE COMPANY ON A CONTRACTED MONTHLY BASIS.

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

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BUDD LAKE, N.J. 07828
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Fax: (973) 426-0716
N.J. - C of A #24GA27922000

SHEET 3 OF 11

SITE LAYOUT PLAN

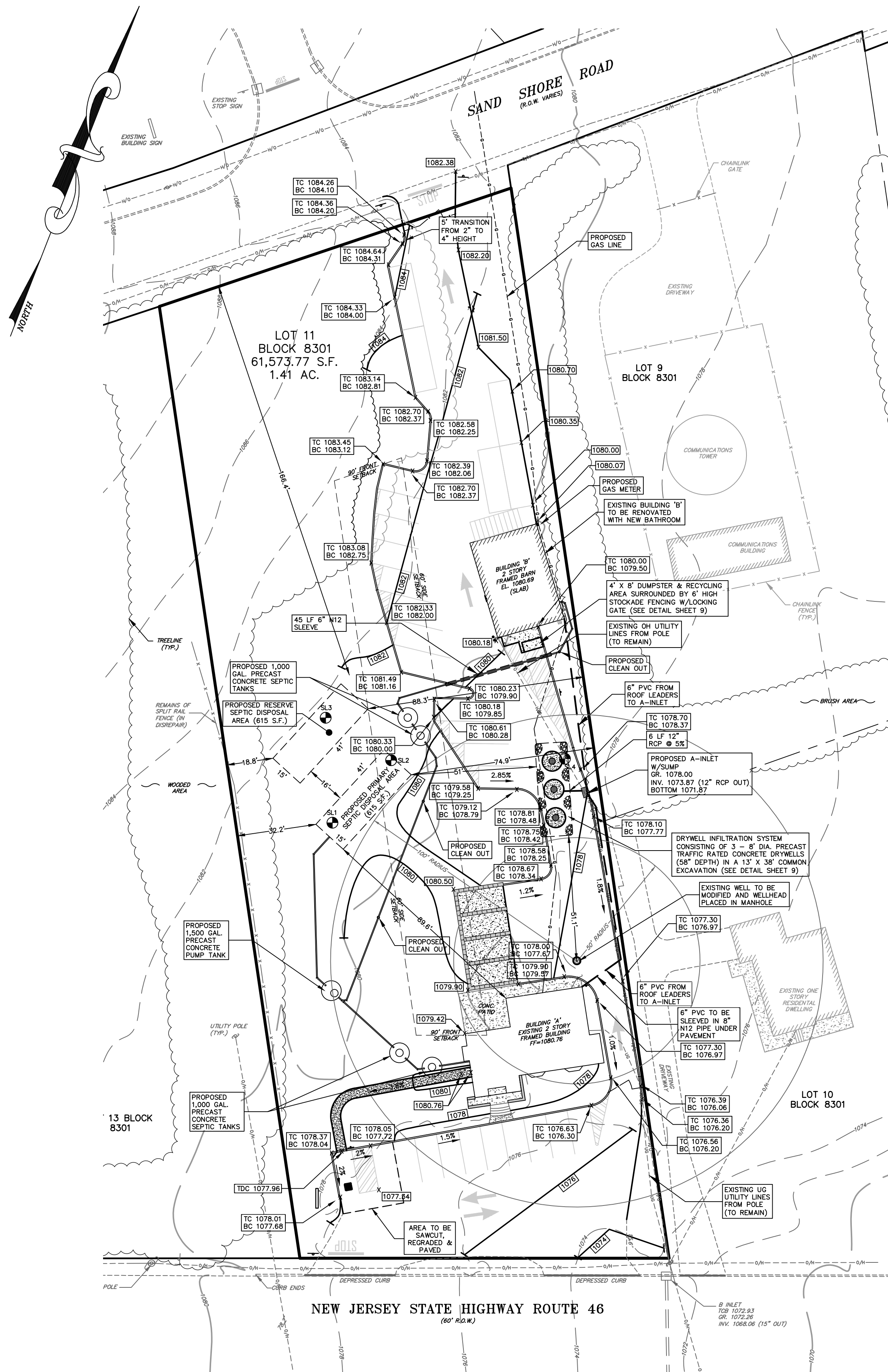
FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

U:\9331 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 2\6831-4. Op Grading & Utility Plan Rev 2.dwg P.S. Civilinc.ctb



GRADING & UTILITY PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

UTILITY NOTES:

- 1) CONTRACTOR TO VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2) WATER TO BE PROVIDED BY AN EXISTING ON SITE PRIVATE WELL. EXISTING WELL HEAD TO BE MODIFIED AND PLACED IN TRAFFIC RATED MANHOLE. EXISTING WATER SPIGOT AT ACCESSORY BARN TO BE PROTECTED WITH PROPOSED CONCRETE BOLLARDS AND USED FOR OUTSIDE WATER ONLY.
- 3) SEWERAGE TO BE PROVIDED BY THE PROPOSED PRESSURE DOSING SEPTIC DISPOSAL SYSTEM AS SHOWN ON PLAN. APPLICATION TO BE MADE TO THE TOWNSHIP OF MOUNT OLIVE HEALTH DEPARTMENT, UNDER SEPARATE COVER.
- 4) ELECTRIC, CATV & PHONE TO BE PROVIDED BY EXISTING OVERHEAD AND UNDERGROUND CONNECTIONS TO AN EXISTING UTILITY POLE LOCATED WITHIN THE PROPERTY AND ANOTHER EXISTING UTILITY POLE LOCATED IN THE ROUTE 46 RIGHT OF WAY.
- 5) GAS SERVICE TO EXISTING BUILDING 'A' AND EXISTING BARN 'B' TO BE PROVIDED BY A PROPOSED UNDERGROUND CONNECTION TO THE EXISTING GAS MAIN LOCATED IN SAND SHORE ROAD.
- 6) REFUSE PICKUP (TRASH & RECYCLABLES) TO BE CONTRACTED BY A PRIVATE HAULER.

SEPTIC REQUIREMENTS

DISPOSAL AREA

BUILDING 'A' - 1ST FLOOR - 1,552 S.F. OFFICE SPACE
2ND FLOOR - 998 S.F. OFFICE SPACE
= 2,550 S.F. OFFICE SPACE x 0.125 GAL./S.F./DAY = 318.75 GAL./DAY

BUILDING 'B' - 1ST FLOOR - 1,130 S.F. WOOD SHOP
2ND FLOOR - 1,130 S.F. STORAGE (NO REQUIREMENT)
= 1,130 S.F. OFFICE/EMPLOYEES x 0.125 GAL./S.F./DAY = 142 GAL./DAY
TOTAL = 460.75 GAL./DAY

= 460.75 GAL./DAY X 1.33 STATE FACTOR (PRESSURE DOSING) = [612.79] S.F. DISPOSAL AREA REQ.

SEPTIC TANKS

FOR USES OTHER THAN SINGLE FAMILY HOMES, THE MINIMUM CAPACITY REQUIRED IS 1.5 X DAILY VOLUME (1,000 GAL. MIN.)

BUILDING 'A' - 1.5 X 318.75 GAL./DAY = 478.12 GAL. (USE 1,000 GAL. TANK X 2)

BUILDING 'B' - 1.5 X 142 GAL./DAY = 213 GAL. (USE 1,000 GAL. TANK X 2)

SEPTIC PROPOSAL

DISPOSAL BED AREA

PRIMARY PRESSURE DOSING SEPTIC DISPOSAL BED AREA OF 615 S.F. & RESERVE PRESSURE DOSING SEPTIC DISPOSAL AREA OF 615 S.F.

SEPTIC TANK SYSTEM

PROPOSED FOUR (4) - 1,000 GAL. CONCRETE SEPTIC TANKS AND A 1,500 GAL. CONCRETE PUMP TANK

SOIL LOGS - SEPTIC SYSTEM

SOIL LOG 1 - PERFORMED MARCH 7, 2022

0" - 10" TOPSOIL, 10YR 3/3
10" - 42" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 5% COBBLE, 2% STONE
ANGULAR BLOCKY, FRIABLE
CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 5% COBBLE, 5% STONE
SUBANGULAR BLOCKY, FRIABLE
SANDY CLAY LOAM, 7.5YR 4/6
5% GRAVEL, 5% COBBLE, 10% STONE
SUBANGULAR BLOCKY, FRIABLE

ROOTS TO 28"
SAMPLE @ 87"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

SOIL LOG 2 - PERFORMED MARCH 7, 2022

0" - 8" TOPSOIL, 10YR 3/3
8" - 35" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 5% COBBLE
ANGULAR BLOCKY, FRIABLE
SANDY CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 10% COBBLE, 2% STONE
SUBANGULAR BLOCKY, FRIABLE
SANDY LOAM, 7.5YR 6/8
5% GRAVEL, 5% COBBLE, 5% STONE
SINGLE GRAIN, LOOSE

ROOTS TO 48"
SAMPLE @ 79"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

SOIL LOG - INFILTRATION SYSTEM

SOIL LOG 4 - PERFORMED MARCH 7, 2022

0" - 8" TOPSOIL, 10YR 3/3
8" - 36" CLAY LOAM, 7.5YR 5/8
5% GRAVEL, 10% COBBLE, 5% STONE
ANGULAR BLOCKY, FRIABLE
SANDY CLAY LOAM, 7.5YR 5/6
5% GRAVEL, 5% COBBLE, 5% STONE
SUBANGULAR BLOCKY, FRIABLE
SANDY LOAM, 10YR 5/6
10% GRAVEL, 10% COBBLE
SINGLE GRAIN, LOOSE

ROOTS TO 52"
SAMPLE @ 30" & 74"
NO WATER, NO SEEPAGE, NO MOTTLING, NO LEDGE

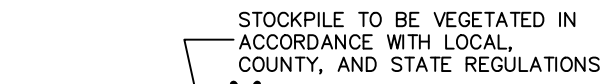
SOIL LOG PERFORMED BY JAMES GLASSON, P.E. OF CIVIL ENGINEERING, INC.

SHEET 4 OF 11			
2. UPDATE WBB 1/27/23			
1. UPDATE WBB 7/27/22			
Rev. No.	Description	By	Date
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			
GRADING & UTILITY PLAN FOR: 'GARDEN STATE GROUNDSKEEPING' LOT 11 BLOCK 8301 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY			
Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

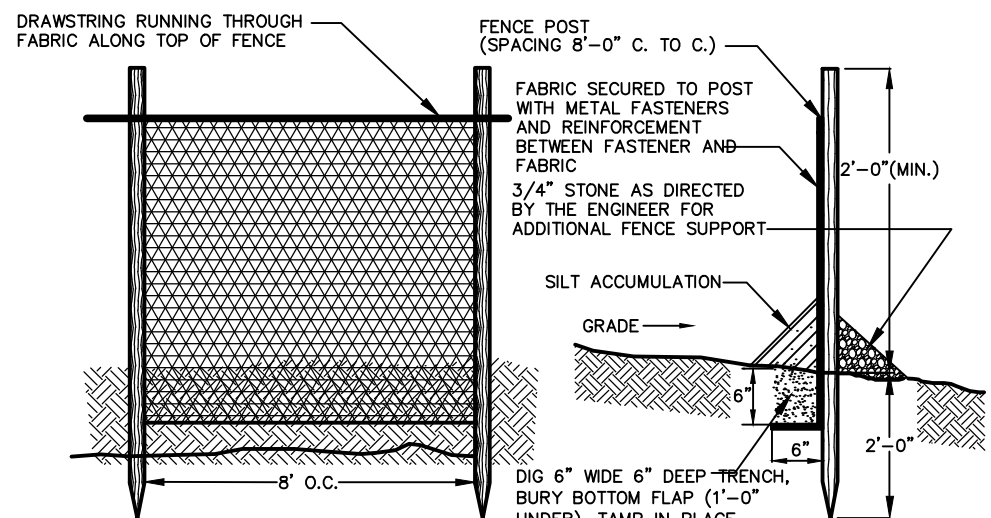
MORRIS COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BERM ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED & MAINTAINED DAILY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT TOE OF SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR CHART AND DIMENSIONS.
11. ALL NEW ROADWAYS WILL BE TREATED WITH A SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DRAINAGE DETAIL.
15. ALL SEDIMENT BASINS WILL BE CLEARED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION, ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
20. TOPSOIL STOCKPILE PROTECTION
 - A. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F.
 - B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - C. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - D. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - F. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

21. TEMPORARY STABILIZATION SPECIFICATIONS
 - A. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F.
 - B. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - C. APPLY PERENNIAL RYEGRASS AT 1 LB/1,000 SF AND ANNUAL RYEGRASS AT 1 LB/1,000 SF.
 - D. MULCH STOCKPILE WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - E. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
22. PERMANENT STABILIZATION SPECIFICATIONS
 - A. APPLY TOPSOIL TO A DEPTH OF 8" (UNSETTLED).
 - B. APPLY GROUND LIME/STONE AT A RATE OF 90 LBS/1000 S.F. AND WORK FOUR INCHES (4") INTO SOIL.
 - C. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - D. APPLY HARD RESCUE AT 2.7 LBS/1,000 SF, CREEPING RED FESCUE 0.7 LBS/1,000 SF, AND PERENNIAL RYEGRASS AT 0.25 LBS/1,000 SF.
 - E. MULCH WITH HAY OR STRAW. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.



TOPSOIL STOCKPILE DETAIL (N.T.S.)

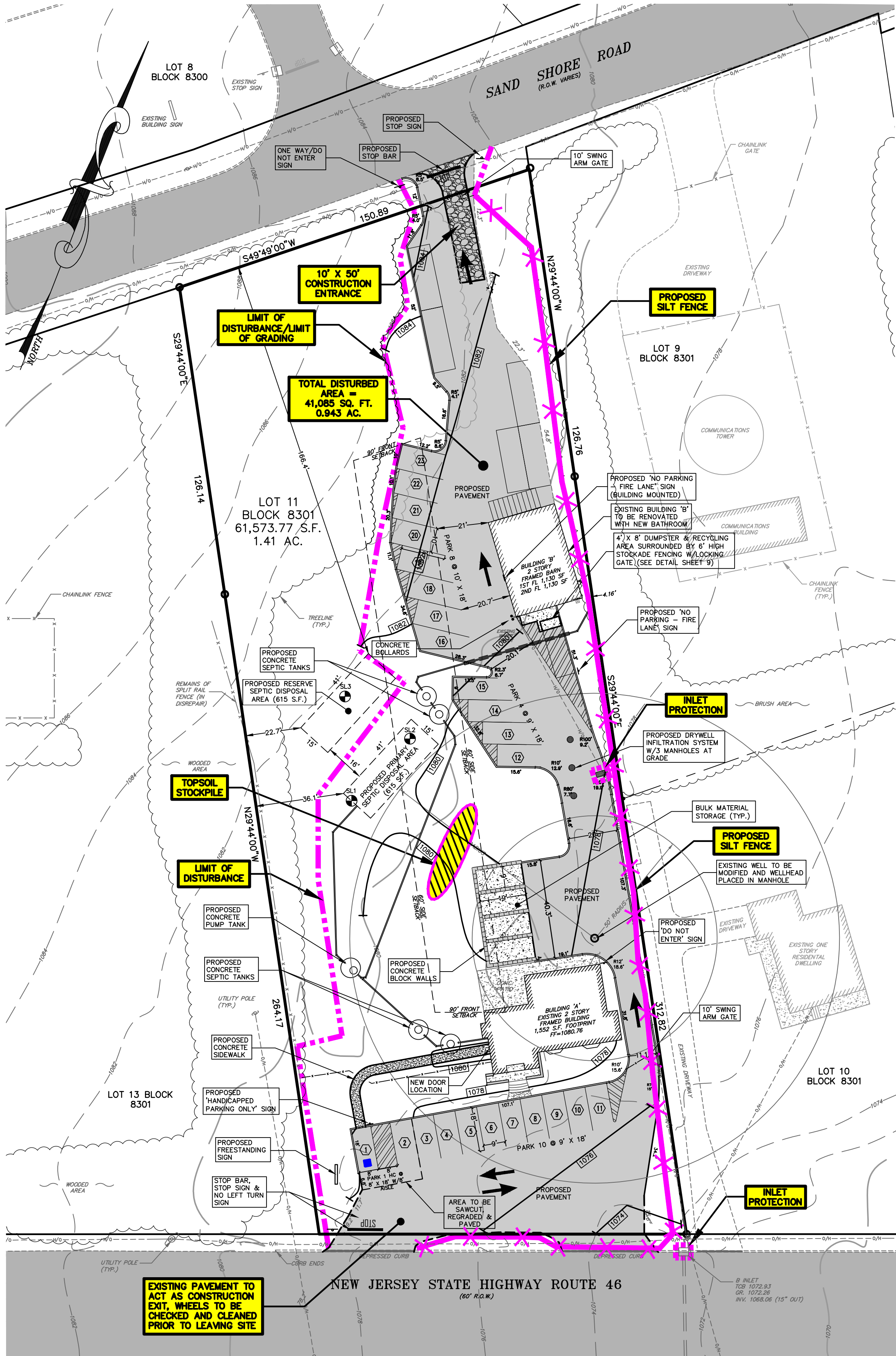


- NOTES:
1. FENCE POSTS SHALL BE SPACED 8' O.C. OR BY MANUFACTURER'S, SHALL BE BURIED AT LEAST 6 INCHES DEEP INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.
 2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP INTO THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

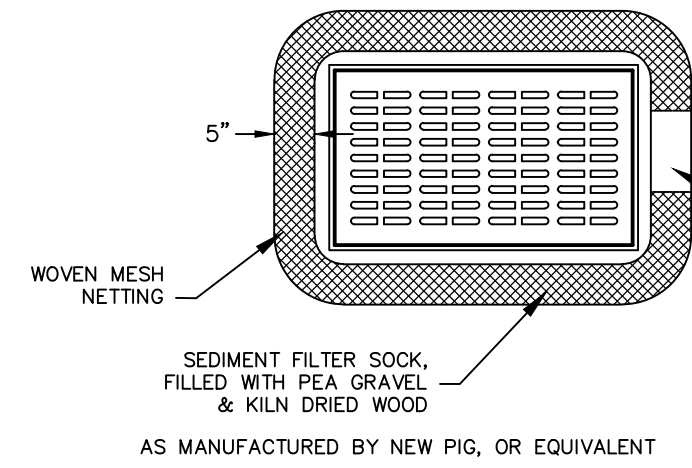
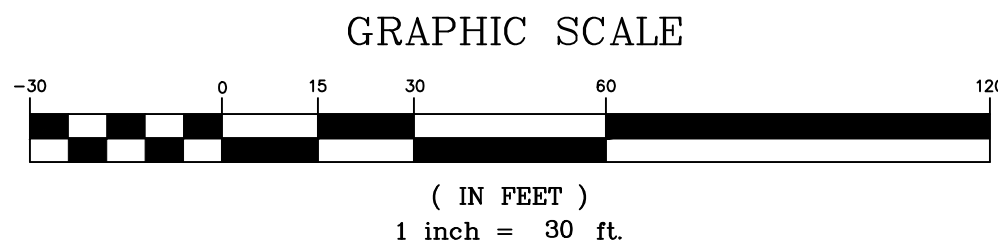
SILT FENCE DETAIL (N.T.S.)

DESCRIPTION	TIME FRAMES
1. INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRON.	3 DAYS
2. LOCATE ALL UNDERGROUND UTILITIES.	1 DAYS
3. PUMP OUT EXISTING SEPTIC TANKS AND REMOVE.	2 DAYS
4. UNCOVER POOL & PATIO AND REMOVE.	2 DAYS
5. INSTALL NEW SEPTIC SYSTEM.	10 DAYS
6. INSTALL NEW BATHROOM IN BUILDING 'B' AND CONNECT UTILITIES.	10 DAYS
7. INSTALL NEW DRYWELL INFILTRATION SYSTEM.	3 DAYS
8. RECONFIGURE PARKING LOT, REMOVE EXCESS GRAVEL & INSTALL CURBING AND CATCH BASIN.	15 DAYS
9. CONNECT ROOFLEADER DRAINS AND CATCH BASIN TO DRYWELL INFILTRATION SYSTEM.	2 DAYS
10. ROUGH GRADE ALL PARKING AREAS.	10 DAYS
11. INSTALL BOLLARDS AND METAL GATES.	3 DAYS
12. RENOVATE INTERIOR OF BOTH BUILDINGS AS REQUIRED.	10 DAYS
13. INSTALL LIGHTING FIXTURES.	3 DAYS
14. INSTALL QUARRY PROCESS STONE & BASE TO NEW PARKING AREAS.	2 DAYS
15. SCARIFY/TILL SUBSOIL TO A DEPTH OF 6".	2 DAYS
16. SLOPE STABILIZATION - PERMANENT SEEDING.	1 DAYS
17. INSTALL PAVEMENT TOP COURSE ON NEW PARKING AREAS.	3 DAYS
18. PARKING LOT STRIPING & SIGNAGE.	1 DAYS
19. LANDSCAPING.	2 DAYS
20. REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES.	±86 DAYS

SEQUENCE OF CONSTRUCTION

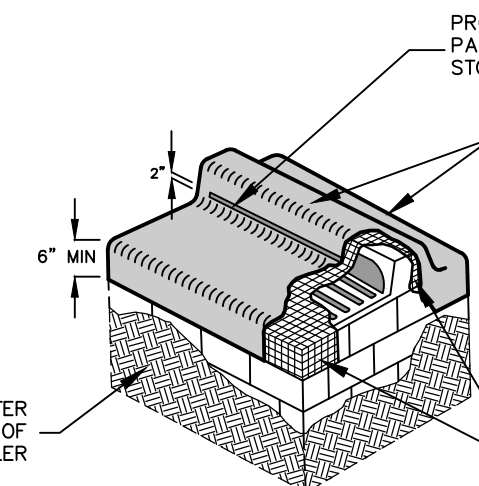


SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE 2



SECTION OF SOCK TO BE MAX. HEIGHT OF 2" FOR OVERFLOW CONTROL. TYPES 'A' & 'E'

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



TYPE 'B'

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
3. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

TEMPORARY CONSTRUCTION FILTER DETAIL (N.T.S.)

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12:5:1	FINE SPRAY	335
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED SOLIDS. SEE SEDIMENT BASIN STANDARD.		
ADOLATED SOY BEAN SOAP STOCK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT. SPREADING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. CALCULUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

LEGEND:

---	SUBJECT PROPERTY LINE (OUTBOUND)
---	ADJACENT PROPERTY LINES
---	EXISTING R.O.W.
---	INDEX CONTOUR
---	INTERIOR CONTOUR
---	EXISTING PAVEMENT
---	PROPOSED PAVEMENT
---	EXISTING SETBACK LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING DRIVEWAY
---	EXISTING STORM SEWER
---	EXISTING CURB
---	EXISTING DEPRESSED CURB
---	PROPOSED CURB
---	PROPOSED SEPTIC LINE
---	PROPOSED SEPTIC BED

---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING ROAD PAVEMENT
---	PROPOSED PAVEMENT
---	EXISTING CONCRETE
---	PROPOSED CONCRETE
---	EXISTING WELL
---	EXISTING IRON PIPE
---	EXISTING B-INLET
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN

---	CONSTRUCTION ENTRANCE
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	TOPSOIL STOCKPILE
---	PROPOSED SPOT GRADE
---	INLET FILTER

FOR SOIL EROSION PURPOSES ONLY

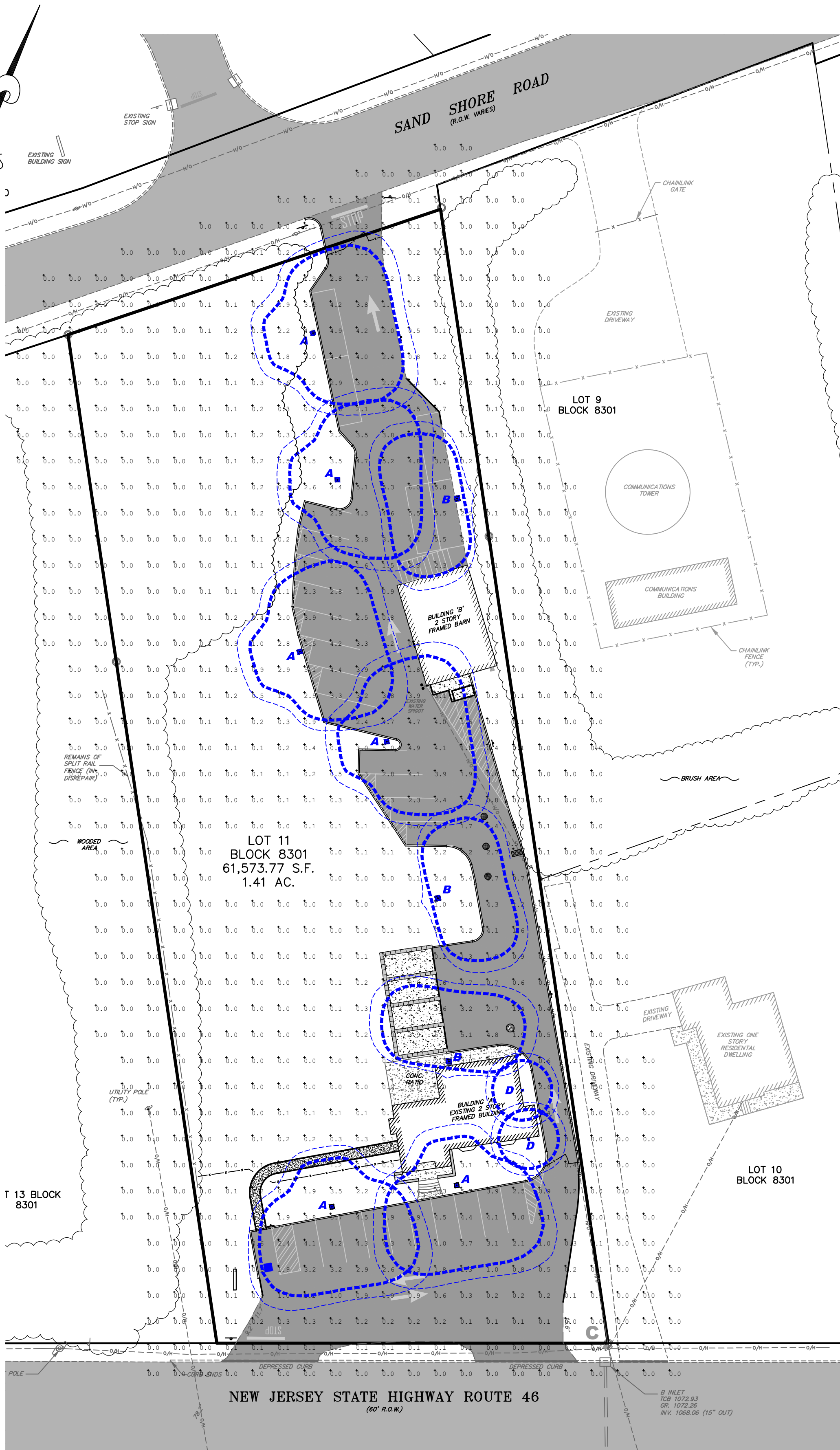
2.	UPDATE	WBB	1/27/23
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Rev. No.	Description	By	Date
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			

SHEET 5 OF 11			
SOIL EROSION & SEDIMENT CONTROL PLAN WITH SOIL EROSION DETAILS			
FOR:			
'GARDEN STATE GROUNDSKEEPING' LOT 11 BLOCK 8301			
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY			
Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

U:\6931 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 2\6931-6 GP Lighting Plan Rev 2.dwg P.S. Civil.ctb

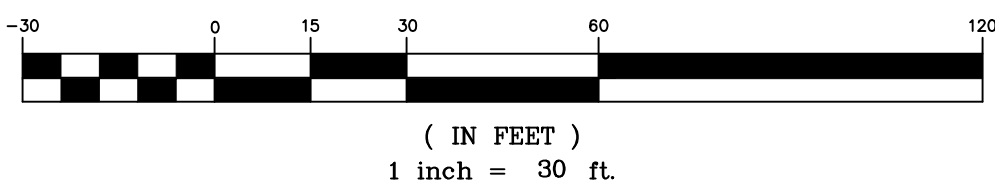
LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING FENCE
	ADJACENT PROPERTY LINES		PROPOSED FENCE
	EXISTING R.O.W.		EXISTING ROAD PAVEMENT
	EXISTING PAVEMENT		PROPOSED PAVEMENT
	PROPOSED PAVEMENT		EXISTING CONCRETE
	EXISTING OVERHEAD UTILITY LINE		PROPOSED CONCRETE
	EXISTING DRIVEWAY		EXISTING WELL
	EXISTING STORM SEWER		EXISTING IRON PIPE
	EXISTING CURB		EXISTING B-INLET
	EXISTING DEPRESSED CURB		EXISTING UTILITY POLE
	PROPOSED CURB		EXISTING LIGHT POLE
	EXISTING TREE LINE		EXISTING SIGN
	PROPOSED TREE LINE		



PROPOSED LIGHTING PLAN

GRAPHIC SCALE



LIGHTING NOTES

- 1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS.
- 2.) ALL MOUNTING HEIGHTS MEASURED FROM LENS TO GRADE BELOW. HEIGHTS ARE SPECIFIED FOR ALL FIXTURES IN CHART BELOW.
- 3.) EXISTING POLE MOUNTED LIGHTS 'C' TO BE REMOVED.
- 4.) ALL LIGHTING FIXTURES & LIGHTING CALCULATIONS GENERATED BY DIVERSIFIED NEW JERSEY. FOR ADDITIONAL SUPPORT AND ORDERING INFO, CONTACT MATTHEW KENNY, DIVERSIFIED NEW JERSEY, 55 LANE ROAD, SUITE 360, FAIRFIELD, NJ 07004. CELL: 973-885-1205, EMAIL: MKENNY@DNVJ.COM. ANY SUBSTITUTIONS MUST BE APPROVED BY THE TOWNSHIP ENGINEER, PRIOR TO INSTALLATION.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	DESCRIPTION	MANUFACTURER	WATTS	LUMENS	COLOR	HEIGHT
	6	A	MIRADA SMALL OUTDOOR LED AREA LIGHT MRS-LED-09L-SIL-FT-40-70CRI	LSI INDUSTRIES, INC.	63W	9330	BRONZE	15.0 FT.
	3	B	MIRADA SMALL OUTDOOR LED AREA LIGHT MRS-LED-09L-SIL-FT-40-70CRI-IL	LSI INDUSTRIES, INC.	63W	6038	BRONZE	15.0 FT.
	2	C	EXISTING HALOGEN LIGHT FIXTURE (TO BE REMOVED)	UNKNOWN	175W (ASSUMED)	UNKNOWN	BRONZE	18.0 FT.
	2	D	SMALL LED WALL LIGHT WLS-LED-01L-40	LSI INDUSTRIES, INC.	13.91W	1629	BRONZE	10.0 FT.

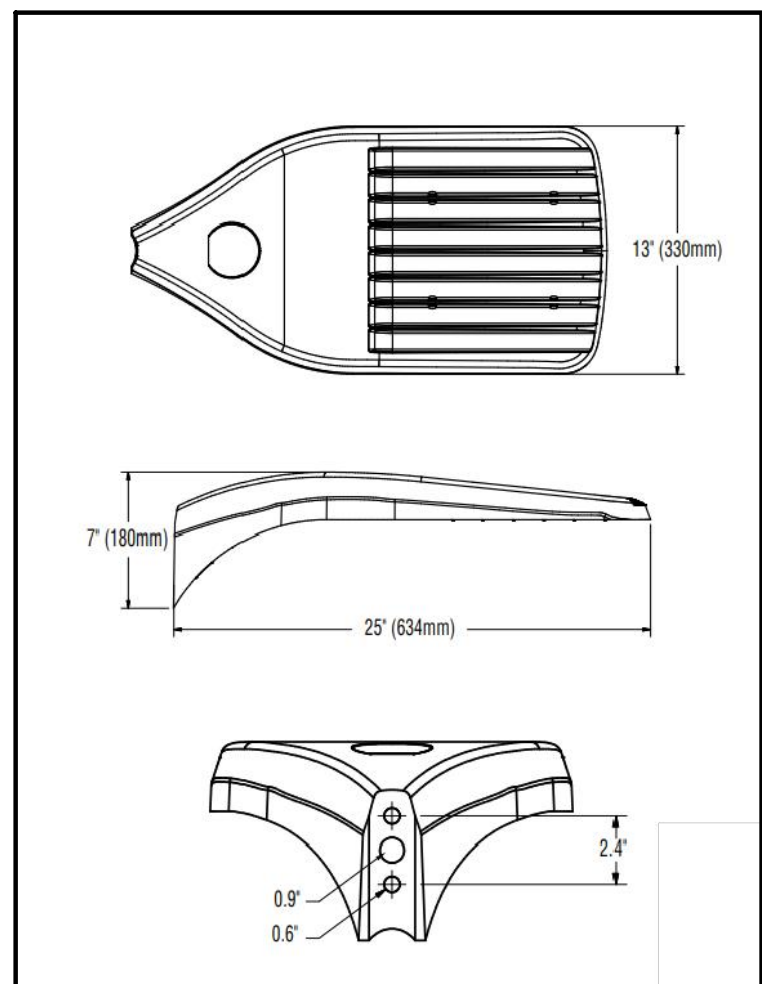
LIGHTING LEGEND

- PROPOSED .1 FC LIGHT TRACE
- PROPOSED .5 FC LIGHT TRACE



MIRADA SMALL LED AREA LIGHT

(N.T.S.)



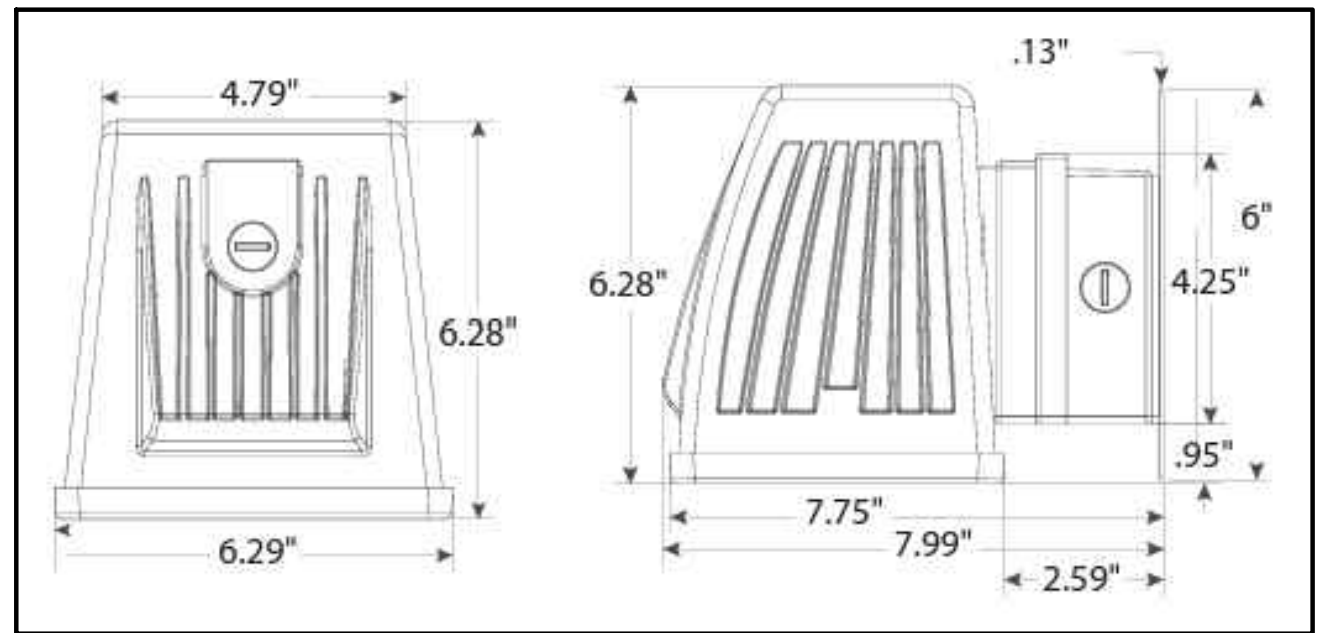
MIRADA SMALL FIXTURE DIMENSIONS

(N.T.S.)



WLS SMALL WALL LIGHT

(N.T.S.)



WLS SMALL WALL LIGHT DIMENSIONS

(N.T.S.)

SHEET 6 OF 11

LIGHTING PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

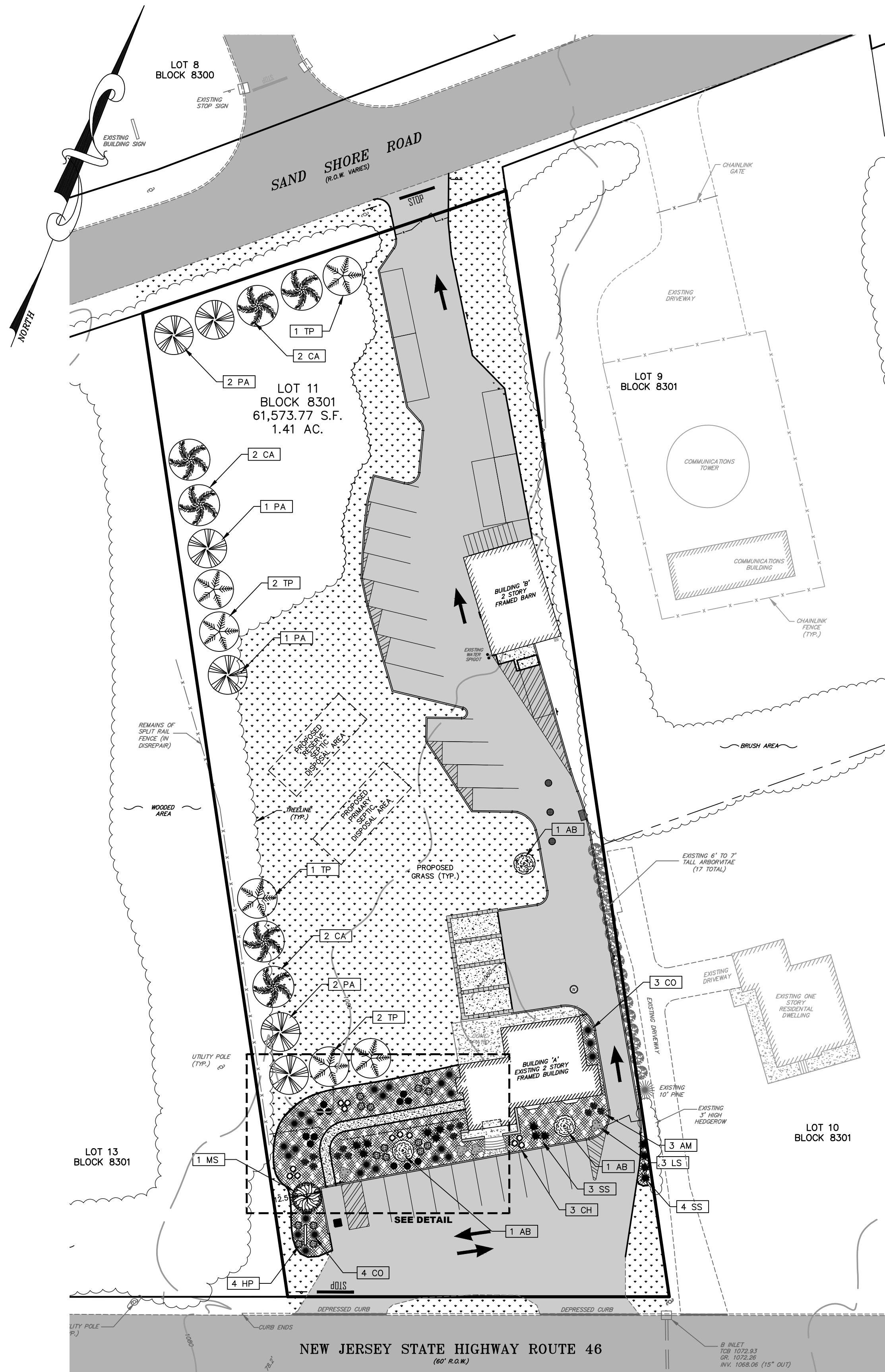
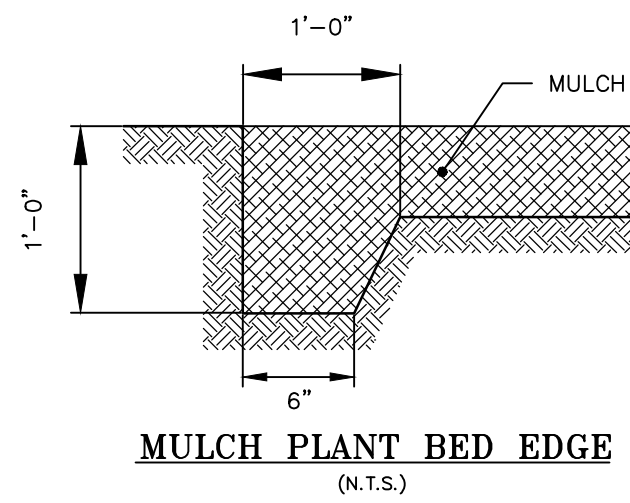
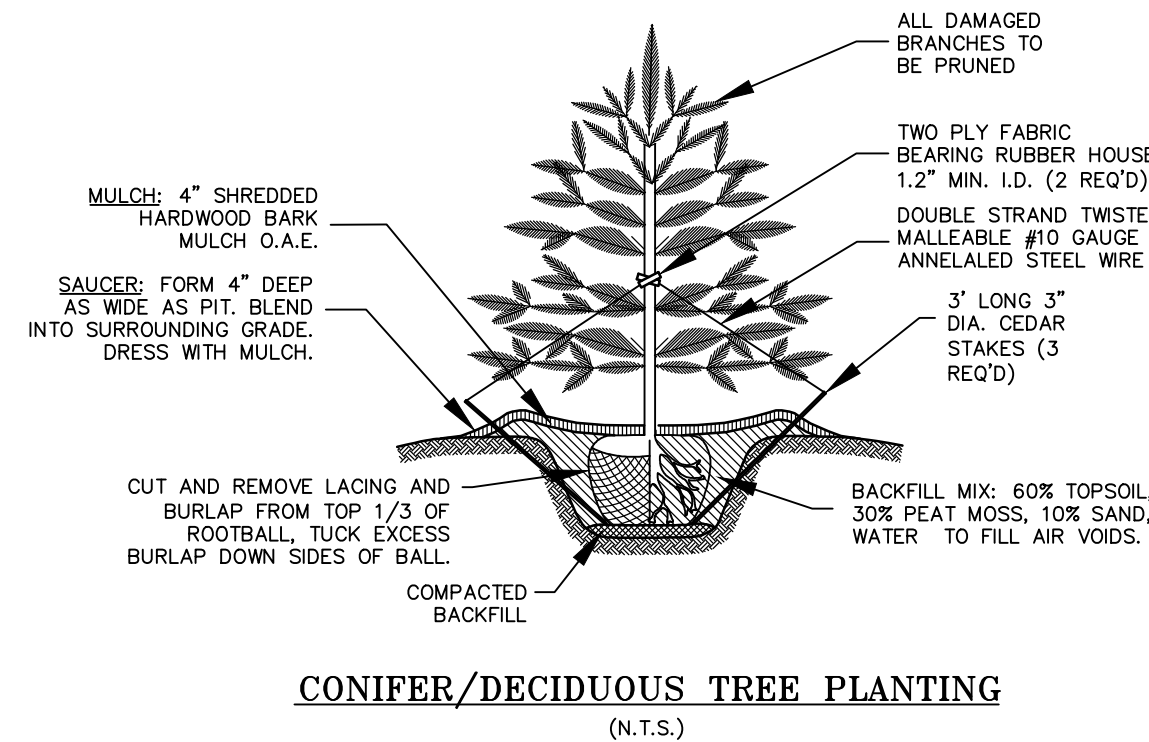
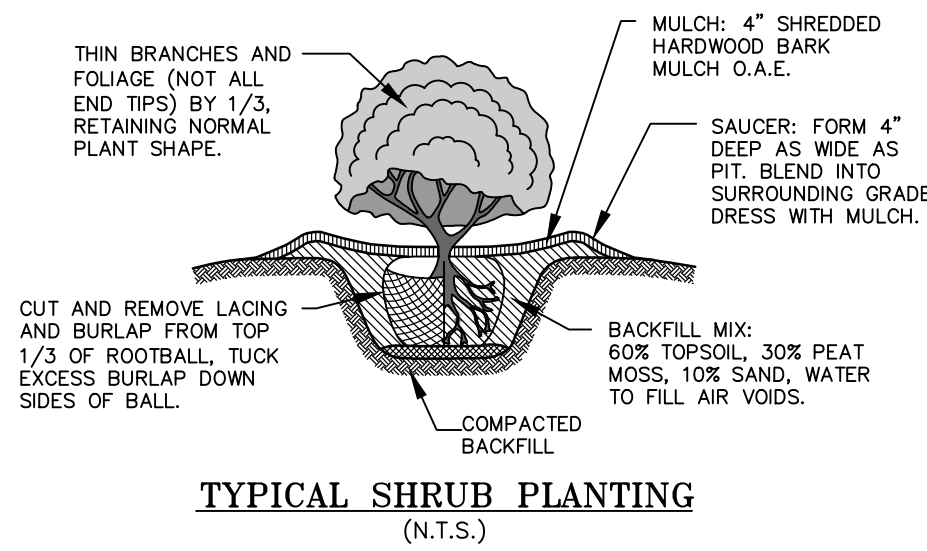
Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

U:\6931 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 2\6931-7 OP Landscaping Plan Rev 2.dwg P.S. Civil\cctb



LANDSCAPING PLAN

GRAPHIC SCALE



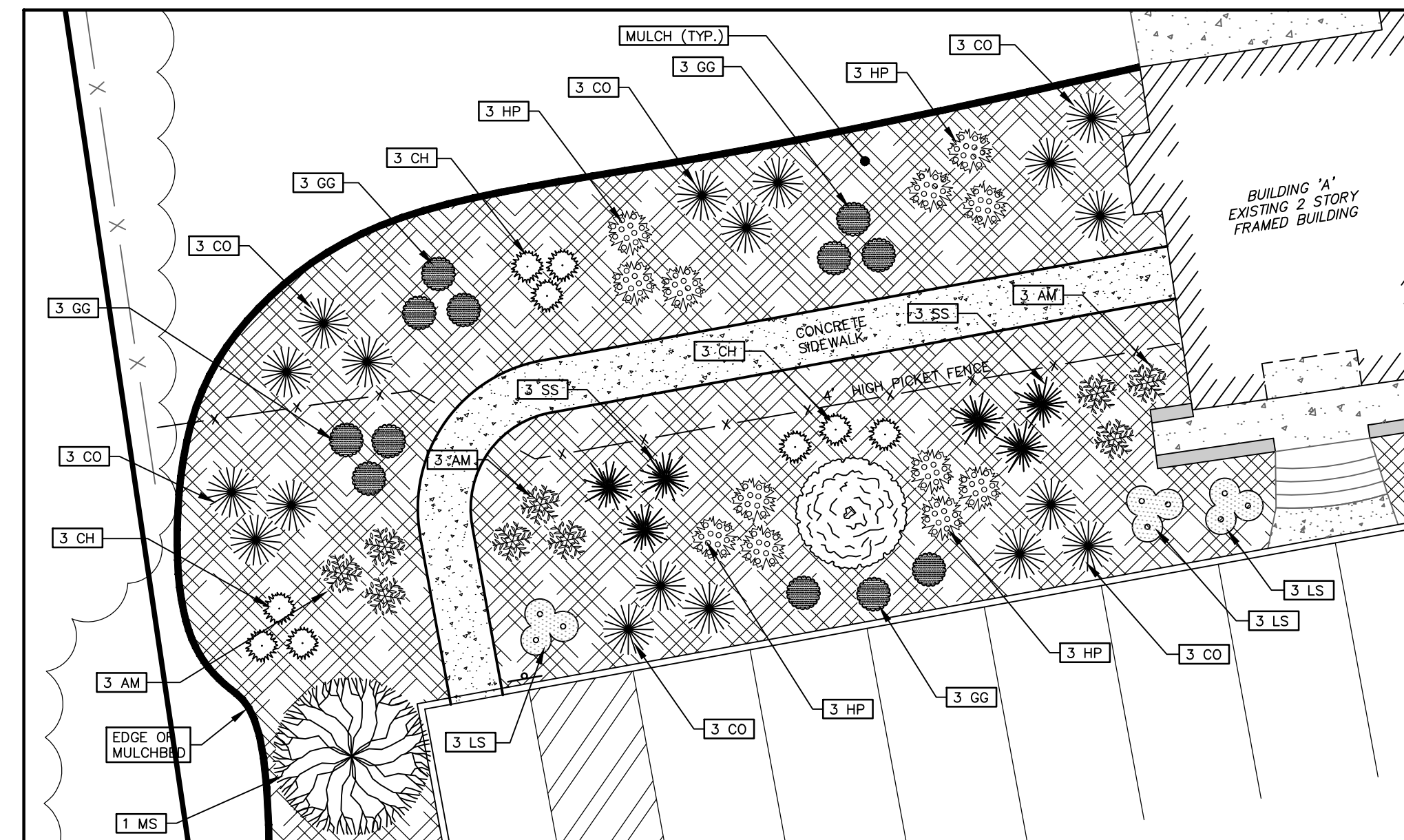
(IN FEET)
1 inch = 30 ft.

LANDSCAPING NOTES:

- ALL BEDS (OUTLINED) TO BE PLANTED WITH HARDWOOD MULCH.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSEYMAN STANDARDS.
- TREE STAKES AND WIRES SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF INSTALLATION.
- LAWN AREAS SHALL BE SEEDED AND MULCHED.

TREE REPLACEMENT

TREES TO BE REMOVED	REPLACEMENT REQUIREMENT	TOTAL REQUIRED =
BETWEEN 6" & 10" CALIPER - 0	FOR EVERY ONE REMOVED "3" REPLACEMENTS REQUIRED	0
BETWEEN 11" & 18" CALIPER - 1	FOR EVERY ONE REMOVED "4" REPLACEMENTS REQUIRED	4
BETWEEN 19" & 24" CALIPER - 0	FOR EVERY ONE REMOVED "5" REPLACEMENTS REQUIRED	0
BETWEEN 25" & 30" CALIPER - 0	FOR EVERY ONE REMOVED "7" REPLACEMENTS REQUIRED	0
BETWEEN 31" & 36" CALIPER - 0	FOR EVERY ONE REMOVED "10" REPLACEMENTS REQUIRED	0
TOTAL REMOVED = 1	TOTAL REQUIREMENT REQUIRED = 4	
	TOTAL REPLACEMENT TREES PROPOSED = 18	



PLANTING BED DETAIL

SCALE: 1" = 10'

PLANTING LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	KEY	QUANTITY	CALIPER	HEIGHT	ROOT	COMMENT
	PICEA ABIES	NORWAY SPRUCE	PA	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	CEDRUS ATLANTICA 'GLAUCA'	BLUE ATLAS CEDAR	CA	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	TP	6 *	2-1/2"+	10'-12'	B&B	EVERGREEN
	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLANCE SERVICEBERRY	AB	3	2"+	2'-3'	B&B	DECIDUOUS
	MALUS SYLVESTRIS 'DOLGO'	EUROPEAN CRABAPPLE	MS	1	2"+	2'-3'	B&B	DECIDUOUS
	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE JAPANESE PLUM YEW	CH	12	-	12"-18"	#3 CONT.	EVERGREEN
	BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	GG	12	-	12"-18"	#5 CONT.	EVERGREEN
	HYDRANGAEA PANICULATA 'JANE'	LITTLE LIME HYDRANGAEA	HP	16	-	12"-18"	#5 CONT.	DECIDUOUS
	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	LS	12	-	12"-18"	#2 CONT.	DECIDUOUS
	SCHIZACHYRIUM SCOPARIUM	STANDING OVATION	SS	13	-	12"-18"	#2 CONT.	DECIDUOUS
	ARONIA MELANOCARPA	LOW SCAPE MOUND CHOKEBERRY	AM	12	-	12"-18"	#3 CONT.	DECIDUOUS
	CAREX OSHIMENSIS 'EVERGOLD'	JAPANESE SEDGE	CO	25	-	12"-18"	#2 CONT.	EVERGREEN

* TOTAL REPLACEMENT TREES = 18

SHEET 7 OF 11

LANDSCAPING PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

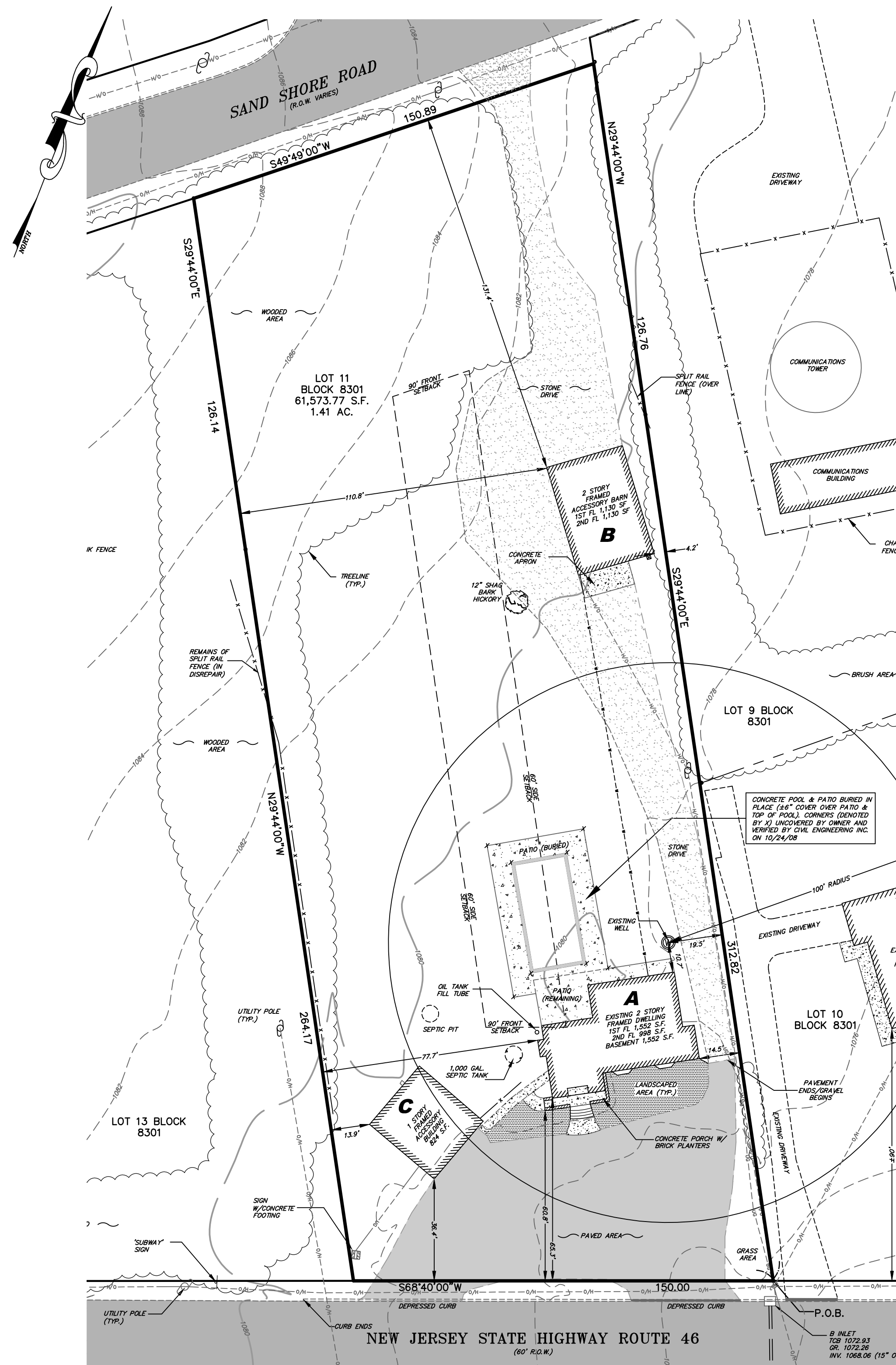
CIVIL ENGINEERING, INC.

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N.J. - C of A #24GA27922000

JAMES G. GLASSON
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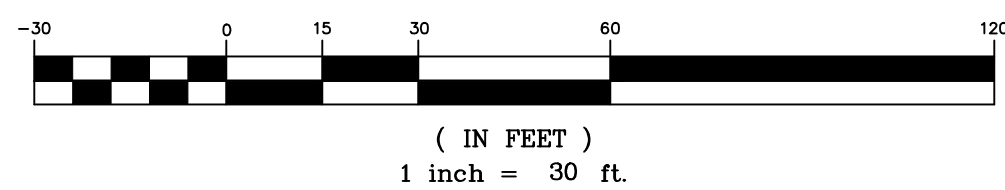
Checked By: JG Date: 4/27/22
Drawn By: WBB Project No: 6931

U:\6931 - Garden State Groundskeeping-Mt Olive\dwg\Site Plan\Rev 2\6931-8 OP Highlands Plan Rev 2.dwg PS: Civilnc.ctb



APPROVED EXISTING CONDITIONS PLAN (PER SURVEY PRIOR TO 2004)

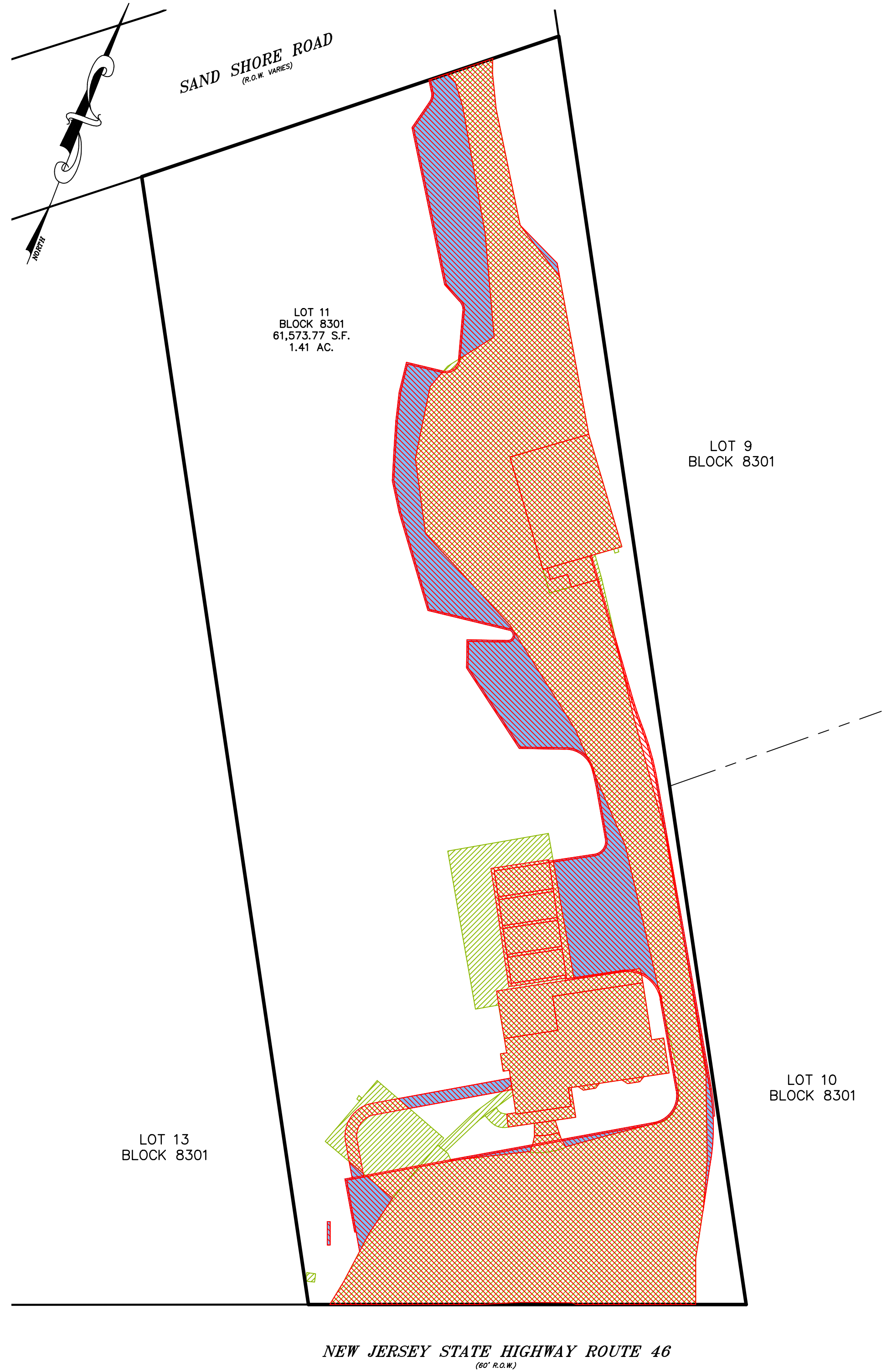
GRAPHIC SCALE



EXISTING IMPERVIOUS COVERAGE

BUILDINGS	
TWO STORY STRUCTURE 'A'	1,552 S.F.
ONE STORY ACCESSORY STRUCTURE 'C'	824 S.F.
TWO STORY ACCESSORY BARN 'B'	1,130 S.F.
PAVEMENT & STONE DRIVEWAY	14,356 S.F.
CONCRETE APRON (BARN)	157 S.F.
CONCRETE POOL & SURROUNDING PATIO (CONFIRMED 10/24/08)	2,264 S.F.
CONCRETE PORCH W/ PLANTERS (STRUCTURE 'A')	101 S.F.
BRICK STEPS (STRUCTURE 'A')	36 S.F.
CONCRETE APRON (STRUCTURE 'A')	52 S.F.
CONCRETE SIDEWALK FROM BLDG. 'A' TO BLDG. 'C'	127 S.F.
SIGN W/ CONCRETE FOOTING	9 S.F.
TOTAL	20,608 S.F.

20,608 SF/61,573 S.F. = 0.3346 OR 33.46%

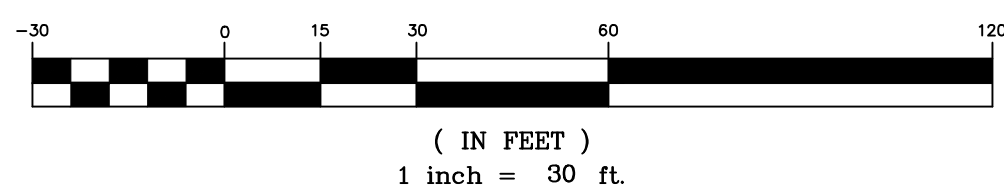


NEW JERSEY STATE HIGHWAY ROUTE 46 (60' R.O.W.)

LAWFULLY EXISTING IMPERVIOUS SURFACES AS OF AUGUST 10, 2004 (20,608 S.F.)	PROPOSED IMPERVIOUS SURFACES (24,201 S.F.)	PROPOSED NEW IMPERVIOUS SURFACES OVER EXISTING NON-IMPERVIOUS SURFACES (5,142 S.F.)	PROPOSED IMPERVIOUS SURFACES OVER EXISTING IMPERVIOUS SURFACES (18,068 S.F.)
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HIGHLANDS OVERLAY PLAN

GRAPHIC SCALE



PROPOSED IMPERVIOUS COVERAGE

EXISTING 2 STORY BARN BUILDING - A	1,552 S.F.
EXISTING 2 STORY BARN BUILDING - B	1,130 S.F.
EXISTING CONCRETE PATIO BEHIND HOUSE - PORTION TO REMAIN	451 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
EXISTING CONCRETE PORCH W/ PLANTERS	101 S.F.
EXISTING BRICK STEPS AT DWELLING	36 S.F.
EXISTING CONCRETE APRON AT BRICK STEPS - PORTION TO REMAIN	23 S.F.
PROPOSED RECONFIGURED & PAVED PARKING LOT	19,287 S.F.
PROPOSED CURBING	387 S.F.
PROPOSED CONCRETE DUMPSTER PAD & APRON	103 S.F.
PROPOSED CONCRETE SIDEWALK	303 S.F.
PROPOSED BLOCK WALLS	136 S.F.
PROPOSED FREESTANDING SIGN	8 S.F.
PROPOSED CONCRETE PADS FOR BULK STORAGE	684 S.F.
TOTAL	24,201 S.F.

24,201 S.F./61,573.77 S.F. = 0.3930 OR 39.30%

EXISTING SURFACES TO BE REMOVED

EXISTING IMPERVIOUS SURFACES REMOVED =

(EXISTING IMPERVIOUS SURFACES + PROPOSED NEW IMPERVIOUS SURFACES) - PROPOSED IMPERVIOUS SURFACES TOTAL

(20,608* S.F. + 5,142 S.F.) - 24,201 S.F. = 1,549 S.F.

* INCLUDES AREA OF EXISTING GARAGE, WHICH WAS PREVIOUSLY REMOVED BUT PRESENT IN AUGUST 2004 AT THE TIME OF THE HIGHLANDS ACT

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE LAND PROTECTED BY THE HIGHLANDS PRESERVATION ACT. TO QUALIFY FOR EXEMPTION FROM THE HIGHLANDS ACT, THE IMPROVED IMPERVIOUS COVERAGE FOOTPRINT MUST BE WITHIN 125 PERCENT OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES ON THE SITE. PROVIDED THAT THE RECONSTRUCTION DOES NOT INCREASE THE LAWFULLY EXISTING IMPERVIOUS SURFACE BY ONE-QUARTER ACRE OR MORE."

THE FIRST CRITERION ABOVE APPLIES TO NEW IMPERVIOUS SURFACES THAT ARE PROPOSED. NEW IMPERVIOUS SURFACES ARE DEFINED AS PROPOSED IMPERVIOUS SURFACES THAT ARE TO BE PLACED UPON EXISTING PERVIOUS AREAS (SUCH AS GRASS), AND NOT UPON EXISTING CONCRETE, GRAVEL, STRUCTURE OR OTHER EXISTING IMPERVIOUS SURFACE. THIS NEW IMPERVIOUS TOTAL, WHEN ADDED TO THE LAWFULLY EXISTING IMPERVIOUS SURFACES, MUST BE WITHIN 125% OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES. THIS IS REFLECTED IN THE FOLLOWING EQUATION:

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

THE SECOND CRITERION APPLIES TO THE NET INCREASE IN IMPERVIOUS SURFACE COMPARED TO THAT WHICH EXISTED LAWFULLY ON AUGUST 10, 2004. THE MAXIMUM AMOUNT OF ADDED IMPERVIOUS SURFACES IS ONE QUARTER ACRE OR 10,890 S.F. THEREFORE, THE PROPOSED IMPERVIOUS SURFACES TOTAL, MINUS THE LAWFULLY EXISTING IMPERVIOUS SURFACES MUST BE LESS THAN 0.25 ACRE. CREDIT WILL BE GIVEN FOR ANY LAWFULLY EXISTING IMPERVIOUS SURFACES THAT ARE REMOVED AT TIME OF CONSTRUCTION. THIS TOTAL WILL BE SUBTRACTED FROM THE PROPOSED NEW IMPERVIOUS SURFACE. THIS IS EXPRESSED IN THE FOLLOWING EQUATION:

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

IN SUMMARY, FOR A PROJECT TO RECEIVE AN EXEMPTION UNDER N.J.A.C. 7:38-2.3(a)4, BOTH CRITERIA (AS DETAILED ABOVE) MUST BE SATISFIED. CREDIT FOR THE REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACES WILL BE FACTORED INTO CRITERIA #2, BUT WILL NOT BE APPLICABLE TO CRITERIA #1.

CRITERIA #1

$$\frac{(\text{PROPOSED NEW IMPERVIOUS SURFACE} + \text{LAWFULLY EXISTING IMPERVIOUS SURFACE})}{(\text{LAWFULLY EXISTING IMPERVIOUS SURFACE})} \leq 1.25$$

$$\frac{5,142 \text{ S.F.} + 20,608 \text{ S.F.}}{20,608 \text{ S.F.}} \leq 1.25$$

$$\frac{25,750 \text{ S.F.}}{20,608 \text{ S.F.}} = 1.249$$

THEREFORE, THE PROPOSED NEW IMPERVIOUS SURFACES IS WITHIN 124.9% OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES AND MEETS CRITERIA #1 FOR HIGHLANDS EXEMPTION.

CRITERIA #2

$$(\text{PROPOSED NEW IMPERVIOUS SURFACE} - \text{ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE}) < 0.25 \text{ ACRE}$$

$$5,142 \text{ S.F.} - 1,549 \text{ S.F.} = 3,593 \text{ S.F.}$$

THEREFORE, THE NET INCREASE IN IMPERVIOUS SURFACES IS 3,593 S.F. OR 0.08 ACRE AND MEETS CRITERIA #2 FOR BEING LESS THAN 0.25 ACRE.

IN CONCLUSION, IT HAS BEEN SHOWN THAT THE PROPOSED IMPROVEMENTS TO THE SUBJECT PROPERTY HAVE MET BOTH CRITERIA FOR HIGHLANDS EXEMPTION UNDER N.J.A.C. 7:38-2.3(a)4

SHEET 8 OF 11

HIGHLANDS OVERLAY PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931

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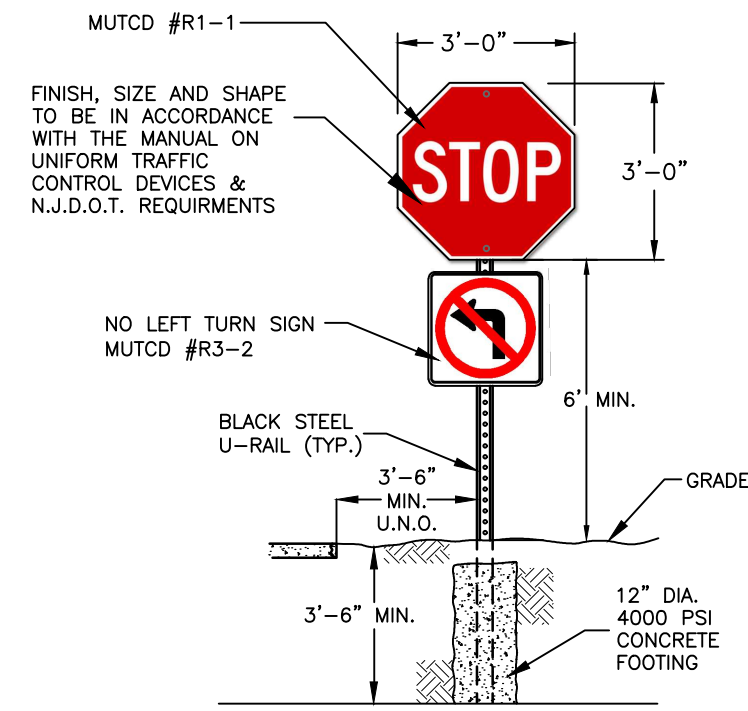
1 COVE STREET
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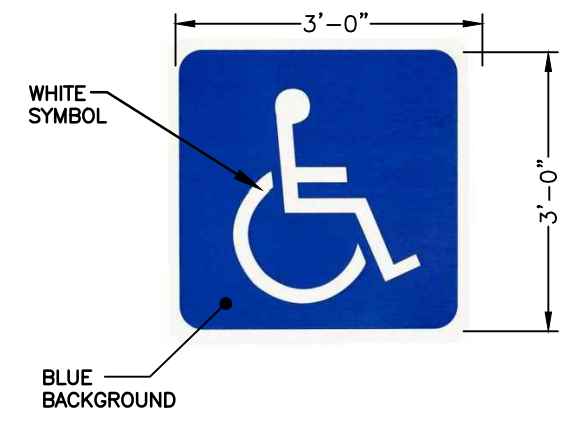
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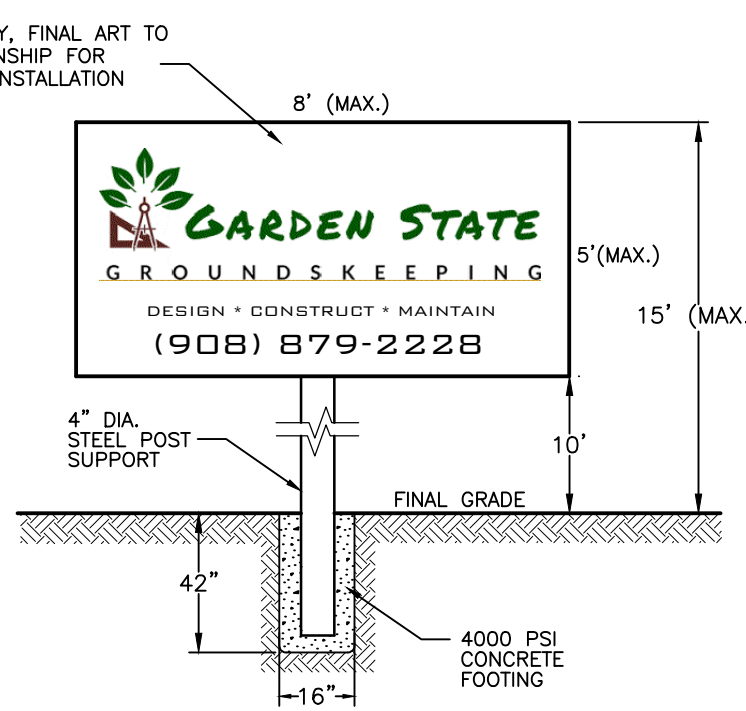
CONSTRUCTION DETAILS



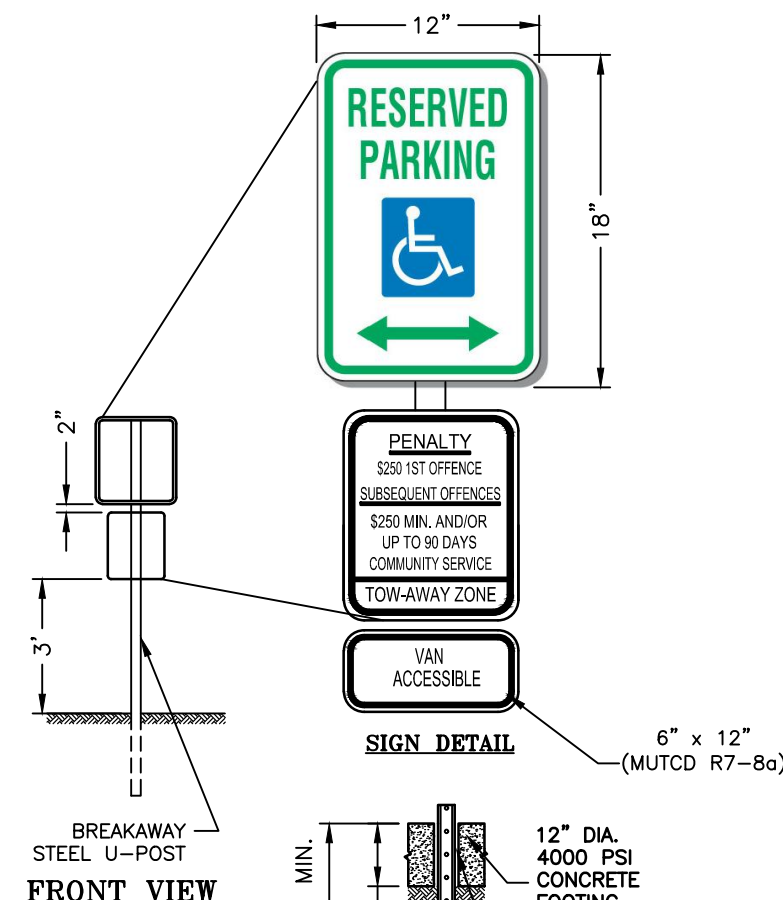
STOP SIGN DETAIL
(N.T.S.)



HANDICAPPED MARKING
(N.T.S.)

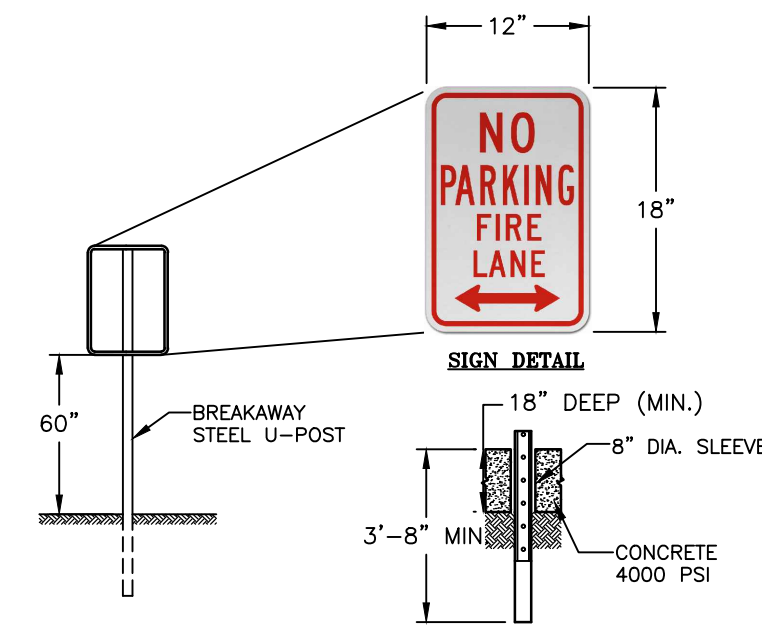


FREE STANDING SIGN DETAIL
(N.T.S.)

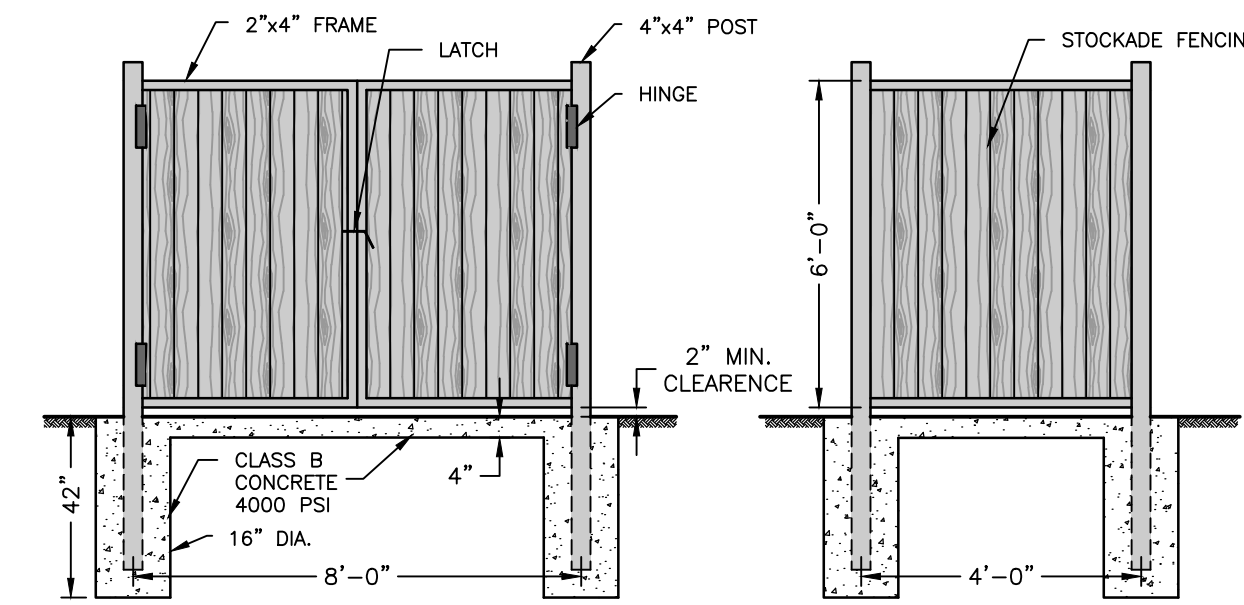


HANDICAPPED SIGN
(MUTCD R7-8)

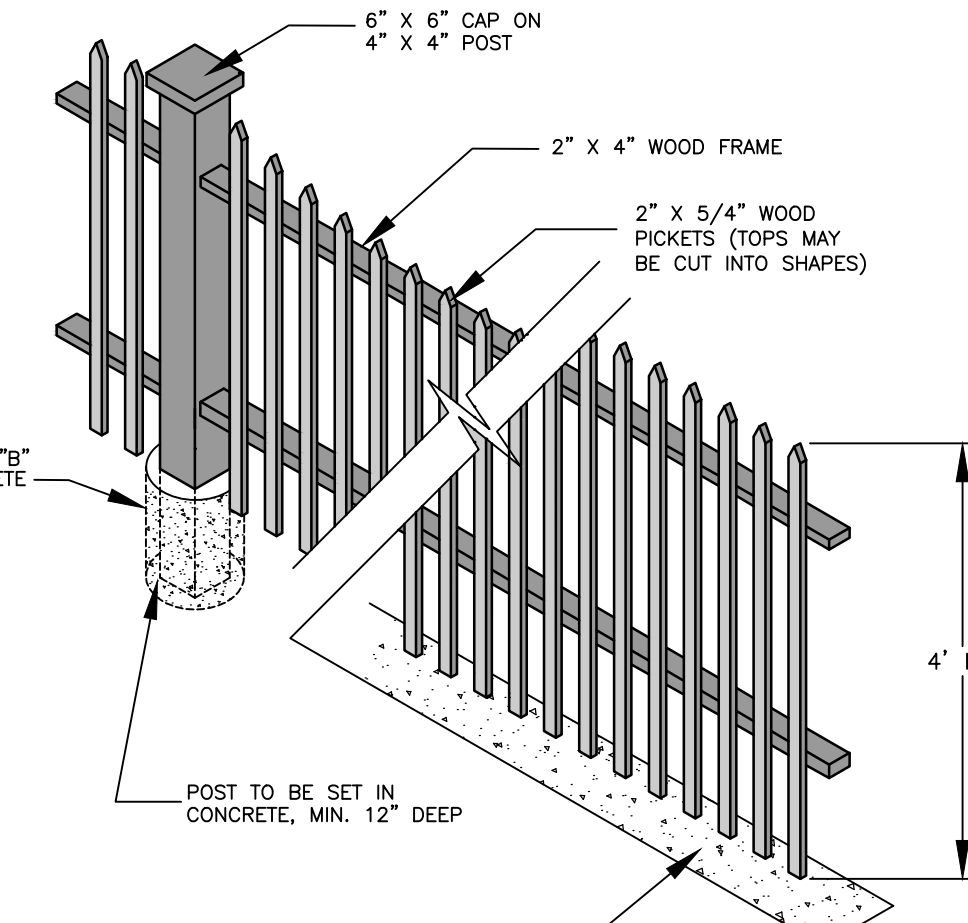
NOTE: SIGN TO SPECIFY "VAN ACCESSIBLE", EITHER ON TOP PORTION OR WITH ADDITIONAL (R7-8a) SIGN



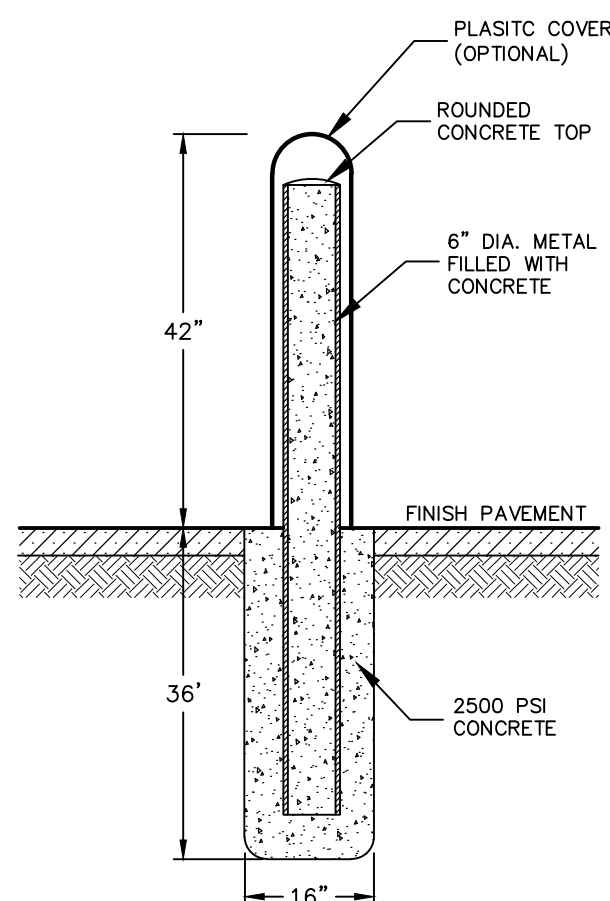
FIRE LANE SIGN
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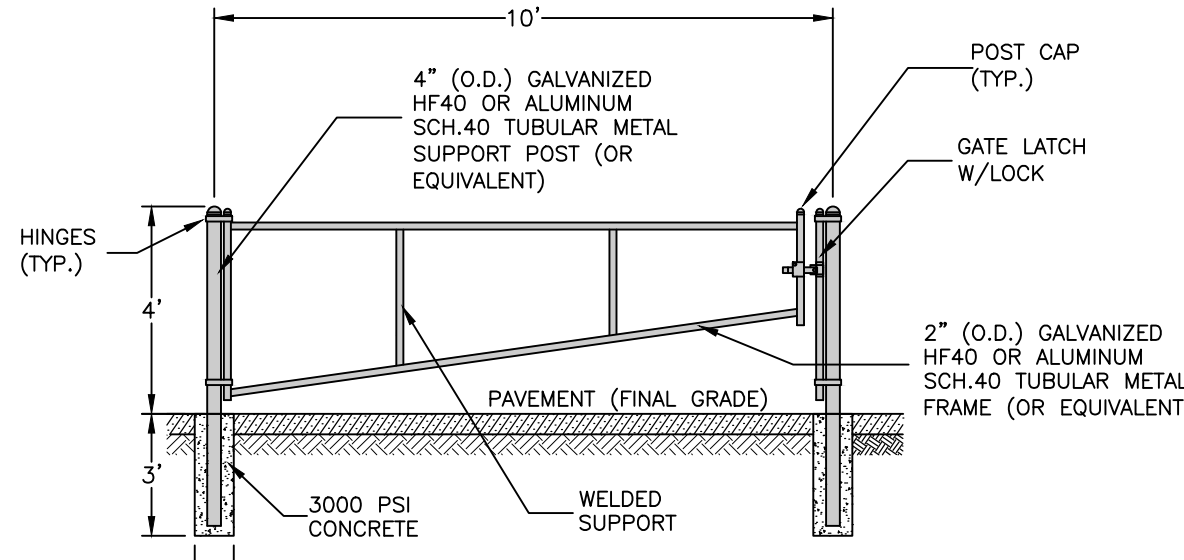
TRASH ENCLOSURE DETAIL
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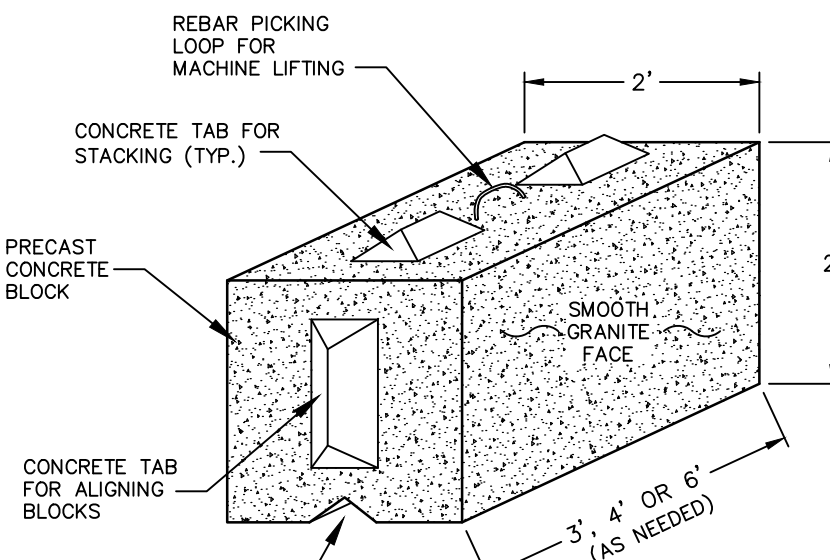
WOOD FENCE DETAIL
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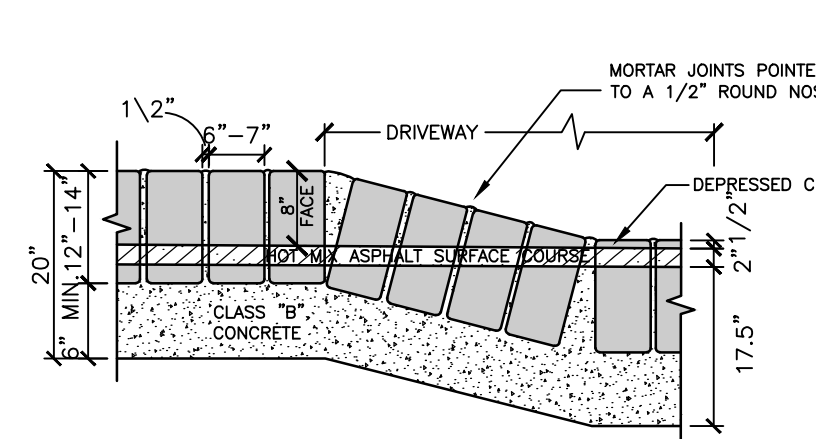
CONCRETE BOLLARD DETAIL
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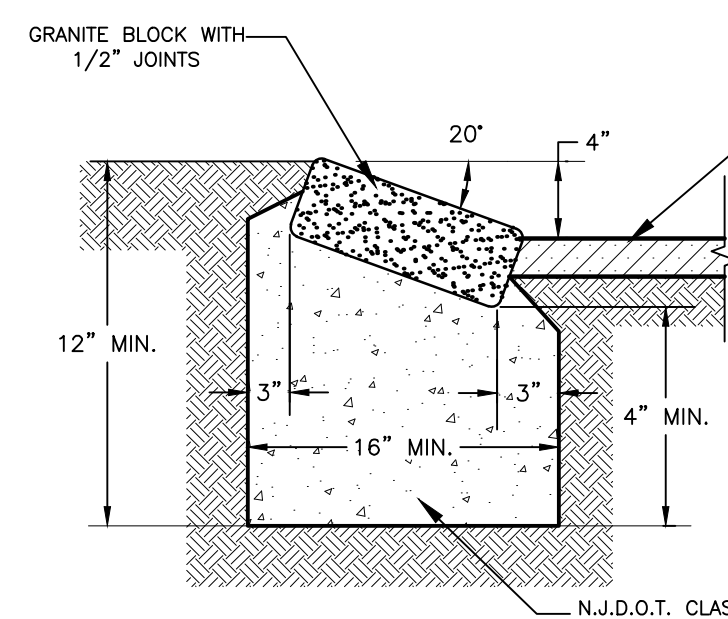
SWING ARM GATE DETAIL
(AS MANUFACTURED BY HOOVER FENCE COMPANY OR EQUIVALENT)



CONCRETE WALL BLOCK DETAIL
(AS SOLD BY TANIS CONCRETE INC., OR EQUIVALENT)



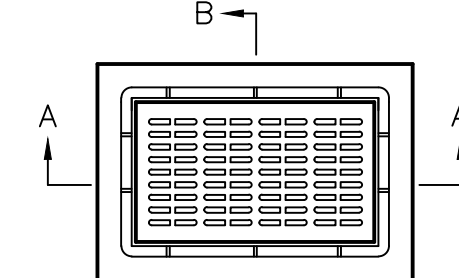
GRANITE BLOCK CURB DETAIL
(N.T.S.)



MOUNTABLE GRANITE BLOCK CURB
(N.T.S.)

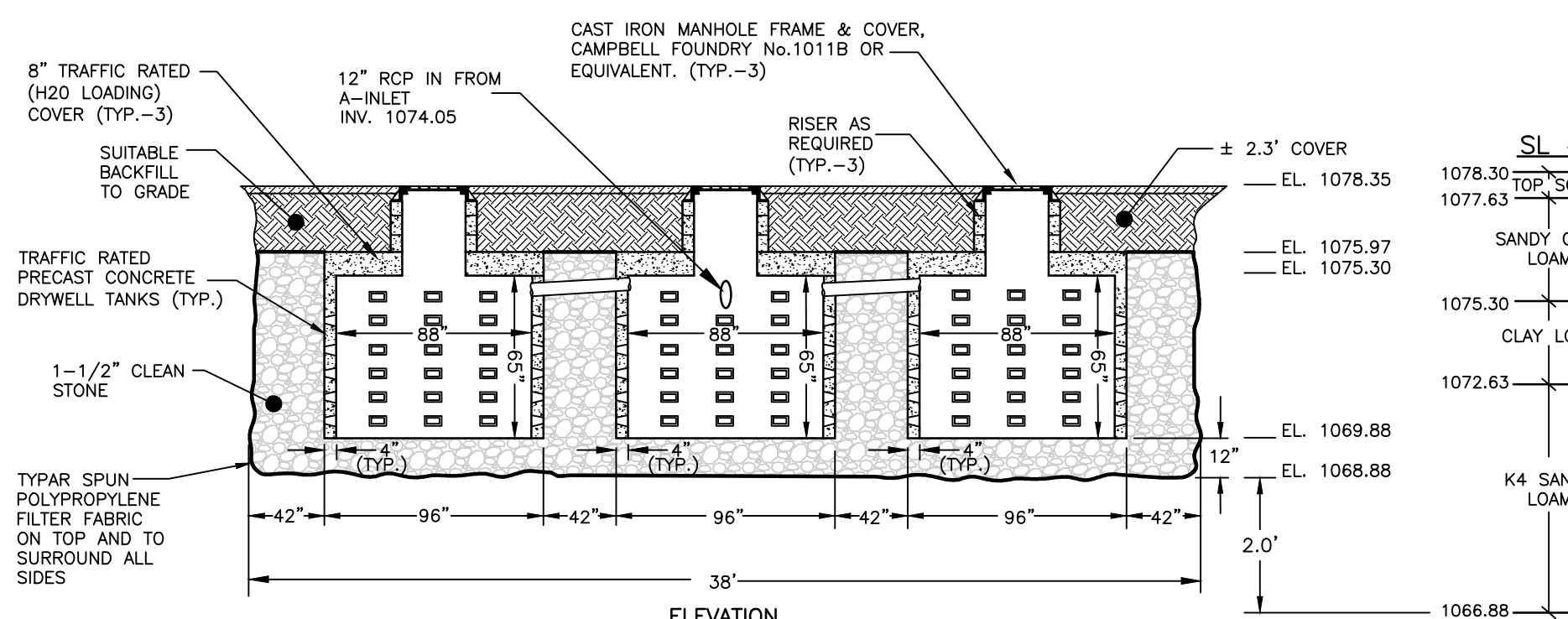


STOP BAR DETAIL
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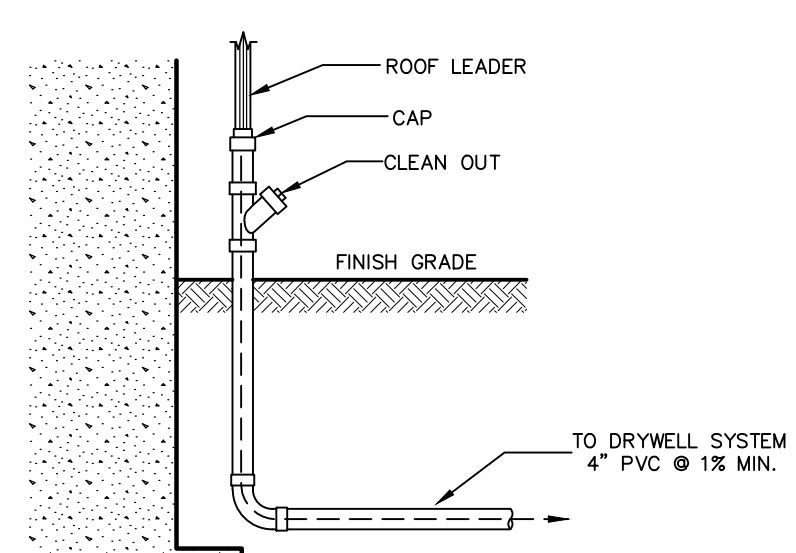
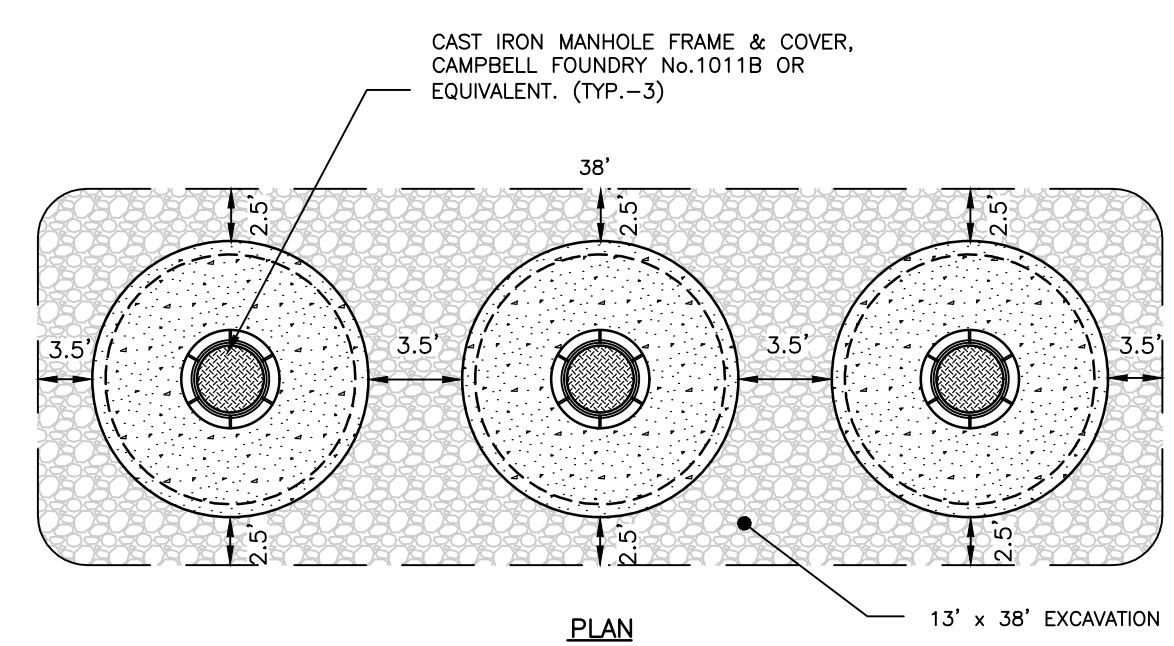


TYPE "A" INLET WITH SUMP DETAIL
(N.T.S.)

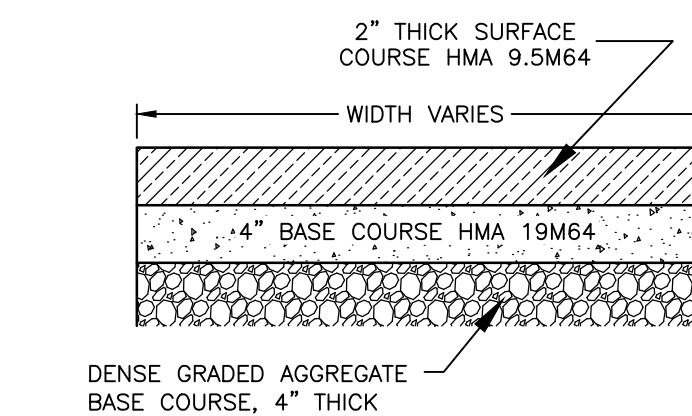
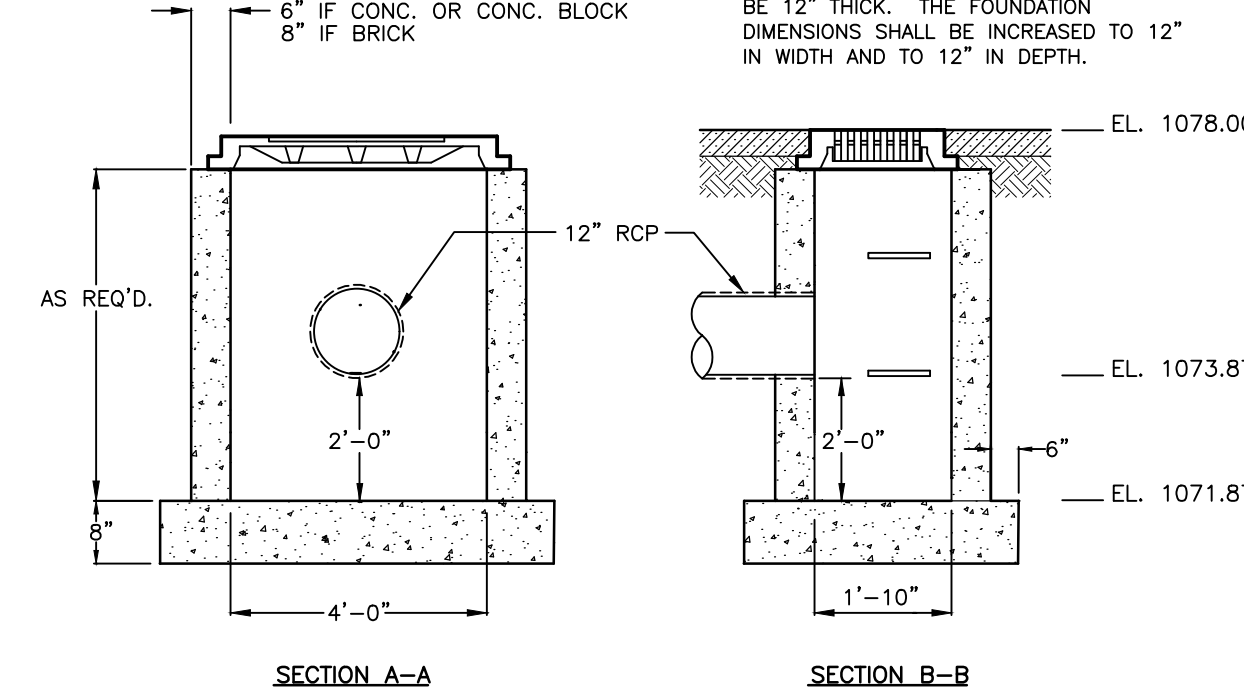
GENERAL NOTES:
1.) FOTTER TO BE CLASS "B" (AIR ENTRAINED).
2.) INVERT TO BE CLASS "C" CONCRETE.
3.) IF WALL CONSTRUCTION IS OTHER THAN CONCRETE THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
4.) GRATE TO BE NO. 2617 0362 AND FRAME TO BE NO. 3432 AS MANUFACTURED BY CAMPBELL FOUNDRY CO., OR APPROVED EQUAL.
5.) PROVIDE 3/4" DIA. W/L LADDER RUNGS, 18" O.C.
6.) WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW DEPTH OF 8'-0" MEASURED FROM THE INLET GUTTER TO INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSIONS SHALL BE INCREASED TO 12" IN WIDTH AND TO 12" IN DEPTH.



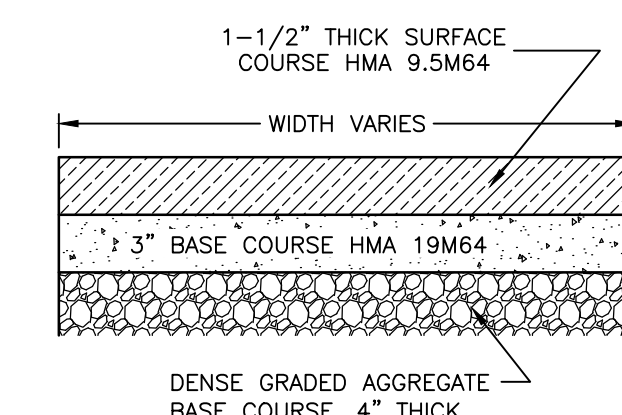
INFILTRATION SYSTEM DETAIL
(N.T.S.)



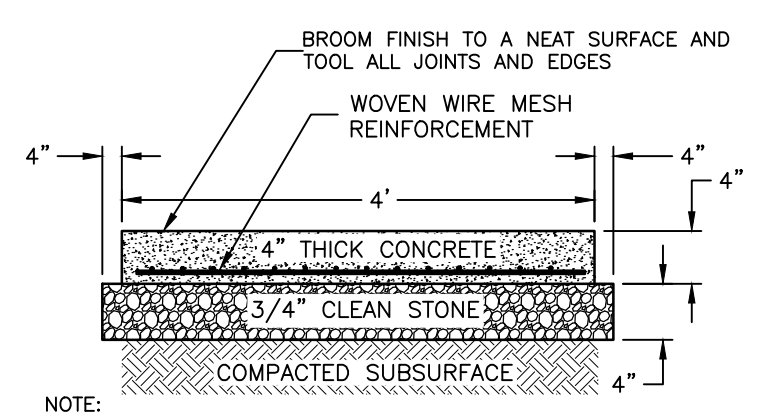
ROOF LEADER DETAIL
(N.T.S.)



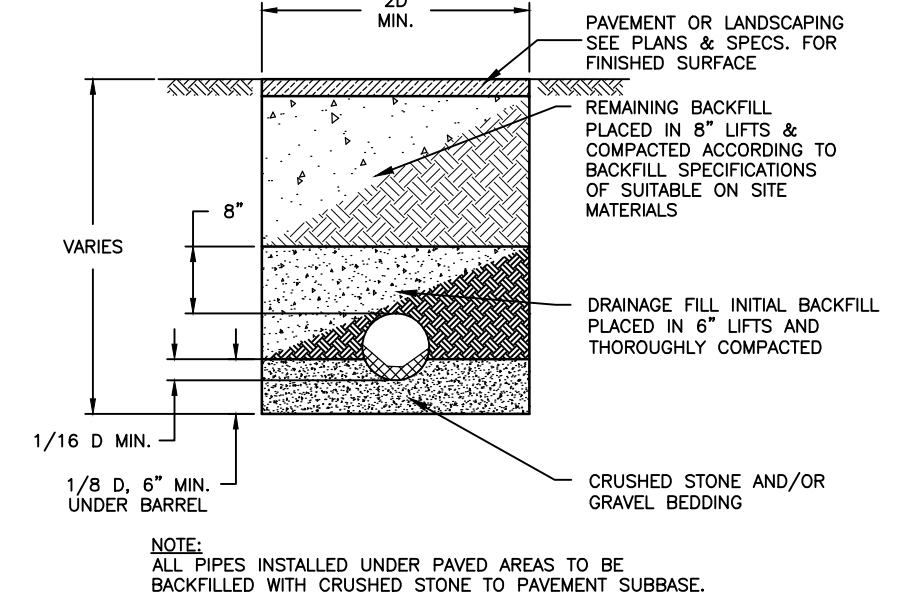
PAVEMENT DETAIL FOR AISLES, AREAS OF INGRESS & EGRESS, AND ALL OTHER AREAS NOT USED FOR PARKING
(N.T.S.)



PAVEMENT DETAIL FOR ALL PARKING AREAS
(N.T.S.)

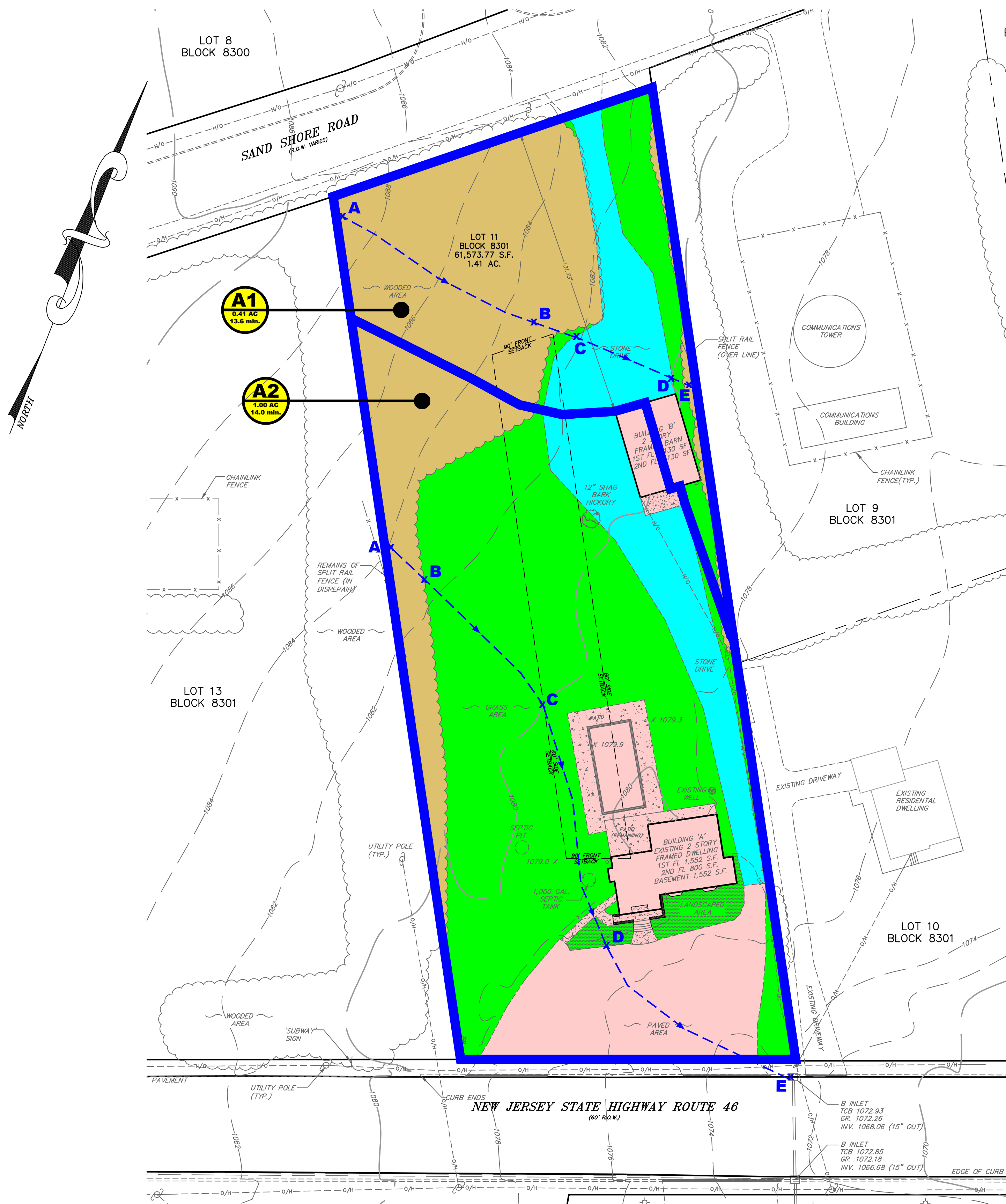


CONCRETE SIDEWALK DETAIL
(N.T.S.)



TYPICAL PIPE BEDDING DETAIL
(N.T.S.)

SOIL LOG
SOIL LOG 4 - PERFORMED MARCH 7, 2022
0' - 2' CLAY LOAM, 7.5% S/B
2' - 3' CLAY LOAM, 10% COBBLE, 5% STONE
3' - 4' SANDY CLAY LOAM, 7.5% S/B
4' - 5' SANDY CLAY LOAM, 7.5% S/B
5' - 6' SANDY CLAY LOAM, 7.5% S/B
6' - 7' SANDY CLAY LOAM, 7.5% S/B
7' - 8' SANDY CLAY LOAM, 7.5% S/B
8' - 9' SANDY CLAY LOAM, 7.5% S/B
9' - 10' SANDY CLAY LOAM, 7.5% S/B
10' - 11' SANDY CLAY LOAM, 7.5% S/B
11' - 12' SANDY CLAY LOAM, 7.5% S/B
12' - 13' SANDY CLAY LOAM, 7.5% S/B
13' - 14' SANDY CLAY LOAM, 7.5% S/B
14' - 15' SANDY CLAY LOAM, 7.5% S/B
15' - 16' SANDY CLAY LOAM, 7.5% S/B
16' - 17' SANDY CLAY LOAM, 7.5% S/B
17' - 18' SANDY CLAY LOAM, 7.5% S/B
18' - 19' SANDY CLAY LOAM, 7.5% S/B
19' - 20' SANDY CLAY LOAM, 7.5% S/B
20' - 21' SANDY CLAY LOAM, 7.5% S/B
21' - 22' SANDY CLAY LOAM, 7.5% S/B
22' - 23' SANDY CLAY LOAM, 7.5% S/B
23' - 24' SANDY CLAY LOAM, 7.5% S/B
24' - 25' SANDY CLAY LOAM, 7.5% S/B
25' - 26' SANDY CLAY LOAM, 7.5% S/B
26' - 27' SANDY CLAY LOAM, 7.5% S/B
27' - 28' SANDY CLAY LOAM, 7.5% S/B
28' - 29' SANDY CLAY LOAM, 7.5% S/B
29' - 30' SANDY CLAY LOAM, 7.5% S/B
30' - 31' SANDY CLAY LOAM, 7.5% S/B
31' - 32' SANDY CLAY LOAM, 7.5% S/B
32' - 33' SANDY CLAY LOAM, 7.5% S/B
33' - 34' SANDY CLAY LOAM, 7.5% S/B
34' - 35' SANDY CLAY LOAM, 7.5% S/B
35' - 36' SANDY CLAY LOAM, 7.5% S/B
36' - 37' SANDY CLAY LOAM, 7.5% S/B
37' - 38' SANDY CLAY LOAM, 7.5% S/B
38' - 39' SANDY CLAY LOAM, 7.5% S/B
39' - 40' SANDY CLAY LOAM, 7.5% S/B
40' - 41' SANDY CLAY LOAM, 7.5% S/B
41' - 42' SANDY CLAY LOAM, 7.5% S/B
42' - 43' SANDY CLAY LOAM, 7.5% S/B
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49' - 50' SANDY CLAY LOAM, 7.5% S/B
50' - 51' SANDY CLAY LOAM, 7.5% S/B
51' - 52' SANDY CLAY LOAM, 7.5% S/B
52' - 53' SANDY CLAY LOAM, 7.5% S/B
53' - 54' SANDY CLAY LOAM, 7.5% S/B
54' - 55' SANDY CLAY LOAM, 7.5% S/B
55' - 56' SANDY CLAY LOAM, 7.5% S/B
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59' - 60' SANDY CLAY LOAM, 7.5% S/B
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61' - 62' SANDY CLAY LOAM, 7.5% S/B
62' - 63' SANDY CLAY LOAM, 7.5% S/B
63' - 64' SANDY CLAY LOAM, 7.5% S/B
64' - 65' SANDY CLAY LOAM, 7.5% S/B
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66' - 67' SANDY CLAY LOAM, 7.5% S/B
67' - 68' SANDY CLAY LOAM, 7.5% S/B
68' - 69' SANDY CLAY LOAM, 7.5% S/B
69' - 70' SANDY CLAY LOAM, 7.5% S/B
70' - 71' SANDY CLAY LOAM, 7.5% S/B
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72' - 73' SANDY CLAY LOAM, 7.5% S/B
73' - 74' SANDY CLAY LOAM, 7.5% S/B
74' - 75' SANDY CLAY LOAM, 7.5% S/B
75' - 76' SANDY CLAY LOAM, 7.5% S/B
76' - 77' SANDY CLAY LOAM, 7.5% S/B
77' - 78' SANDY CLAY LOAM, 7.5% S/B
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84' - 85' SANDY CLAY LOAM, 7.5% S/B
85' - 86' SANDY CLAY LOAM, 7.5% S/B
86' - 87' SANDY CLAY LOAM, 7.5% S/B
87' - 88' SANDY CLAY LOAM, 7.5% S/B
88' - 89' SANDY CLAY LOAM, 7.5% S/B
89' - 90' SANDY CLAY LOAM, 7.5% S/B
90' - 91' SANDY CLAY LOAM, 7.5% S/B
91' - 92' SANDY CLAY LOAM, 7.5% S/B
92' - 93' SANDY CLAY LOAM, 7.5% S/B
93' - 94' SANDY CLAY LOAM, 7.5% S/B
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108' - 109' SANDY CLAY LOAM, 7.5% S/B
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111' - 112' SANDY CLAY LOAM, 7.5% S/B
112' - 113' SANDY CLAY LOAM, 7.5% S/B
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115' - 116' SANDY CLAY LOAM, 7.5% S/B
116' - 117' SANDY CLAY LOAM, 7.5% S/B
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122' - 123' SANDY CLAY LOAM, 7.5% S/B
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124' - 125' SANDY CLAY LOAM, 7.5% S/B
125' - 126' SANDY CLAY LOAM, 7.5% S/B
126' - 127' SANDY CLAY LOAM, 7.5% S/B
127' - 128' SANDY CLAY LOAM, 7.5% S/B
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137' - 138' SANDY CLAY LOAM, 7.5% S/B
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152' - 153' SANDY CLAY LOAM, 7.5% S/B
153' - 154' SANDY CLAY LOAM, 7.5% S/B
154' - 155' SANDY CLAY LOAM, 7.5% S/B
155' - 156' SANDY CLAY LOAM, 7.5% S/B
156' - 157' SANDY CLAY LOAM, 7.5% S/B
157' - 158' SANDY CLAY LOAM, 7.5% S/B
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164' - 165' SANDY CLAY LOAM, 7.5% S/B
165' - 166' SANDY CLAY LOAM, 7.5% S/B
166' - 167' SANDY CLAY LOAM, 7.5% S/B
167' - 168' SANDY CLAY LOAM, 7.5% S/B
168' - 169' SANDY CLAY LOAM, 7.5% S/B
169' - 170' SANDY CLAY LOAM, 7.5% S/B
170' - 171' SANDY CLAY LOAM, 7.5% S/B
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172' - 173' SANDY CLAY LOAM, 7.5% S/B
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182' - 183' SANDY CLAY LOAM, 7.5% S/B
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184' - 185' SANDY CLAY LOAM, 7.5% S/B
185' - 186' SANDY CLAY LOAM, 7.5% S/B
186' - 187' SANDY CLAY LOAM, 7.5% S/B
187' - 188' SANDY CLAY LOAM, 7.5% S/B
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218' - 219' SANDY CLAY LOAM, 7.5% S/B
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225' - 226' SANDY CLAY LOAM, 7.5% S/B
226' - 227' SANDY CLAY LOAM, 7.5% S/B
227' - 228' SANDY CLAY LOAM, 7.5% S/B
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230' - 231' SANDY CLAY LOAM, 7.5% S/B
231' - 232' SANDY CLAY LOAM, 7.5% S/B
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234' - 235' SANDY CLAY LOAM, 7.5% S/B
235' - 236' SANDY CLAY LOAM, 7.5% S/B
236' - 237' SANDY CLAY LOAM, 7.5% S/B
237' - 238' SANDY CLAY LOAM, 7.5% S/B
238' - 239' SANDY CLAY LOAM, 7.5% S/B
239' - 240' SANDY CLAY LOAM, 7.5% S/B
240' - 241' SANDY CLAY LOAM, 7.5% S/B
241' - 242' SANDY CLAY LOAM, 7.5% S/B
242' - 243' SANDY CLAY LOAM, 7.5% S/B
243' - 244' SANDY CLAY LOAM, 7.5% S/B
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255' - 256' SANDY CLAY LOAM, 7.5% S/B
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258' - 259' SANDY CLAY LOAM, 7.5% S/B
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261' - 262' SANDY CLAY LOAM, 7.5% S/B
262' - 263' SANDY CLAY LOAM, 7.5% S/B
263' - 264' SANDY CLAY LOAM, 7.5% S/B
264' - 265' SANDY CLAY LOAM, 7.5% S/B
265' - 266' SANDY CLAY LOAM, 7.5% S/B
266' - 267' SANDY CLAY LOAM, 7.5% S/B
267' - 268' SANDY CLAY LOAM, 7.5% S/B
268' - 269' SANDY CLAY LOAM, 7.5% S/B
269' - 270' SANDY CLAY LOAM, 7.5% S/B
270' - 271' SANDY CLAY LOAM, 7.5% S/B
271' - 272' SANDY CLAY LOAM, 7.5% S/B
272' - 273' SANDY CLAY LOAM, 7.5% S/B
273' - 274' SANDY CLAY LOAM, 7.5% S/B
274' - 275' SANDY CLAY LOAM, 7.5% S/B
275' - 276' SANDY CLAY LOAM, 7.5% S/B
276' - 277' SANDY CLAY LOAM, 7.5% S/B
277' - 278' SANDY CLAY LOAM, 7.5% S/B
278' - 279' SANDY CLAY LOAM, 7.5% S/B
279' - 280' SANDY CLAY LOAM, 7.5% S/B
280' - 281' SANDY CLAY LOAM, 7.5% S/B
281' - 282' SANDY CLAY LOAM, 7.5% S/B
282' - 283' SANDY CLAY LOAM, 7.5% S/B
283' - 284' SANDY CLAY LOAM, 7.5% S/B
284' - 285' SANDY CLAY LOAM, 7.5% S/B
285' - 286' SANDY CLAY LOAM, 7.5% S/B
286' - 287' SANDY CLAY LOAM, 7.5% S/B
287' - 288' SANDY CLAY LOAM, 7.5% S/B
288' - 289' SANDY CLAY LOAM, 7.5% S/B
289' - 290' SANDY CLAY LOAM, 7.5% S/B
290' - 291' SANDY CLAY LOAM, 7.5% S/B
291' - 292' SANDY CLAY LOAM, 7.5% S/B
292' - 293' SANDY CLAY LOAM, 7.5% S/B
293' - 294' SANDY CLAY LOAM, 7.5% S/B
294' - 295' SANDY CLAY LOAM, 7.5% S/B
295' - 296' SANDY CLAY LOAM, 7.5% S/B
296' - 297' SANDY CLAY LOAM, 7.5% S/B
297' - 298' SANDY CLAY LOAM, 7.5% S/B
298' - 299' SANDY CLAY LOAM, 7.5% S/B
299' - 300' SANDY CLAY LOAM, 7.5% S/B
300' - 301' SANDY CLAY LOAM, 7.5% S/B
301' - 302' SANDY CLAY LOAM, 7.5% S/B
302' - 303' SANDY CLAY LOAM, 7.5% S/B
303' - 304' SANDY CLAY LOAM, 7.5% S/B
304' - 305' SANDY CLAY LOAM, 7.5% S/B
305' - 306' SANDY CLAY LOAM, 7.5% S/B
306' - 307' SANDY CLAY LOAM, 7.5% S/B
307' - 308' SANDY CLAY LOAM, 7.5% S/B
308' - 309' SANDY CLAY LOAM, 7.5% S/B
309' - 310' SANDY CLAY LOAM, 7.5% S/B
310' - 311' SANDY CLAY LOAM, 7.5% S/B
311' - 312' SANDY CLAY LOAM, 7.5% S/B
312' - 313' SANDY CLAY LOAM, 7.5% S/B
313' - 31



LEGEND:

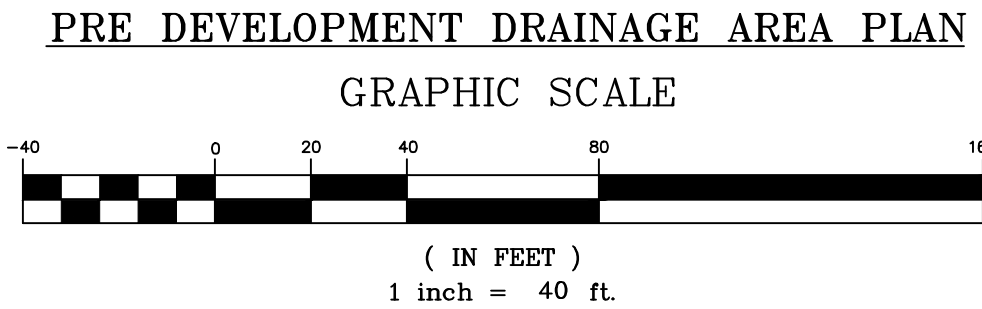
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA DESIGNATION
- TOTAL AREA (AC)
- TIME OF CONCENTRATION FLOW PATH
- BEGINNING/ENDING OF FLOW PATH

PRE-DEVELOPMENT AREAS

IMPERVIOUS (ROOF, PAVEMENT, PATIO, ETC.)	(11,670 S.F.) - 0.268 AC
WOODS	(16,755 S.F.) - 0.385 AC
GRASS	(25,035 S.F.) - 0.575 AC
GRAVEL	(8,114 S.F.) - 0.186 AC
TOTAL (61,574 S.F.) - 1.414 AC	

LEGEND:

- SUBJECT PROPERTY LINE (OUTBOUND)
- SETBACK LINE
- ADJACENT PROPERTY LINES
- EXISTING R.O.W.
- INDEX CONTOUR
- INTERIOR CONTOUR
- EXISTING PAVEMENT
- EXISTING SETBACK LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING DRIVEWAY
- EXISTING STORM SEWER
- EXISTING CURB
- EXISTING DEPRESSED CURB
- EXISTING GRAVEL
- EXISTING TREE LINE
- EXISTING FENCE
- EXISTING CONCRETE
- EXISTING IRON PIPE
- EXISTING A-INLET
- EXISTING B-INLET
- EXISTING UTILITY POLE
- EXISTING WELL
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING TREE



2. UPDATE WBB 1/27/23

1. UPDATE WBB 7/27/22

Rev. No.	Description	By	Date

PRE DEVELOPMENT DRAINAGE AREA PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'

LOT 11 BLOCK 8301

TOWNSHIP OF MOUNT OLIVE

MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 4/27/22
Drawn By: WBB	Project No: 6931

CIVIL ENGINEERING, INC.

1 COVE STREET

BUDD LAKE, N.J. 07828

Telephone: (973) 426-1776

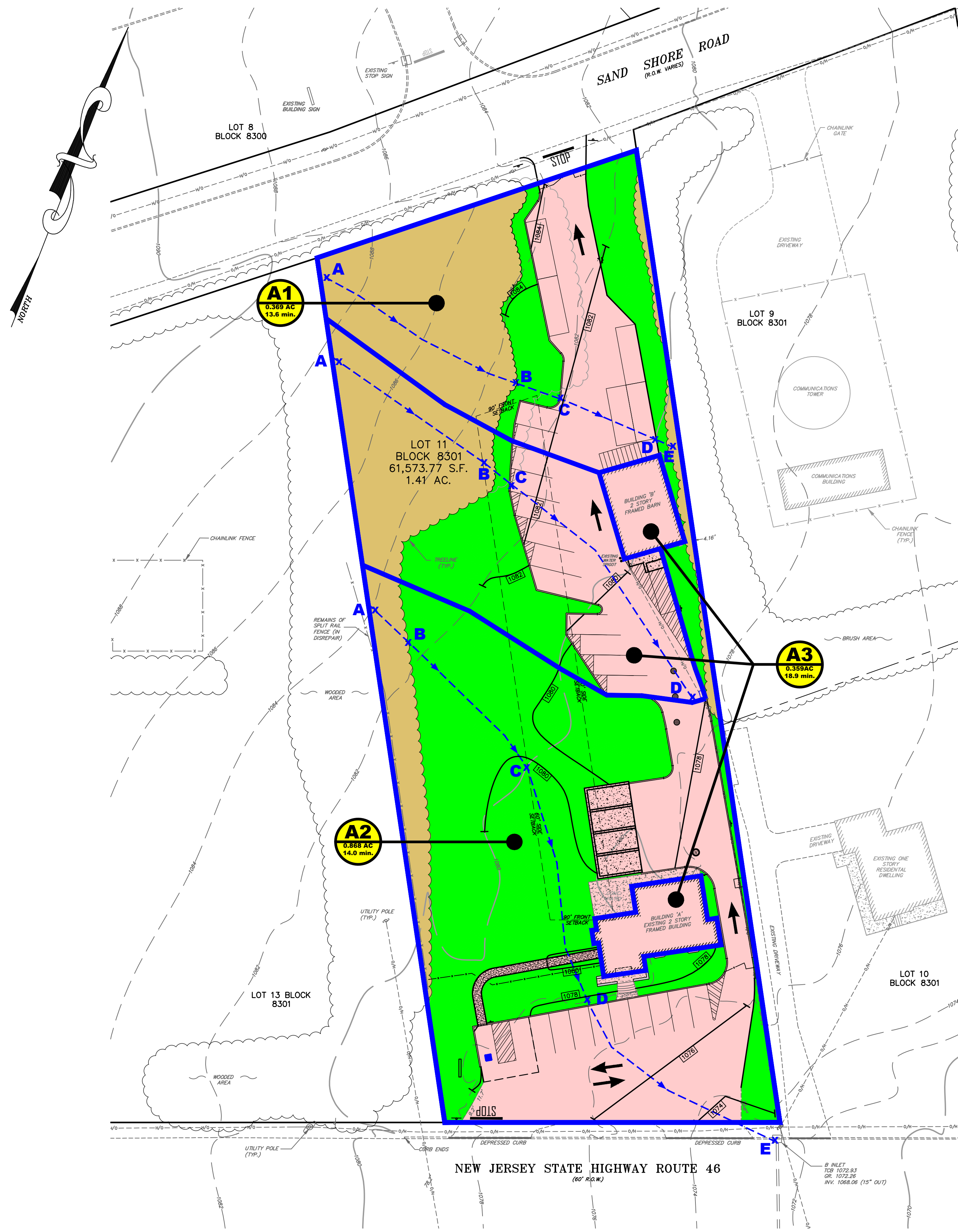
Fax: (973) 426-0716

N.J. - C of A #24GA27922000

JAMES G. GLASSON

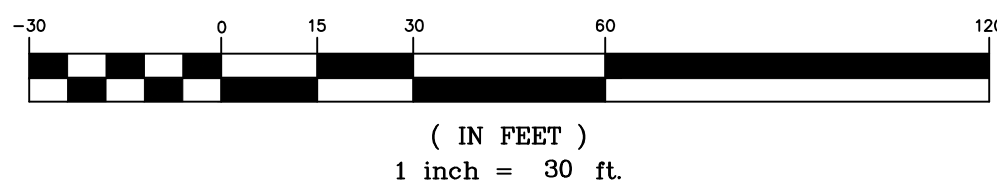
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

U:\3036 - Garden State Groundskeeping-Mt. Olive\Gwg Site Plan\Rev 2\6831-11 OP Post Development Drainage Plan Rev 2.dwg PS: Civilinc.ctb



POST DEVELOPMENT DRAINAGE AREA PLAN

GRAPHIC SCALE



DRAINAGE AREAS LEGEND:

- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA DESIGNATION
- TIME OF CONCENTRATION FLOW PATH
- BEGINNING/ENDING OF FLOW PATH

POST-DEVELOPMENT AREAS

	IMPERVIOUS (ROOF, PAVEMENT, PATIO, ETC.)	(23,921 S.F.) - 0.549 AC
	WOODS	(13,898 S.F.) - 0.319 AC
	GRASS	(23,755 S.F.) - 0.546 AC
		TOTAL (61,574 S.F.) - 1.414 AC

LEGEND:

	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING TREE LINE
	ADJACENT PROPERTY LINES		PROPOSED TREE LINE
	EXISTING R.O.W.		EXISTING FENCE
	INDEX CONTOUR		PROPOSED FENCE
	INTERIOR CONTOUR		EXISTING CONCRETE
	EXISTING PAVEMENT		PROPOSED CONCRETE
	PROPOSED PAVEMENT		PROPOSED PAVER PATIO
	EXISTING SETBACK LINE		PROPOSED PAVEMENT
	EXISTING OVERHEAD UTILITY LINE		EXISTING WELL
	EXISTING UNDERGROUND UTILITY LINE		PROPOSED WELL
	EXISTING DRIVEWAY		EXISTING B-INLET
	EXISTING STORM SEWER		EXISTING UTILITY POLE
	EXISTING CURB		EXISTING LIGHT POLE
	EXISTING DEPRESSED CURB		EXISTING SIGN
	PROPOSED SEPTIC		PROPOSED SIGN

SHEET 11 OF 11

2.	UPDATE	WBB	1/27/23
1.	UPDATE	WBB	7/27/22
Rev. No.	Description	By	Date

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

POST DEVELOPMENT
DRAINAGE AREA PLAN

FOR:

'GARDEN STATE GROUNDSKEEPING'
LOT 11 BLOCK 8301
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By:	JG	Date:	4/27/22
Drawn By:	WBB	Project No:	6931