

PRELIMINARY & FINAL SITE PLAN (USE VARIANCE)

BLOCK 4200, LOTS 16.01 & 16.02 56-58 OLD LEDGEWOOD ROAD TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY - NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200'

TOWNSHIP OF MOUNT OLIVE:

BLOCK 4200, LOT 12
CHARTERS, CLARA M
46 OLD LEDGEWOOD RD
FLANDERS, NJ 07836

BLOCK 4200, LOT 13
DAVID HUNTER LLC
349 MT HERMON RD
HOPE, NJ 07840

BLOCK 4200, LOT 14
MOONEY, JOHN K/CHRISTINE M
54 OLD LEDGEWOOD RD
FLANDERS RD, NJ 07836

BLOCK 4200, LOT 16
SPEICHER MICHAEL
62 OLD LEDGEWOOD RD
FLANDERS, NJ 07836

BLOCK 4200, LOT 16.03
OLD LEDGEWOOD PROPERTIES LLC
62 OLD LEDGEWOOD RD
FLANDERS, NJ 07869

BLOCK 4200, LOT 20
SPEICHER, MICHAEL W
55 NAUGHTRIGHT RD
LONG VALLEY, NJ 07856

BLOCK 4300, LOT 1
305 MANHATTAN LIMITED LIABILITY COM
45 LEWIS AVE
JERSEY CITY, NJ 07306

BLOCK 4300, LOT 2
305 MANHATTAN LLC
45 LEWIS AVE
JERSEY CITY, NJ 07306

BLOCK 4300, LOT 3
MOONEY, GEORGE H & GRACE
47 OLD LEDGEWOOD ROAD
FLANDERS, NJ 07836

BLOCK 4300, LOT 5
BEST, CLAIRE M
43 OLD LEDGEWOOD RD
FLANDERS, NJ 07836

TOWNSHIP OF ROXBURY:
BLOCK 9303, LOT 1
SPEICHER, MICHAEL W
55 NAUGHTRIGHT RD
LONG VALLEY, NJ 07856

UTILITIES:

BRUCE D. SMITH
HACKETTSTOWN MUNICIPAL
UTILITIES AUTHORITY
P.O. BOX 450
HACKETTSTOWN, NJ 07840

R. ALBANESE
NEW JERSEY NATURAL GAS
1415 WYCKOFF ROAD
WALL, NJ 07719

BRUCE REYNOLDS
COLUMBIA GAS
TRANSMISSION CORP
1470 POORHOUSE ROAD
DOWNTOWN, PA 19335-342

MT OLIVE TOWNSHIP-
WATER & SEWER DEPARTMENT
PO BOX 450
204 FLANDERS-DRAKESTOWN ROAD
MT OLIVE, NJ 07828

N.J. DEPARTMENT OF TRANSPORTATION
1035 PARKWAY DR, CN 600
TRENTON, NJ 08625

PUBLIC SERVICE ELECTRIC & GAS
COMPANY
MANAGER - CORPORATE PROPERTIES
80 PARK PLAZA, T6B
NEWARK, NJ 07102

NEW JERSEY - AMERICAN WATER CO.
INC
P.O. BOX 5627
CHERRY HILL, NEW JERSEY
08034

APPLIED WASTEWATER MANAGEMENT
2 CLERICO LANE
HILLSBOROUGH, NJ 08844

AT&T PROPERTY TAX DEPARTMENT
ATTN: MS. PAT BERGEN
PO BOX 7207
BEDMINSTER, NJ 07921

CABLEVISION OF MORRIS
ATTN: BRUCE HICKSON OR JOHN
BARTELS
683 ROUTE 10 E
RANDOLPH, NJ 07869

JCP&L

ATTN: VICKI THIEL
14 RICHBYNTON RD
DOVER, NJ 07801

MORRIS COUNTY MUNICIPAL UTILITIES
AUTHORITY
ATTN: ANTHONY MILONAS
214A CENTER GROVE ROAD
RANDOLPH, NJ 07869

MUSCONETCONG SEWERAGE AUTHORITY
ATTN: JAMES SCHILLING
110 CONTINENTAL DR
BUDD LAKE, NJ 07828

NJ NATURAL GAS CO
ATTN: MATTHEW PUZIO
1415 WYCKOFF RD
PO BOX 1464
WALL, NJ 07719

AMERICAN WATER
ATTN: TAX DEPARTMENT
PO BOX 2738
CAMDEN, NJ 08101

TOWNSHIP OF ROXBURY
WATER & SEWER DEPT.
C/O ENGINEERING DEPT
1715 ROUTE 46
LEDGEWOOD, NJ 07852

VERIZON COMMUNICATIONS
ATTN: RICHARD FLINT
290 W MT PLEASANT AVE
LIVINGSTON, NJ 07039

MORRIS COUNTY PLANNING BOARD
PO BOX 500
MORRISTOWN, NJ 07963-900

NJ DEPT. OF TRANSPORTATION
200 STERLI CT
MT. ARLINGTON, NJ 07856

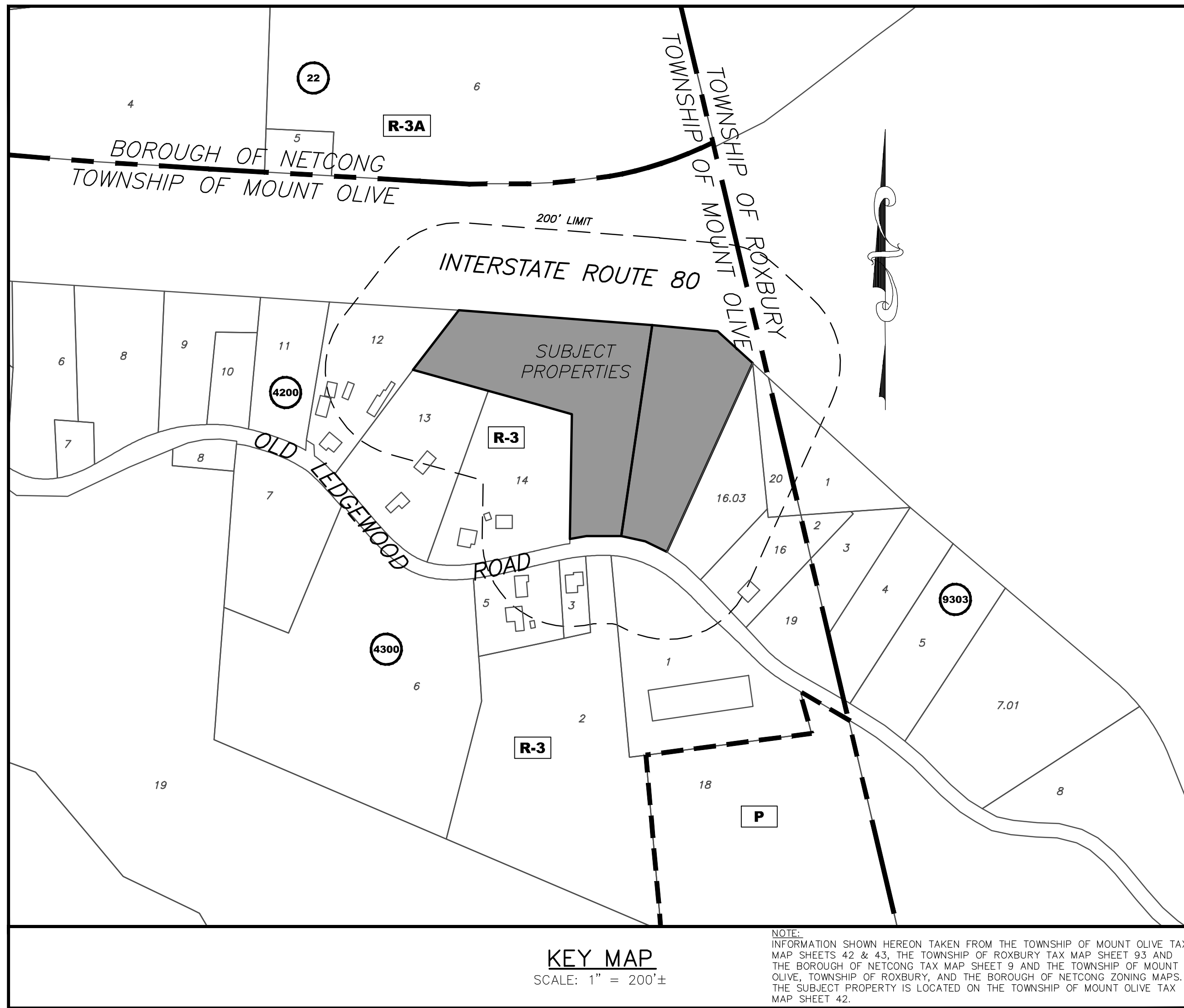
NJDEP, DIVISION OF LAND
USE REGULATIONS MCS01-02A
PO BOX 420, TRENTON, NJ
08625-0420

PARKING REQUIREMENTS

ITEM	REQUIRED	PROVIDED
PARKING CALCULATIONS:		
WAREHOUSE USE: 1 SPACE/ 5,000 SF GFA	1,496 SPACES 1,890 SF x 1 SPACE/5,000 SF =0.4 (1 SPACE)	
OFFICE USE: 4.5 SPACES/ 1,000 GFA	3,066 SF x 4.5 SPACES/1,000 SF =133.8 (14 SPACES)	
TOTAL SPACES REQUIRED:	15 SPACES REQUIRED	8 SPACES PROVIDED
MINIMUM SPACE SIZE	9 FT x 20 FT OR 10 FT x 18 FT	9 FT x 20 FT
MINIMUM AISLE WIDTH: 90" SPACES	25 FT	25 FT
MINIMUM NUMBER OF LOADING SPACES 1 SPACE FOR FIRST 5,000 SF OF GROSS FLOOR AREA (WAREHOUSE) 1 SPACE FOR FIRST 10,000 SF OF GROSS FLOOR AREA (OFFICE)	2 SPACES REQUIRED	1 SPACES PROVIDED

THE TOTAL AREA OF DISTURBANCE IS LESS THAN 1 ACRE AND THE INCREASE IN IMPERVIOUS COVERAGE IS LESS THAN 1/4 ACRE THEREFORE THE PROJECT IS CONSIDERED A MINOR PROJECT AND IS NOT SUBJECT TO STORMWATER REGULATIONS.

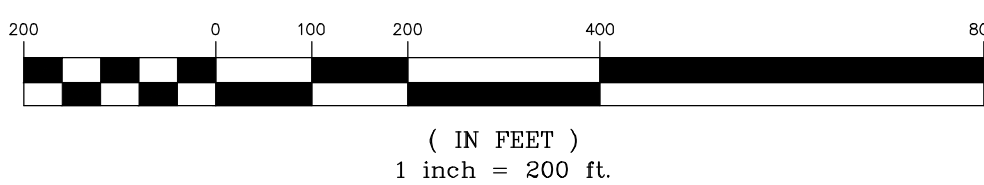
PROPOSED IMPERVIOUS COVERAGE INCREASE = 10,845 SF < 10,890 SF (1/4 ACRE)
TOTAL LIMIT OF DISTURBANCE = 29,400 SF < 43,560 SF (1.0 ACRE)



KEY MAP

SCALE: 1" = 200'±

GRAPHIC SCALE



IMPERVIOUS COVERAGE BREAKDOWN

EXISTING CONDITIONS	
NO IMPROVEMENTS LOCATED ON SITE	0 SF
PROPOSED CONDITIONS	
BUILDING	4,956 SF
WALKS/STEPS/ENTRANCES	211 SF
DRIVEWAY	5,678 SF
TOTAL	10,845 SF

NOTES AND REFERENCES:

- OWNER / APPLICANT: SD VENTURES 2021, LLC
19 SCHOOLHOUSE ROAD
OAK RIDGE, NJ 07438
OWNER'S SIGNATURE: *Susan Jenkins*
- THESE PLANS HAVE BEEN PREPARED FOR SITE PLAN APPROVAL FOR PROPERTY KNOWN AS BLOCK 4200, LOTS 16.01 AND 16.02, LOCATED IN THE TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY. THIS APPLICATION IS FOR A USE VARIANCE APPROVAL TO ALLOW FOR THE DEVELOPMENT OF A WAREHOUSE/OFFICE SPACE BUILDING ON SITE.
- THE SUBJECT PROPERTY IS 5.06 ACRES IN SIZE AND LOCATED ENTIRELY WITHIN THE RESIDENTIAL (R-3) ZONE DISTRICT OF THE TOWNSHIP OF MOUNT OLIVE. THE PROPERTY HAS FRONTAGE ALONG OLD LEDGEWOOD ROAD.
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM MAP TITLED "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY PLAN, BLOCK 4200, LOTS 16.01 & 16.02, OLD LEDGEWOOD ROAD, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY," PREPARED BY DYKSTRA WALKER DESIGN GROUP AND DATED APRIL 22, 2021, AND LAST REVISED AUGUST 8, 2022. HORIZONTAL DATUM IS NAD 83 AND VERTICAL DATUM IS NAVD 88 PER SAID MAP.
- UNDERGROUND UTILITIES SERVING THE SUBJECT PROPERTY ARE SHOWN BASED UPON SURFACE EVIDENCE AND AVAILABLE RECORD DOCUMENTS. THE LACK OF UNDERGROUND UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OR ABSENCE OF SAME. THE APPROPRIATE UTILITY COMPANY SHOULD BE CONTACTED TO CONFIRM THE EXISTENCE OR ABSENCE OF SAME AND A FIELD MARKOUT OF ALL UTILITIES PRIOR TO CONSTRUCTION. FILED MARKOUT CAN BE REQUESTED BY CALLING 1-800-242-1000.
- THERE ARE FRESHWATER WETLANDS LOCATED ON SITE. FRESHWATER WETLANDS SHOW BASED ON MINOR SUBDIVISION PREPARED BY WEISSMAN ENG. CO. BUFFER LIMITS SHOWN BASED ON DB 20657/393-LOT 16.01, DB 20657/357-LOT 16.02, AND DB 20657/384-LOT 16.03. WETLAND LIMITS WERE EXPANDED FROM THOSE NOTED ABOVE BETWEEN FLAGSS A4-A8 AND A10-A15 PER NJDEP INSPECTION. NO DEVELOPMENT IS PROPOSED WITHIN ANY FRESHWATER WETLANDS AND/OR TRANSITION AREAS.
- THERE ARE NO REGULATED STREAMS, CANALS, OR WATER BODIES LOCATED ON-SITE PER NJGEOWEB ([HTTP://WWW.NJ.GOV/DEP/GIS/GEOWEB/SLASH.HTM](http://www.nj.gov/dep/gis/geoweb/SLASH.HTM)).
- THE SEWAGE DISPOSAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 9A - STANDARDS FOR INDIVIDUAL SUBSURFACE DISPOSAL SYSTEMS (N.J.A.C. 7:9A) AND LOCAL REQUIREMENTS.
- INERT/NON-BIODEGRADABLE SUBSTANCES OR MATERIALS CONTAINING TOXIC SUBSTANCES SHALL NOT BE DISPOSED OF IN THE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
- GARBAGE GRINDER UNITS SHALL NOT BE INSTALLED IN THE BUILDING
- THE EXISTING SOILS IN THE VICINITY OF THE SITE INCLUDE THE RkqBc, RobCb, RocB, AND UR SOIL GROUPS PER THE USDA WEB SOIL SURVEY. THE SOIL SURVEY MAP CAN BE REVIEWED AND IS SHOWN ON THIS PLAN.
- DESIGN CALCULATIONS:
VOLUME OF SANITARY SEWAGE = 3,066 SF OFFICE USE x 0.125 GPD/EMPLOYEE = 384
SEPTIC TANK CAPACITY = 384 GPD x 1.5 = 576 GALLONS (REQUIRED) 1,000 GALLONS (PROVIDED)
DISPOSAL BED (TYPE OF INSTALLATION) = CONVENTIONAL
MINIMUM SIZE = 384 GPD x 1.61 (K4) = 619 SF (SIZE PROVIDED = 630 SF)
- HOURS OF OPERATION ARE FROM 7:00 AM TO 5:00 PM. MAXIMUM NUMBER OF EMPLOYEES ON SITE IS 6.
- THE ADMINISTRATIVE AUTHORITY AND THE DESIGN ENGINEER (IF REQUIRED) SHALL PERFORM INSPECTIONS DURING CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM. IF THE ADMINISTRATIVE AUTHORITY REQUIRES THE DESIGN ENGINEER TO PERFORM INSPECTIONS, TESTING, ETC. OR PREPARE AS-BUILT PLANS AND CERTIFICATIONS, THE FEES FOR THESE SERVICES SHALL BE PAID BY THE APPLICANT.
- ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH THE TOWNSHIP OF MOUNT OLIVE, OSHA SAFETY STANDARDS, AND OTHER APPLICABLE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
- ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE ANY REQUIRED DESIGN ADJUSTMENTS AND UTILITY RELOCATIONS.
- SOIL TESTING PERFORMED BY DYKSTRA WALKER DESIGN GROUP ON APRIL 7, 2021 AND TEST PITS #1 - #4 WERE WITNESSED BY THE MOUNT OLIVE HEALTH DEPARTMENT.
- ALL TREES WITHIN 10 FEET OF THE PROPOSED DISPOSAL BED TO BE REMOVED.
- ALL SOILS NOT DISPOSED OF ON SITE ARE TO BE SENT TO AN APPROVED FACILITY AND RECEIPTS OF DISPOSAL PROVIDED.
- THE ANTICIPATED TRAFFIC IS LESS THAN 15 VEHICLES PER DAY.
- LIST OF VARIANCES:
•550-101.G(1) - PROPOSED USE IS NOT A PERMITTED, ACCESSORY, OR CONDITIONAL USE ALLOWED IN THE R-3 ZONE.
•550-95.D.(8) - TO ALLOW A SIGN FOR INDUSTRIAL OR COMMERCIAL USE IN THE R-3 ZONE.
- WAIVERS REQUESTED:
400-29: USE VARIANCE/SITE PLAN CHECKLIST:
•400-29C - EXISTING TOPOGRAPHY DOES NOT EXTEND 50 FEET PAST THE TRACTS BOUNDARIES AS IT IS NOT RELEVANT TO THE SITE PLAN.
•400-29H(1) - THERE ARE NO EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY.
•400-29H(1) - THERE IS NO ANTICIPATED FUTURE EXPANSION ON THE SUBJECT PROPERTY.
•400-29H(2) - THERE ARE NO ACCELERATION/DECELERATION LANES PROPOSED WITH THIS APPLICATION
•400-29H(2) - THERE IS NO TRAFFIC CHANNELIZATION PROPOSED WITH THIS APPLICATION.
•400-29H(2) - THERE ARE NO FIRE LANES PROPOSED WITH THIS APPLICATION.
•400-29H(2) - NO CROSS SECTIONS ARE PROVIDED WITH THIS APPLICATION.
•400-29H(2) - THERE IS NO ANTICIPATED FUTURE EXPANSION ON THE SUBJECT PROPERTY.
•400-29H(4) - THERE IS NO OPEN SPACE PROPOSED WITH THIS APPLICATION.
•400-29H(4) - THERE IS NO COMMON PROPERTY ASSOCIATED WITH THIS APPLICATION.
•400-29H(4) - THERE ARE NO PROPOSED FIRE HYDRANTS WITH THIS APPLICATION.
•400-29H(4) - THERE ARE NO SEWERAGE OR WATER LINE CONNECTIONS TO BE MADE WITH THIS APPLICATION.
•400-29H(4) - THERE ARE NO EASEMENTS REQUIRED ON THE TRACT ACROSS OR ADJACENT TO THE SUBJECT PROPERTY.
- 550-29: SITE PLAN CHECKLIST:
•550-29C - EXISTING TOPOGRAPHY DOES NOT EXTEND 50 FEET PAST THE TRACTS BOUNDARIES AS IT IS NOT RELEVANT TO THE SITE PLAN.
•550-29H(1) - THERE ARE NO EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY.
•550-29H(1) - THERE IS NO ANTICIPATED FUTURE EXPANSION ON THE SUBJECT PROPERTY.
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•550-29H(2) - THERE IS NO TRAFFIC CHANNELIZATION PROPOSED WITH THIS APPLICATION.
•550-29H(2) - THERE ARE NO FIRE LANES PROPOSED WITH THIS APPLICATION.
•550-29H(2) - NO CROSS SECTIONS ARE PROVIDED WITH THIS APPLICATION.
•550-29H(2) - THERE IS NO ANTICIPATED FUTURE EXPANSION ON THE SUBJECT PROPERTY.
•550-29H(3) - EXISTING TOPOGRAPHY DOES NOT EXTEND 50 FEET PAST THE TRACTS BOUNDARIES AS IT IS NOT RELEVANT TO THE SITE PLAN.
•550-29H(3) - THERE ARE NO PROPOSED RECREATION AREAS WITH THIS APPLICATION.
•550-29H(3) - THERE IS NO SOIL REMOVAL PLAN TO BE SUBMITTED WITH THIS APPLICATION.
•550-29H(4) - THERE IS NO OPEN SPACE PROPOSED WITH THIS APPLICATION.
•550-29H(4) - THERE IS NO COMMON PROPERTY ASSOCIATED WITH THIS APPLICATION.
•550-29H(4) - THERE ARE NO PROPOSED FIRE HYDRANTS WITH THIS APPLICATION.
•550-29H(4) - THERE ARE NO SEWERAGE OR WATER LINE CONNECTIONS TO BE MADE WITH THIS APPLICATION.
•550-29H(4) - THERE ARE NO EASEMENTS REQUIRED ON THE TRACT ACROSS OR ADJACENT TO THE SUBJECT PROPERTY.
•550-29H(4) - THERE ARE NO EASEMENTS REQUIRED ON THE TRACT ACROSS OR ADJACENT TO THE SUBJECT PROPERTY.

TOWNSHIP OF MOUNT OLIVE ZONING REQUIREMENTS

R-3 (RESIDENTIAL) ZONE DISTRICT				
ITEM	REQUIRED	EXISTING LOT 16.01	EXISTING LOT 16.02	PROPOSED LOT 16.01
MINIMUM LOT AREA (1)	43,560 SF	131,734 SF	88,859 SF	220,593 SF
MINIMUM LOT WIDTH	80 FT	123.2 FT	122.5 FT	245.7 FT
MINIMUM LOT FRONTAGE	80 FT	118.1 FT	111.2 FT	229.3
MINIMUM FRONT YARD SETBACK	40 FT	N/A	N/A	40.7 FT
MINIMUM SIDE YARD SETBACK (SINGLE)	20 FT	N/A	N/A	33.2 FT
MINIMUM REAR YARD SETBACK	40 FT	N/A	N/A	370.7 FT
MAXIMUM BUILDING COVERAGE	20%	0%	0%	2.2% (4,956 SF) (2)
MAXIMUM LOT COVERAGE	30%	0%	0%	4.9% (10,845 SF) (2)
MAXIMUM BUILDING HEIGHT	35 FT	N/A	N/A	27.9 FT (3)

- (1) DETACHED DWELLINGS WITH NO SEWER.
(2) SEE IMPERVIOUS COVERAGE BREAKDOWN.
(3) SEE GRADING AND UTILITY PLAN FOR BUILDING HEIGHT CALCULATIONS.

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MOUNT OLIVE,
MORRIS COUNTY, NEW JERSEY

PLANNING BOARD CHAIRPERSON _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

TOWNSHIP ENGINEER _____ DATE _____

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & TREE REMOVAL PLAN
3	SITE LAYOUT PLAN
4	GRADING & UTILITY PLAN
5	SEWAGE DISPOSAL SYSTEM DESIGN PLAN
6	LIGHTING AND LANDSCAPING PLAN
7	SOIL EROSION AND SEDIMENT CONTROL PLAN
8	DETAILS

11/21/22	REVISED LAYOUT PER BOARD COMMENTS
2/18/22	UPDATED OWNER AND APPLICANT INFORMATION
DATE	REVISION

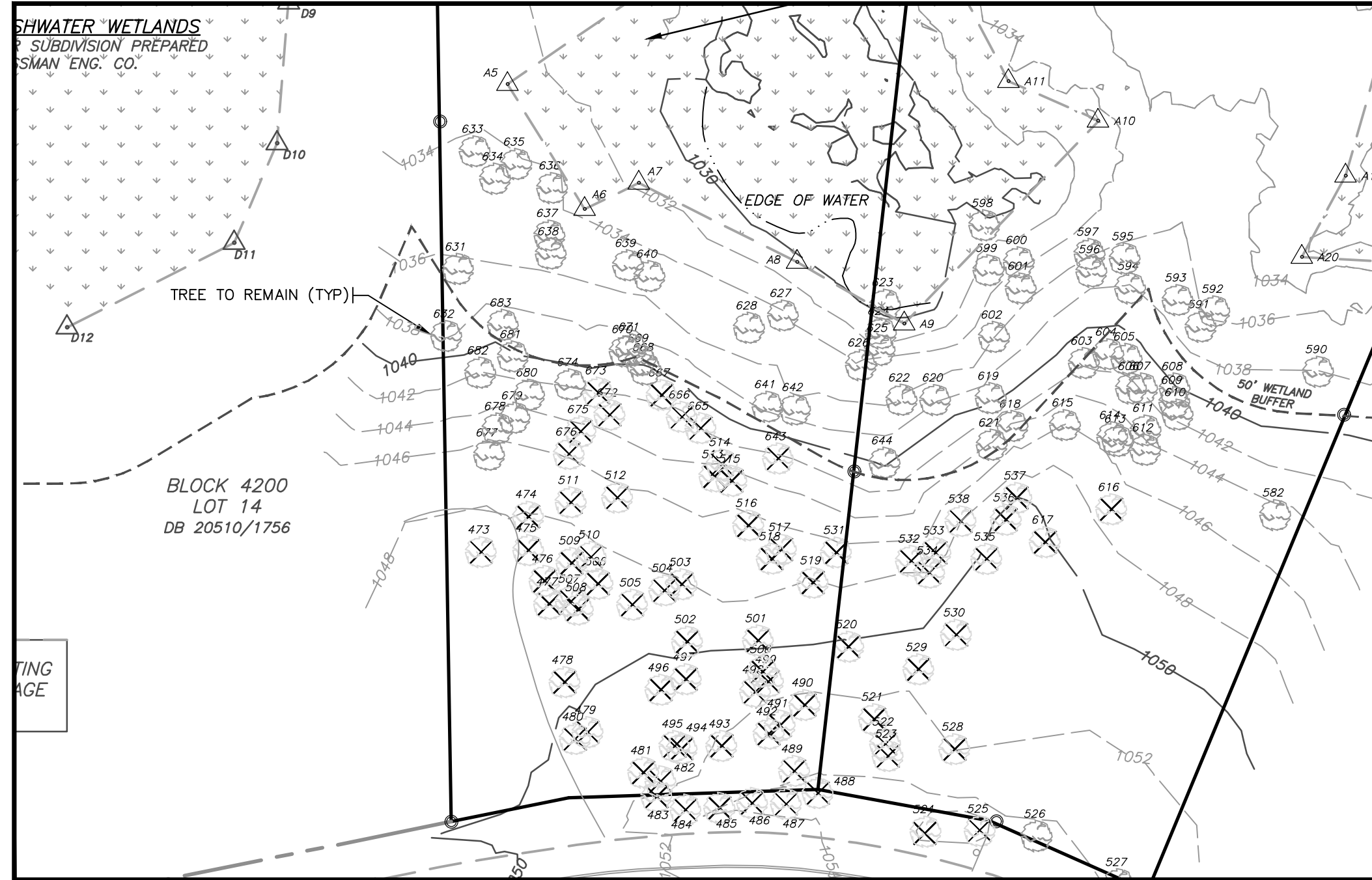
DYKSTRA WALKER
DESIGN & GROUP
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849
PHONE (973) 663-5544 FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

THOMAS F. GRAHAM, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100

TITLESHEET

PRELIMINARY AND FINAL SITE PLAN
SD VENTURES 2021, LLC
BLOCK 4200, LOTS 16.01 & 16.02
56-58 OLD LEDGEWOOD ROAD
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY NEW JERSEY

SCALE: 1" = 200'
JOB NO.: 21054
DRAWN BY: KLA
CHECKED BY: TFG
DATE: 09/17/2021
SHEET NO. 1 OF 8



TREE REMOVAL PLAN

SCALE: 1" = 40'

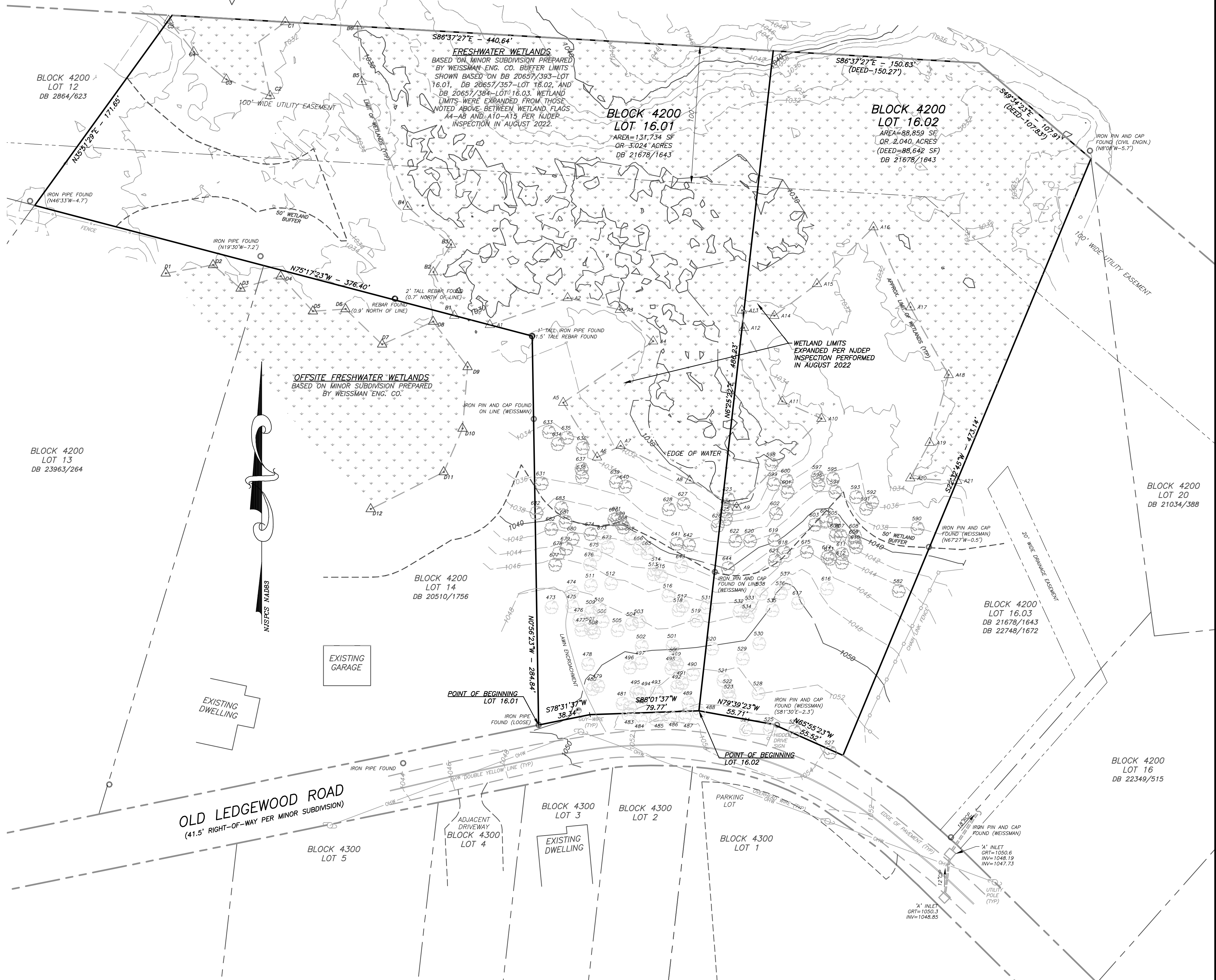
NUMBER	TREE SIZE/TYPE	NUMBER	TREE SIZE/TYPE
473	14" MAPLE	592	16" BEECH
474	6" MAPLE	593	12" BEECH
475	6" MAPLE	594	12" BEECH
476	10" MAPLE	595	8" BEECH
477	8" MAPLE	596	14" BEECH
478	12" MAPLE	597	12" BEECH
479	12" MAPLE	598	12" OAK
480	12" MAPLE	599	10" OAK TRIPLE
481	8" MAPLE	600	10" BEECH
482	10" MAPLE	601	6" OAK
483	6" MAPLE	602	12" BEECH
484	30" OAK	603	10" BEECH
485	8" OAK	604	8" MAPLE
486	26" OAK	605	12" MAPLE
487	24" OAK	606	12" BEECH
488	8" MAPLE	607	6" MAPLE
489	6" MAPLE	608	6" BEECH
490	6" MAPLE	609	16" BEECH
491	10" MAPLE	610	16" BEECH
492	10" MAPLE	611	26" OAK
493	6" MAPLE	612	14" CHERRY
494	8" MAPLE	613	6" MAPLE
495	8" MAPLE	614	6" BEECH
496	10" MAPLE	615	10" MAPLE
497	26" OAK	616	6" MAPLE
498	8" MAPLE	617	8" MAPLE DOUBLE
499	14" CHERRY	618	24" OAK
500	6" MAPLE	619	8" BEECH
501	8" MAPLE	620	12" BEECH
502	8" MAPLE	621	6" BEECH
503	8" MAPLE	622	6" BEECH
504	8" MAPLE	623	6" MAPLE
505	8" MAPLE	624	32" OAK
506	6" CHERRY	625	36" OAK
507	6" MAPLE	626	6" MAPLE
508	8" MAPLE	627	24" MAPLE
509	28" OAK	628	6" MAPLE
510	28" OAK	631	6" MAPLE
511	16" MAPLE	632	24 APPLE
512	12" MAPLE	633	8" MAPLE
513	6" MAPLE	634	8" MAPLE
514	14" MAPLE	635	12" MAPLE
515	18" MAPLE	636	30" MAPLE
516	14" OAK TRIPLE	637	8" BEECH
517	12" OAK	638	6" BEECH
518	12" OAK	639	6" MAPLE
519	12" MAPLE	640	20" MAPLE
520	8" MAPLE	641	8" BEECH
521	8" MAPLE	642	6" OAK
522	6" MAPLE	643	6" MAPLE
523	8" MAPLE	644	12" BEECH
524	28" OAK	665	6" MAPLE
525	26" OAK	666	6" MAPLE
526	10" OAK	667	8" MAPLE
527	4" OAK DOUBLE	668	12" MAPLE
528	8" MAPLE	669	8" MAPLE
529	8" MAPLE	670	10" MAPLE
530	28" OAK	671	6" MAPLE
531	8" MAPLE	672	10" MAPLE
532	8" MAPLE DOUBLE	673	10" MAPLE
533	14" OAK	674	10" MAPLE
534	6" MAPLE	675	14" MAPLE
535	8" MAPLE DOUBLE	676	6" MAPLE
536	12" MAPLE DOUBLE	677	6" MAPLE
537	20" OAK	678	6" MAPLE
538	12" MAPLE	679	8" CHERRY
582	14" MAPLE	680	12" MAPLE
590	10p" OAKp	681	6" MAPLE
591	14" BEECH	682	24" MAPLE
592	16" BEECH	683	6" MAPLE

TREE TO BE REMOVED

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



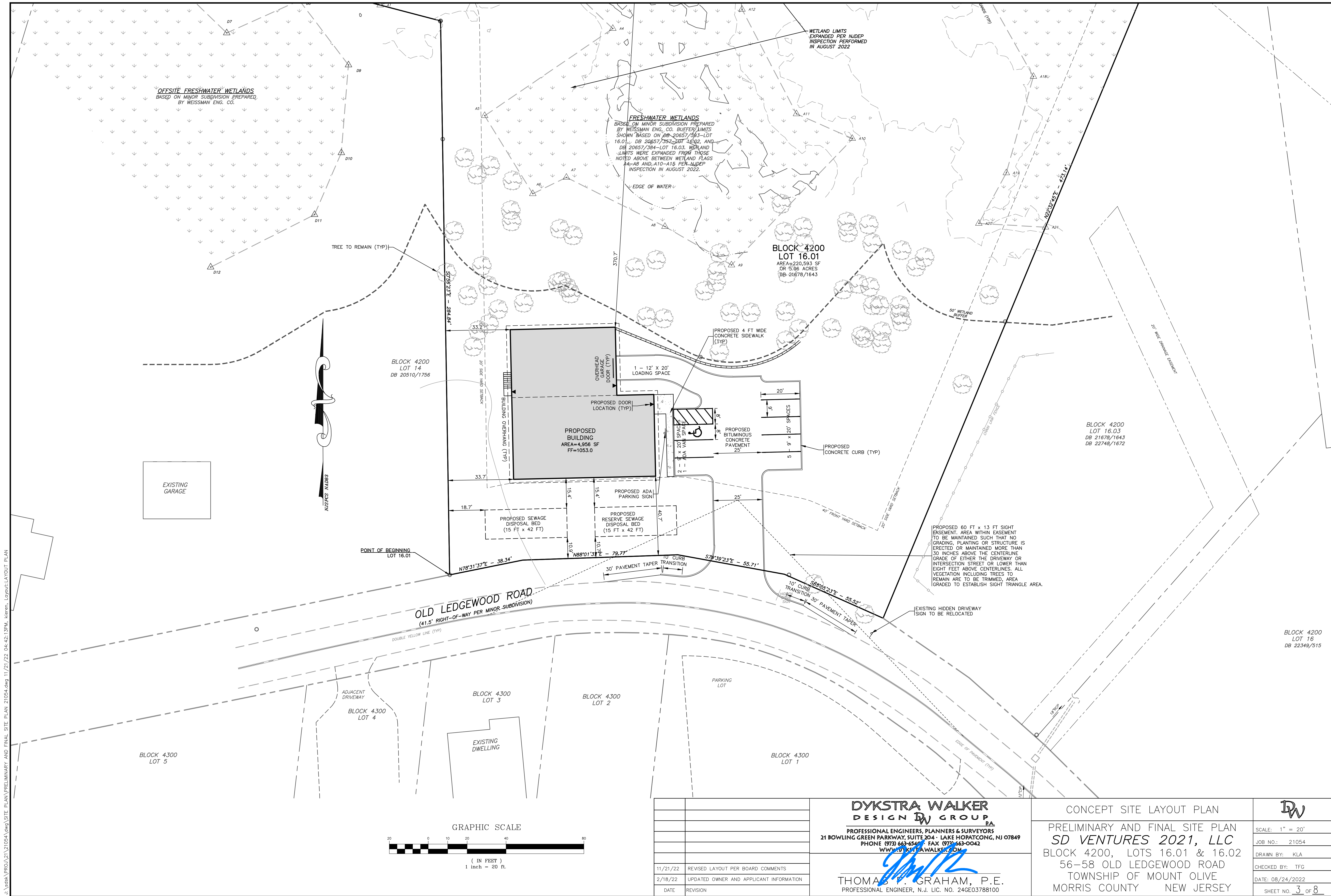
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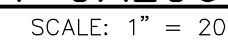
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EXISTING CONDITIONS & TREE REMOVAL PLAN
PRELIMINARY AND FINAL SITE PLAN
SD VENTURES 2021, LLC
BLOCK 4200, LOTS 16.01 & 16.02
56-58 OLD LEDGEWOOD ROAD
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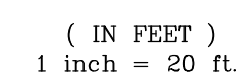
DW
SCALE: 1" = 40'
JOB NO.: 21054
DRAWN BY: KLA
CHECKED BY: TFG
DATE: 09/17/2021
SHEET NO. 2 OF 8

u:\edsk\PROJ\21\21054\dwg\SITE PLAN PRELIMINARY AND FINAL SITE PLAN 21054.dwg 11/21/22 04:42:13PM, lterren, Layout: LAYOUT PLAN





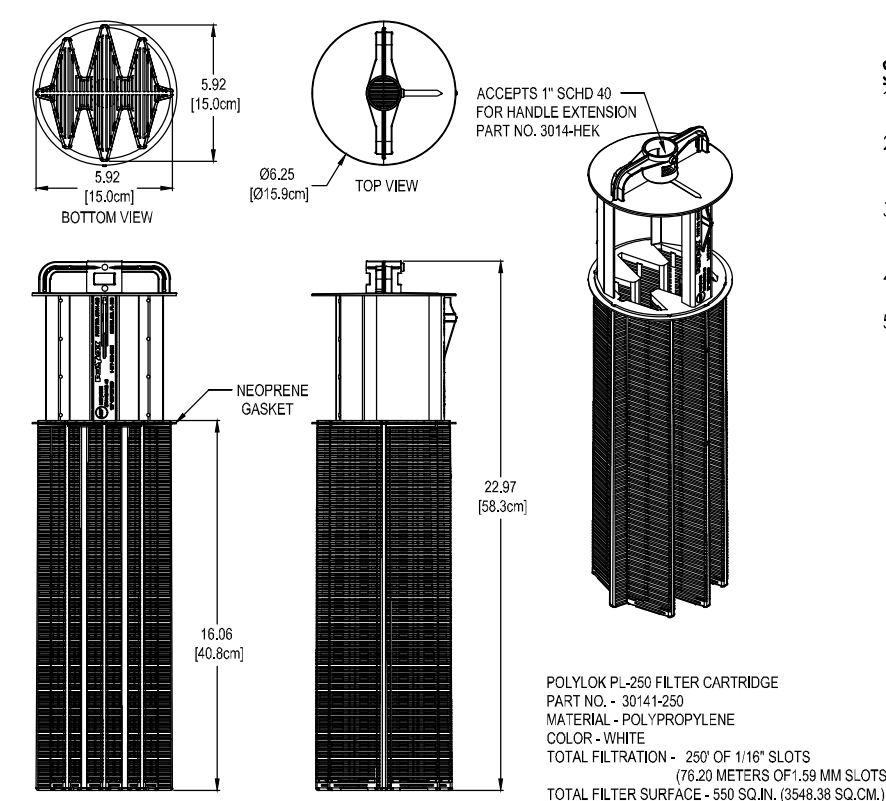
*SCALED PER ARCHITECT'S PLANS



GRADING & UTILITY PLAN	
PRELIMINARY AND FINAL SITE PLAN <i>SD VENTURES 2021, LLC</i>	SCALE: 1" = 20'
BLOCK 4200, LOTS 16.01 & 16.02	JOB NO.: 21054
56-58 OLD LEDGEWOOD ROAD	DRAWN BY: KLA
TOWNSHIP OF MOUNT OLIVE	CHECKED BY: TFG
MORRIS COUNTY NEW JERSEY	DATE: 09/17/2021
	SHEET NO. 4 OF 8

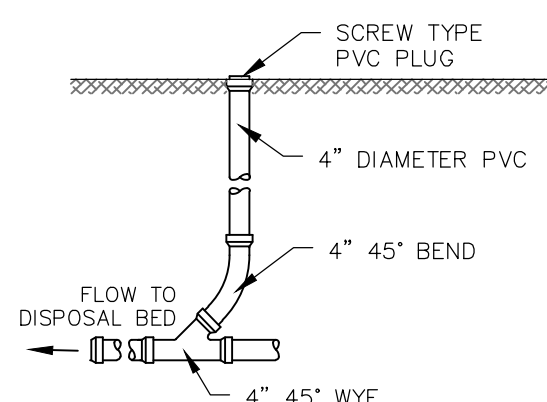
1. THE SEWAGE DISPOSAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 9A – STANDARDS FOR INDIVIDUAL SUBSURFACE DISPOSAL SYSTEMS (N.J.A.C. 7:9A) AND LOCAL REQUIREMENTS.
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VOLUME OF SANITARY SEWAGE = 3,066 SF OFFICE USE $\times$ 0.125 GPD/EMPLOYEE = 384
SEPTIC TANK CAPACITY 384 GPD $\times$ 1.5 = 576 GALLONS (REQUIRED) 1,000 GALLONS (PROVIDED)
DISPOSED DEB (TYPE OF INSTALLATION) = CONVENTIONAL
MINIMUM SIZE = 384 GPD $\times$ 1.61 (K₄) = 619 SF (SIZE PROVIDED = 630 SF)
6. THE ADMINISTRATIVE AUTHORIZING THE DESIGN ENGINEER (IF REQUIRED) SHALL PERFORM INSPECTIONS DURING CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM. IF THE ADMINISTRATIVE AUTHORITY REQUESTS THE DESIGN ENGINEER TO PERFORM INSPECTIONS, TESTING, ETC. OR PREPARE AS-BUILT PLANS AND CERTIFICATIONS, THE FEES FOR THESE SERVICES SHALL BE PAID BY THE APPLICANT.
7. ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH THE TOWNSHIP OF MOUNT OLIVE AND OTHER APPLICABLE REQUIREMENTS.
8. ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE ANY REQUIRED DESIGN ADJUSTMENTS AND UTILITY RELOCATIONS.
9. SOIL TESTING PERFORMED BY DYKSTRA WALKER DESIGN GROUP ON 04/7/2021 AND TEST PIT #1 – #4 WERE WITNESSED BY THE MOUNT OLIVE HEALTH DEPARTMENT.

SOIL TESTING RESULTS:



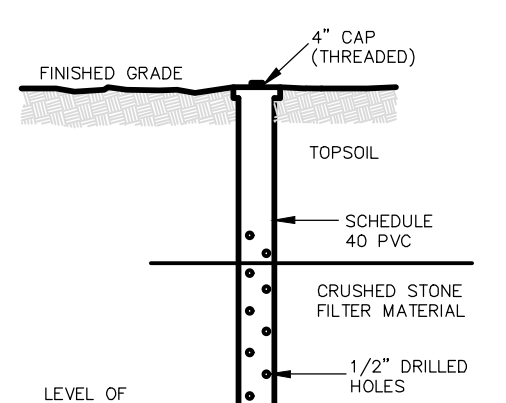
*PROVIDE T-HANDLE FOR EASY REMOVAL AND CLEANING

NOT TO SCALE

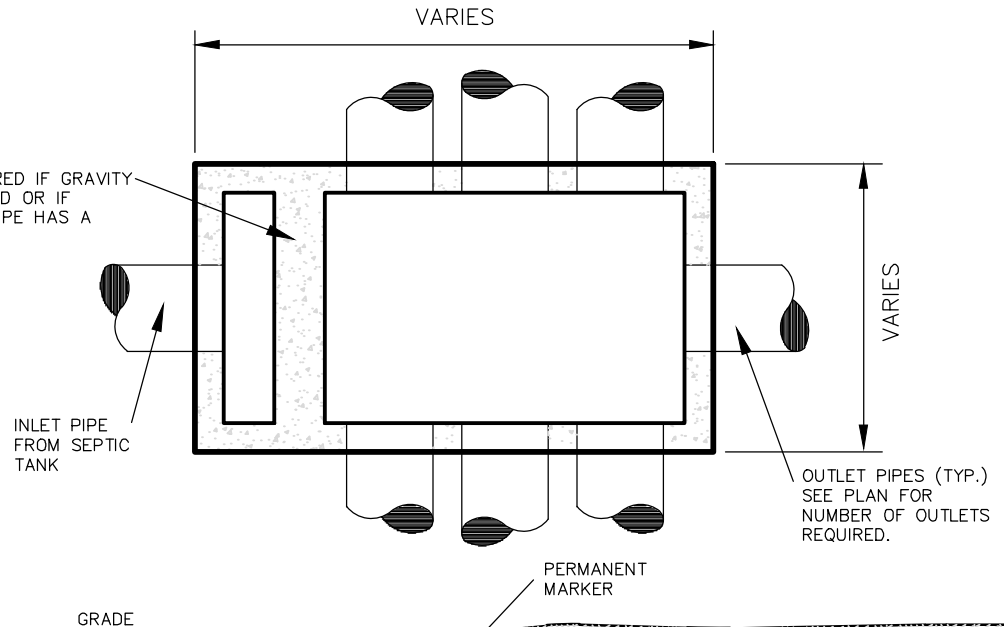
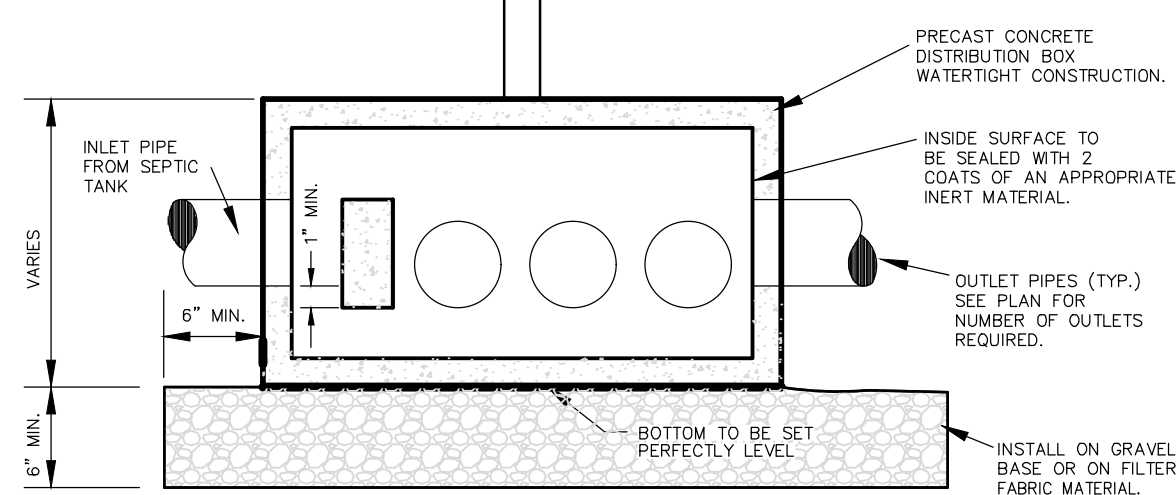


1. ALL COUPLINGS, PLUGS, PIPES, AND CAPS TO BE STANDARD FOR THE TYPE PF PIPE USED. INSTALLATION ARE TO BE WATERTIGHT.
2. CLEANOUTS AS SHOWN ARE REQUIRED ON ALL HOUSE CONNECTIONS.
3. HOUSE CONNECTIONS ARE TO BE 4" C.I.P., OR P.V.C. (P.V.C. SHALL NOT BE USED WITH LESS THAN 3' OF COVER.)
4. BEDDING BENEATH BASE OF DEEP HOUSE CONNECTIONS SHALL BE EQUAL TO THAT PROVIDED FOR THE REMAINDER OF THE SEWER MAIN.

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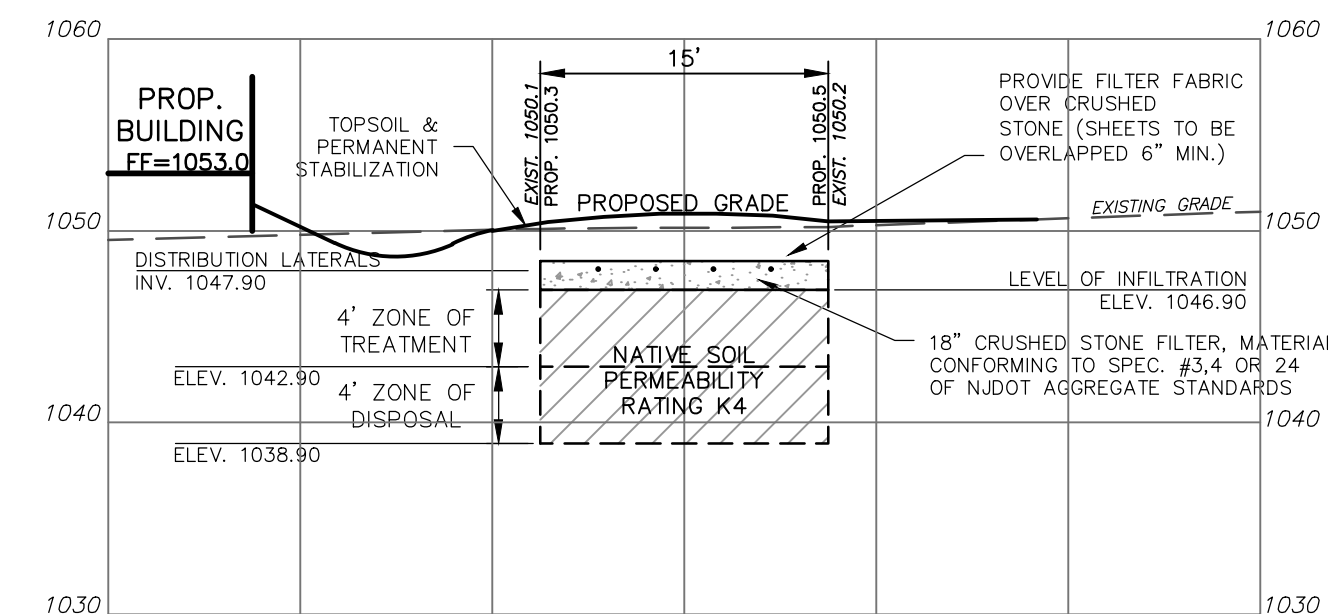


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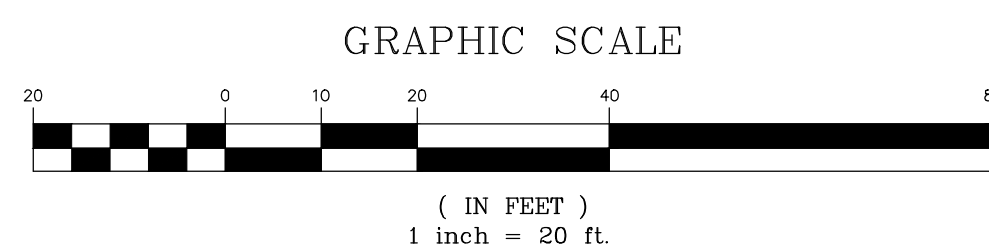
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NOTE: SEE PLAN FOR ACTUAL NUMBER OF LATERALS

NOT TO SCALE

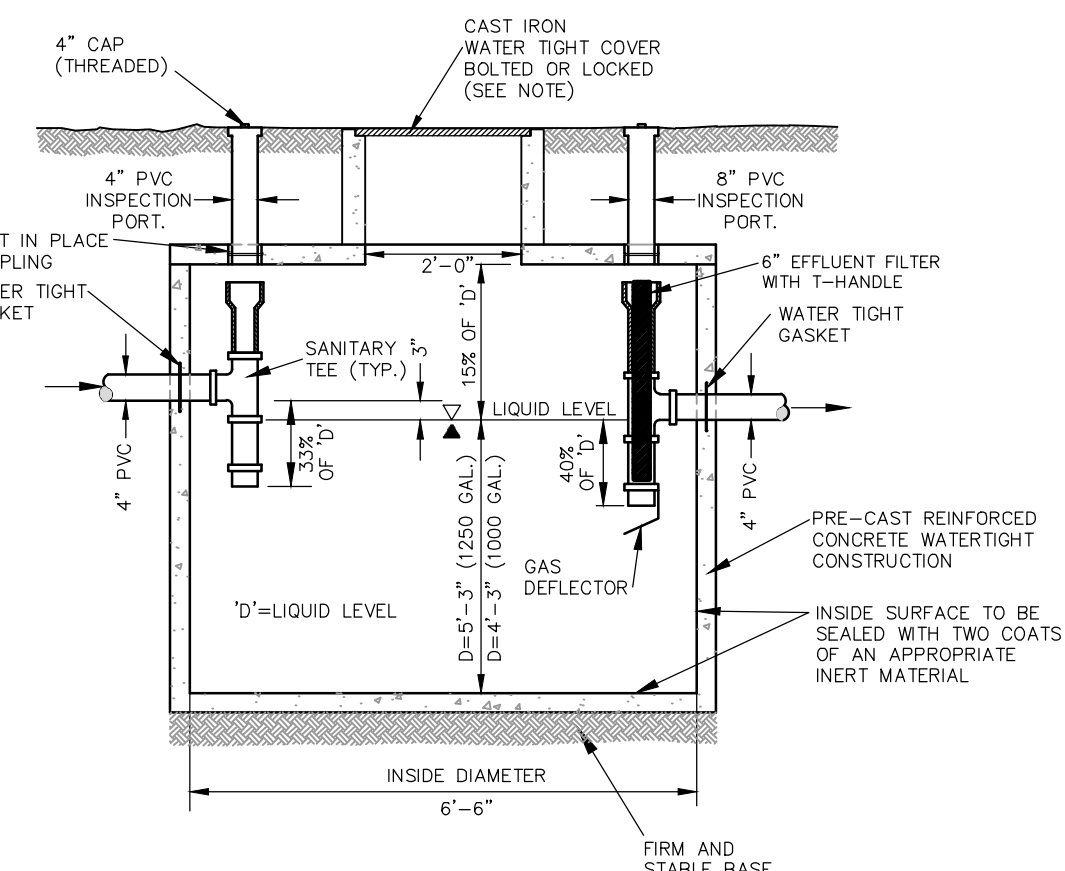


SCALE: 1" = 10'

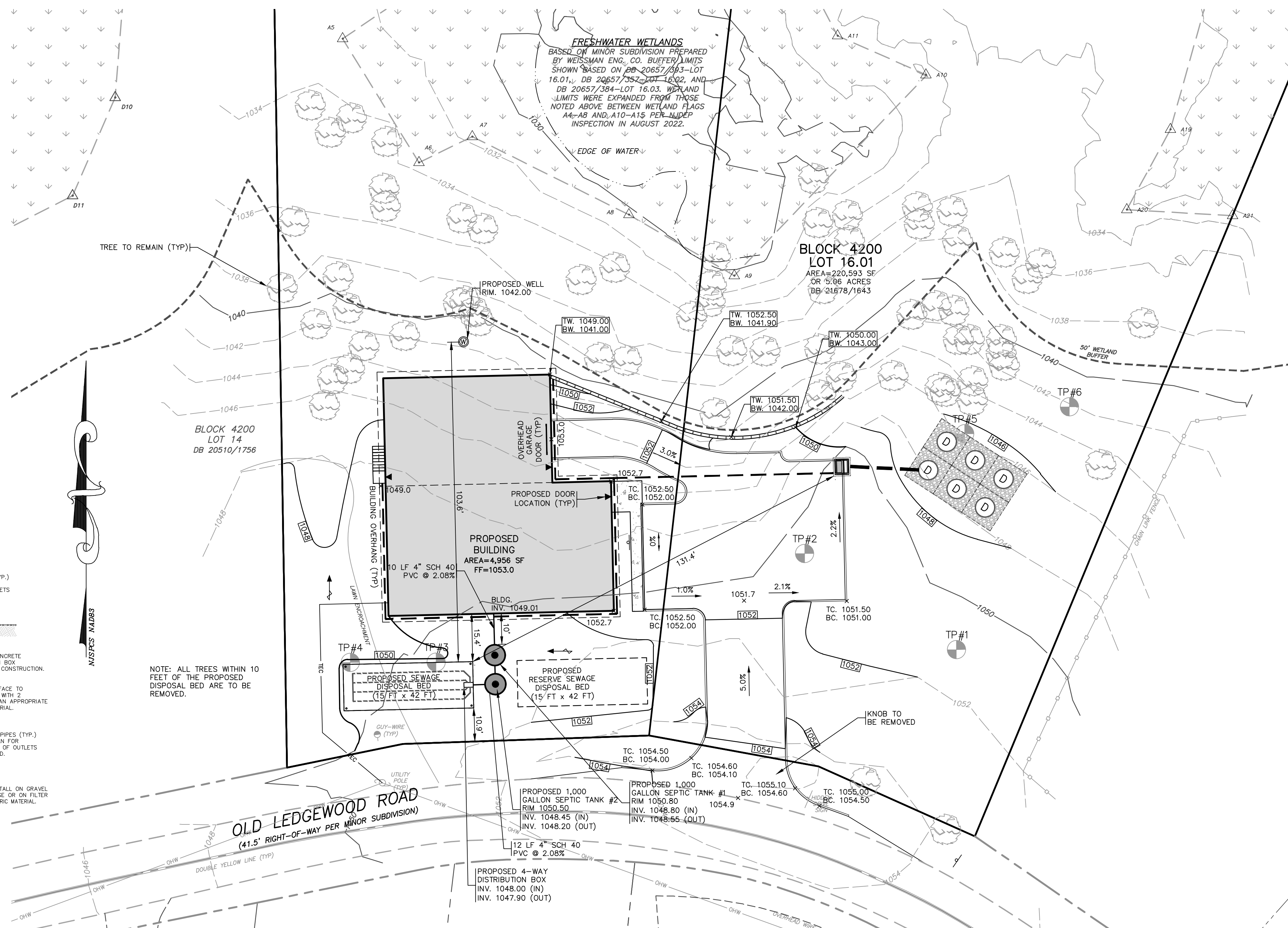


1. DIMENSIONS MAY VARY, PROVIDED TANK CONFORMS TO STATE AND LOCAL REGULATIONS

2. TANKS INCLUDING RISERS AND INSPECTION PORTS TO THE HIGHEST JUNK SHALL BE TESTED FOR WATER TIGHTNESS BEFORE BACKFILLING USING HYDROSTATIC OR VACUUM TESTING PER NJAC 7:9A.
3. A SEPTIC SOLIDS RETAINER OR SEPTIC EFFLUENT FILTER SHALL BE INSTALLED AND MAINTAINED IN THE FIRST IN SEPTIC TANK PER NJAC 7:9A.
4. IN AREAS OF HIGH WATER TABLE, CONTRACTOR TO PROVIDE ANTI-FLOATATION ANCHORING FOR TANK.
5. CAST IRON WATER TIGHT COVER SHALL BE SET AND MAINTAINED AT FINISHED GRADE. A PERMANENT, CAST IRON DRAINAGE MANHOLE SHALL BE PROVIDED AT A MINIMUM OF SIX (6) SQUARE INCHES IN SIZE CONTAINING THE FOLLOWING INFORMATION SHALL BE ATTACHED TO THE COVER OF THE FIRST SEPTIC TANK:
ADMINISTRATIVE AUTHORITY NAME, PERMIT NUMBER, DATE OF INSTALLATION, TYPE OF SYSTEM, AND TOTAL DRAINAGE AREA.



NOT TO SCALE



		DYKSTRA WALKER DESIGN & GROUP PA PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-6540 • FAX (973) 663-0042 WWW.DYWALKER.COM THOMAS P. GRAHAM, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100	SEWAGE DISPOSAL SYSTEM DESIGN PLAN	DW
			PRELIMINARY AND FINAL SITE PLAN SD VENTURES 2021, LLC BLOCK 4200, LOTS 16.01 & 16.02 56-58 OLD LEDGEWOOD ROAD TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY	SCALE: 1" = 20'
				JOB NO.: 21054
				DRAWN BY: KLA
				CHECKED BY: TFG
				DATE: 09/17/2021
11/21/22	REVISED LAYOUT PER BOARD COMMENTS			
2/18/22	UPDATED OWNER AND APPLICANT INFORMATION			
DATE	REVISION			SHEET NO. 5 OF 8

LIGHTING NOTES

1. ALL AREA LIGHTING SHALL PROVIDE FOR LIGHTS FOCUSED DOWNWARD, TRANSLUCENT FIXTURES AND SHIELDING OR OTHER SUCH LIGHT ORIENTATION AND SHIELDING TO PREVENT LIGHT SPILLAGE OFF OF THE SITE.
2. THE POLE MOUNTED LIGHT FIXTURES TO BE LED AND MOUNTED 16 FEET IN HEIGHT.
3. THE BUILDING MOUNTED LIGHT FIXTURES TO BE LED AND MOUNTED 12 FEET IN HEIGHT.
4. LIGHTING TO BE TIME CLOCK OPERATED FROM DUSK TO A TIME AGREED UPON BY THE BOARD.
5. WIRING FOR SITE LIGHTS SHALL BE RUN IN UNDERGROUND 1" MIN. DIAMETER PVC CONDUIT AND AT LEAST 18" BELOW GRADE EXCEPT WHERE IT CROSSES A DRIVE AISLE WHERE IT SHALL BE 24" MINIMUM.
6. ALL SITE ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
7. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL UNDERGROUND FACILITIES IN SUCH A MANNER THAT THEY DO NOT CONFLICT WITH OTHER UNDERGROUND UTILITIES.
8. ALL WIRING AND CONDUIT REQUIRED TO PROVIDE ELECTRIC SERVICE TO PROPOSED FIXTURES SHALL BE INCLUDED IN LIGHTING BID. CONTRACTOR SHALL COORDINATE THE LAYOUT AND ELECTRICAL SERVICE TO THE PROPOSED FIXTURES WITH THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
9. ALL LIGHT POLES AND FIXTURES SHALL BE BLACK.
10. THESE CALCULATIONS WERE MADE USING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, USING ACCEPTED LIGHT LOSS FACTORS (LLF).

LANDSCAPING GENERAL NOTES

1. ALL VEGETATION SHOWN IS AT SEMI-MATURE GROWTH.
2. EXISTING PREDOMINANT VEGETATION TO BE PRESERVED WHERE PROPOSED SITE GRADING ALOWS.
3. A PROTECTION SNOW FENCE BARRIER SHALL BE PLACED AT THE ONSET OF CONSTRUCTION TO PROPERLY PROTECT EXISTING VEGETATION. SEE DETAIL FOR SPECIFICATIONS. FENCE SHALL BE PLACED AT THE TREE DRIP LINE OR 15 FEET OFF TRUNK, WHICHEVER IS GREATER.
4. EXISTING WOODED AREAS TO REMAIN ARE TO BE SELECTIVELY THINNED, PRUNED, FERTILIZED AND PROTECTED AGAINST INSECT INFESTATION.
5. FOR SEEDING SPECIFICATIONS SEE SEEDING SCHEDULE.
6. APPROPRIATE WEED PREVENTION BARRIER TO BE UTILIZED IN SHRUB AREAS (NOT GROUND COVER AREAS) TO REDUCE MAINTENANCE PRACTICES. FOUR MILLIMETER PERFORATED BLACK PLASTIC OR FIBERGLASS WEED MAT TO BE UTILIZED PER MANUFACTURER'S SPECIFICATIONS.
7. ALL PLANTING BEDS TO BE MULCHED WITH 3" LAYER OF CLEAN HARDWOOD CHIPS OR 3" LAYER PEAT MOSS IN GROUND COVER AREAS.
8. EXACT PLANTING LOCATIONS MAY BE MODIFIED TO ADDRESS SITE CONDITIONS. PLANTING MODIFICATIONS TO BE PERFORMED UNDERPLAN PREPARERS DIRECTION.
9. DUE TO POSSIBLE LIMITED PLANT AVAILABILITY, PLANT MATERIAL OF SIMILAR CHARACTER MAY BE SUBSTITUTED UPON TOWNSHIP ENGINEERS APPROVAL.
10. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND PLANTED IN CONFORMANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
11. ALL PLANT MATERIALS TO BE GUARANTEED BY THE APPLICANT FOR ONE YEAR TO BE IN HEALTHY AND VIGOROUS CONDITIONS. NECESSARY WATERING AND OTHER MAINTENANCE DURING THE GUARANTEE PERIOD IS THE RESPONSIBILITY OF THE APPLICANT.
12. SLOPED AREAS TO BE STABILIZED WITH CROWN VETCH (BEFORE 5/1 OR FROM 8/1 TO 9/1) IN A SEED MIXTURE OF:
- KY-31 TALL FESCUE @3/8# PER 1000SF
CROWN VETCH @1/4# PER 1000SF
CREEPING FESCUE @1/4# PER 1000SF
CHEWING RED FESCUE @1/4# PER 1000SF
13. PROPOSED WEBSITE TOLERANT SEED MIXTURE TO BE PLANTED AT A RATE OF 100# PER ACRE FROM 4/1 TO 5/1 OR 8/16 TO 10/15. SEED MIXTURE TO CONSIST OF:
- 55% TALL FESCUE
20% KENTUCKY BLUEGRASS
15% PERENNIAL RYE
5% ALSIKE CLOVER
5% POA TRIVIALIS
14. THE PLANTING OPERATION INCLUDES ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, SHIPPING, INCIDENTALS AND CLEAN UP BY THE CONTRACTOR FOR THE INSTALLATION OF THE ENTIRE LANDSCAPE PLAN.
15. FALL PLANTING HAZARDS:
IT IS VERY RISKY TO TRANSPLANT THE FOLLOWING LIST OF TREES BARE ROOT OR B&B IN THE FALL:
- ACER RUBRUM & VARIETIES
BETULA VARIETIES
CARPINUS VARIETIES
CORNUS FLORIDA & VARIETIES
PLATANUS ACERIFOLIA
PRUNUS- ALL STONE FRUITS
PIRUS- ALL PEARS
QUERUS- ALL OAKS
ORATEGUS VARIETIES
HALESIA
KOELREUTERIA
LIQUIDAMBAR STYRACIFLUA
LIRIODENDRON TULIPIFERA
SALIX- WEEPING VARS
STYRAX JAPONICA
TILIA TOMENTOSA
ZELKOVA VARIETIES

THE CONTRACTOR ASSUMES RESPONSIBILITY FOR PLANT SURVIVAL OF THESE MATERIALS IF MOVED DURING THE SEASON.

SEEDING SCHEDULE

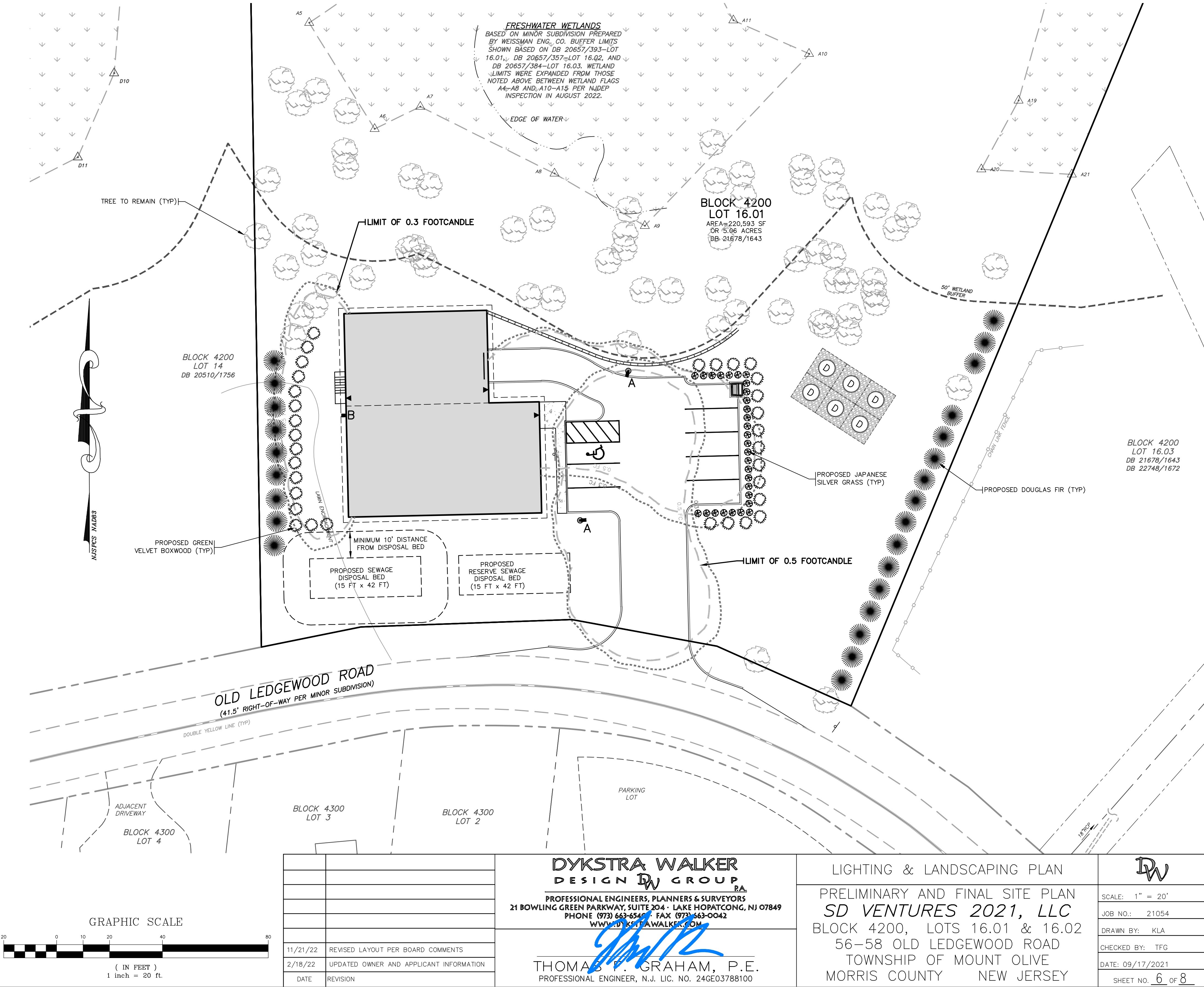
1. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 S.F. OR PEARL MILLET APPLIED AT A RATE OF 0.5 LBS. PER 1,000 S.F.. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 15 AND NOVEMBER 1:
- | TYPE P GRASS SEED MIXTURE | | | |
|----------------------------|-----------------------|----------------------|----|
| MIN. PURITY (PERCENT) | MIN. GERMIN (PERCENT) | % OF TOTAL (PERCENT) | |
| NASSAU KENTUCKY BLUE GRASS | 98 | 90 | 30 |
| FALCON TALL FESCUES | 98 | 90 | 25 |
| PALMER PERENNIAL RYE GRASS | 98 | 90 | 20 |
| REBEL TALL FESCUES | 99 | 90 | 25 |
| CROWN VETCH SEED | 98 | 90 | 0 |
3. PERMANENT SEEDING TO BE APPLIED BY HYDROSEEDING AT A RATE OF 100 LBS. PER ACRE, SLOPED AREAS TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
4. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 2.3 LBS. PER 1,000 S.F. OR AS DETERMINED BY SOIL TEST. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 19 LBS. PER 1,000 S.F., LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 29 LBS. PER 1,000 S.F..
5. IF SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
6. ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBRE MULCH BINDER, LIQUID MULCH BINDER, OR AN APPROVED EQUAL AT A RATE OF 10 LBS. PER 1000 SF.

LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LLF	MOUNTING HEIGHT	DESCRIPTION
 A	1	SINGLE	0.95	16 FT	LSI INDUSTRIES - MRL-LED-50L-SIL-FT-30-80CRI-IL
 B	1	SINGLE	0.95	12 FT	LSI INDUSTRIES - MRL-LED-65L-SIL-2-30-80CRI-IL BLDG MOUNTED

PLANT SCHEDULE

GRASSES							
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED	SIZE	MATURE SIZE	ROOT	SPACING NO.
 Msv	Miscanthus sinensis 'Variegatus'	'Variegated Japanese Silver Grass'	3 Gal.	5' - 6'	#3 cal as shown		29
SHRUBS							
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED	SIZE	MATURE SIZE	ROOT	SPACING NO.
 Bxv	Buxus x 'Green Velvet'	Green Velvet Boxwood	24" - 30"	4' - 5'	#3 cal as shown		32
TREES							
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTED	SIZE	MATURE SIZE	ROOT	SPACING NO.
 PAB	Pseudotsuga Menziesii	Douglas Fir	7 - 8 FT	100' - 120'	B&B	as shown	25



MORRIS COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PROHIBITS TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 22 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER", SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL Dewatering OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE Dewatering DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.

21. TOPSOIL STOCKPILE PROTECTION

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
- APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
- MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

22. TEMPORARY STABILIZATION SPECIFICATIONS

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.

STANDARD FOR DUST CONTROL

DEFINITION
THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES — SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER — SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1, AND PERMANENT STABILIZATION WITH SOD, PG. 6-1.

SPRAY-ON ADHESIVES — ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1. DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) — SPRAY ON			
POLYACRYLAMIDE (PAM) — DRY SPREAD			
ADJULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE — TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING — SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS — SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WATES, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE — SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE — COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- 23. PERMANENT STABILIZATION SPECIFICATIONS**
- APPLY TOPSOIL TO A DEPTH OF 2" TO 3" (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

*NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, ETC AS NOTED ON PLAN. DURATION = 1 DAY.
- CLEAR AND GRUB PROPERTY. DURATION = 10 DAYS.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND STOCKPILES, PERFORM TEMPORARY STABILIZATION OF STOCKPILES. DURATION = 5 DAYS.
- CONSTRUCT SITE IMPROVEMENTS. DURATION = 340 DAYS.
- INSTALL PERMANENT STABILIZATION. DURATION = 5 DAYS.
- REMOVE TEMPORARY SOIL EROSION MEASURES AFTER PERMANENT STABILIZATION IS ESTABLISHED AND APPROVED BY SOIL CONSERVATION DISTRICT. DURATION = 4 DAYS.

TOTAL DURATION = 360 DAYS.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

A. SOIL COMPACTION TESTING REQUIREMENTS

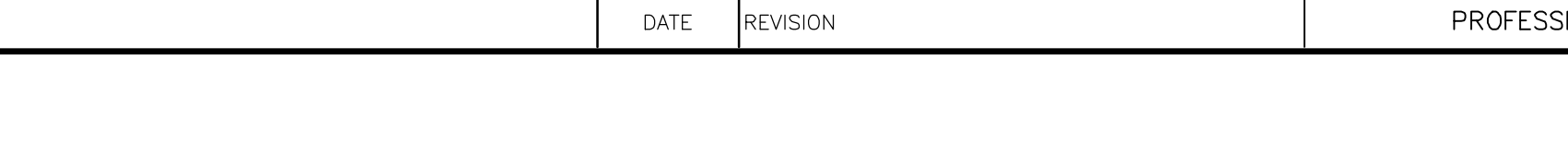
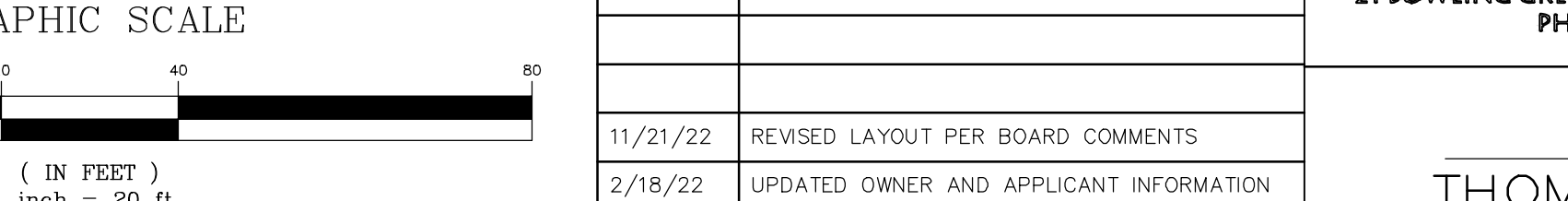
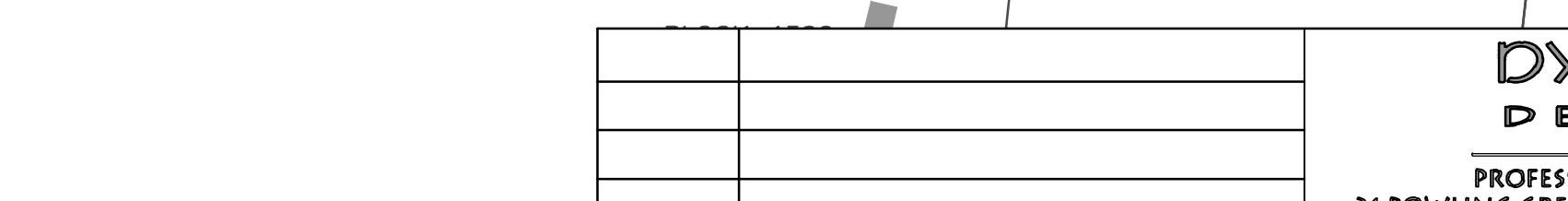
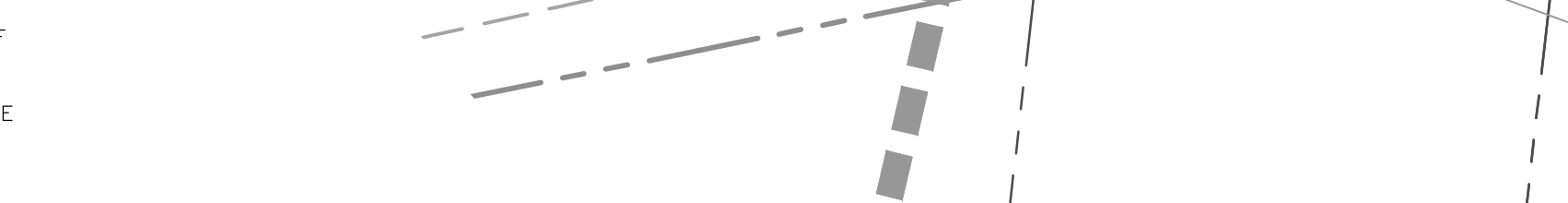
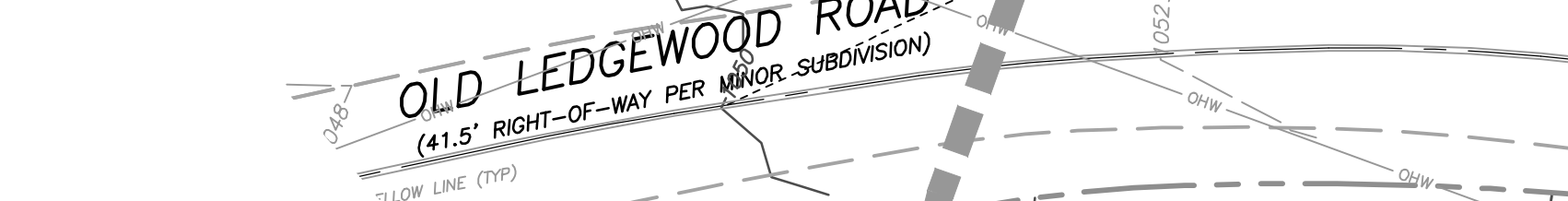
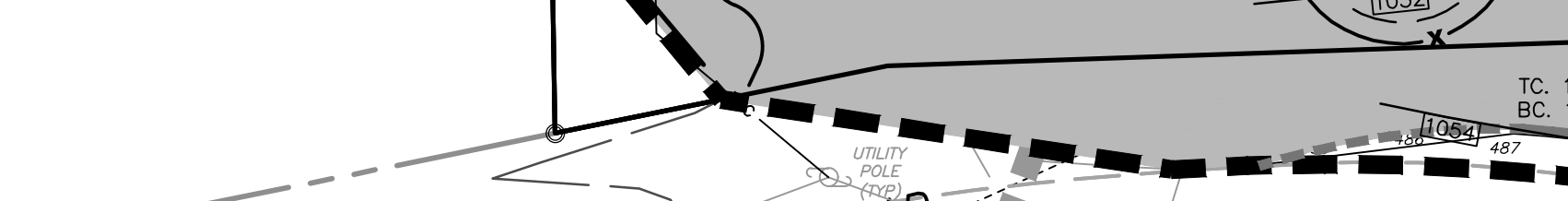
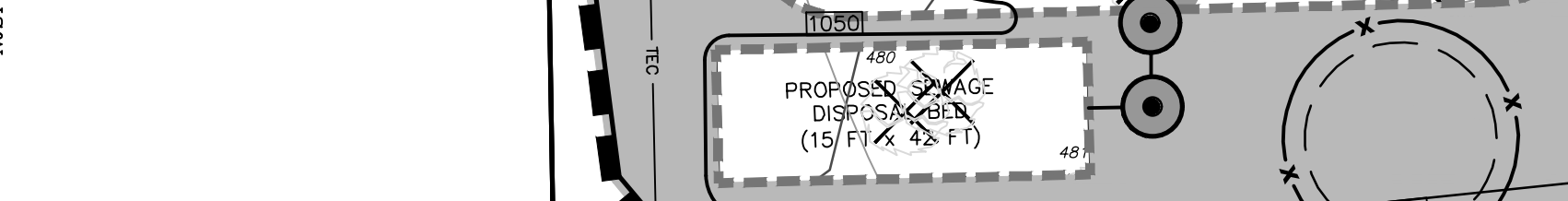
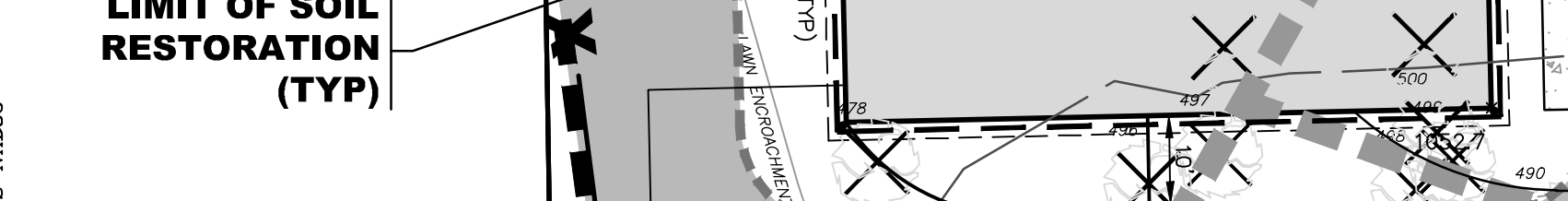
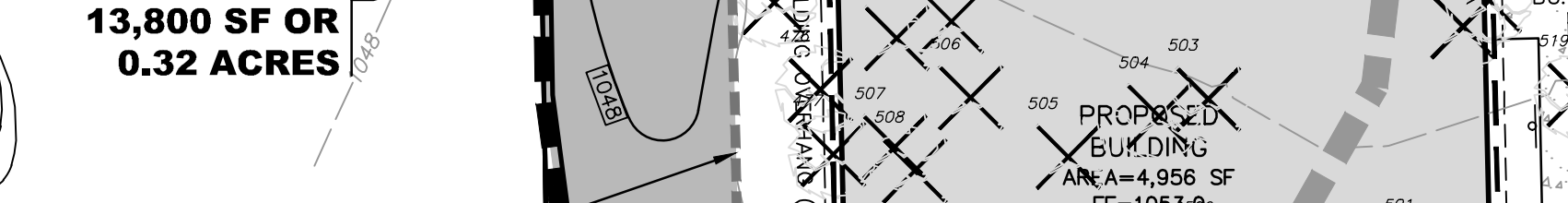
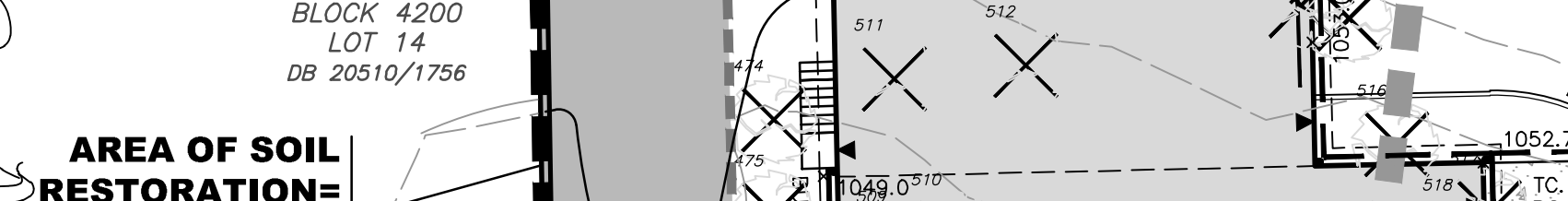
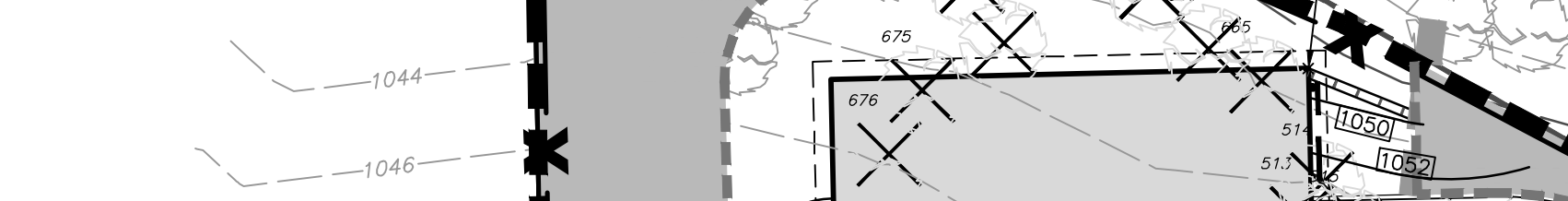
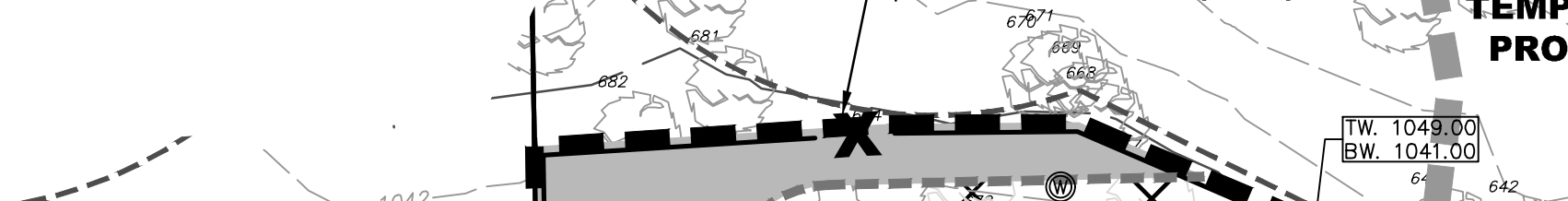
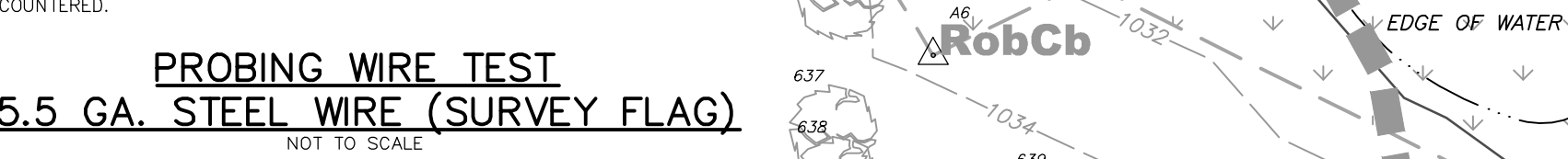
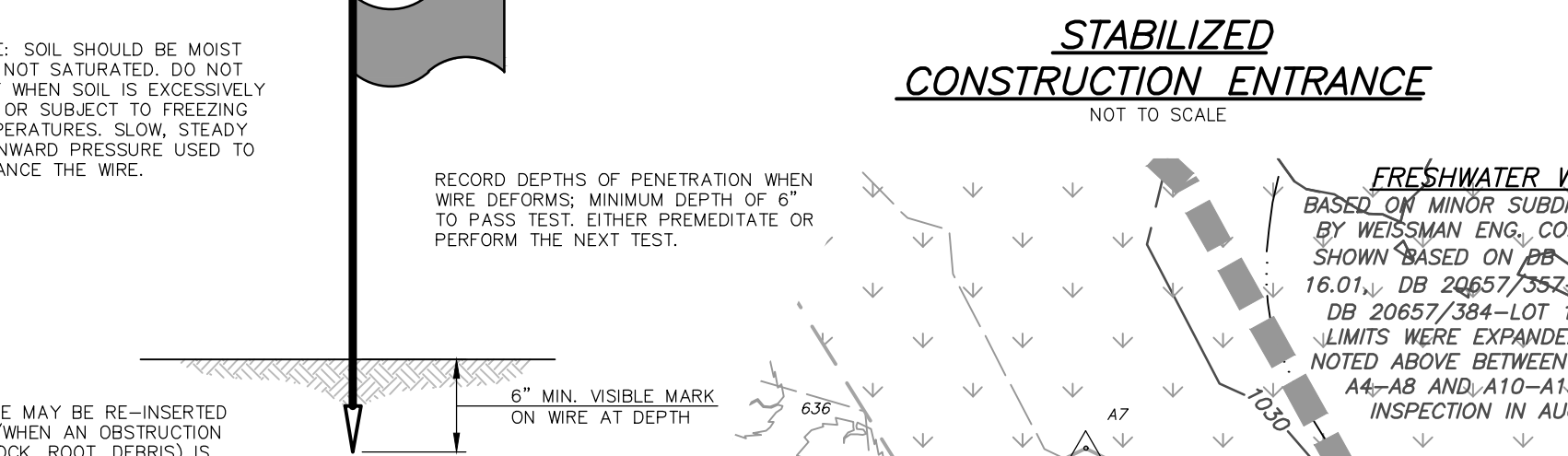
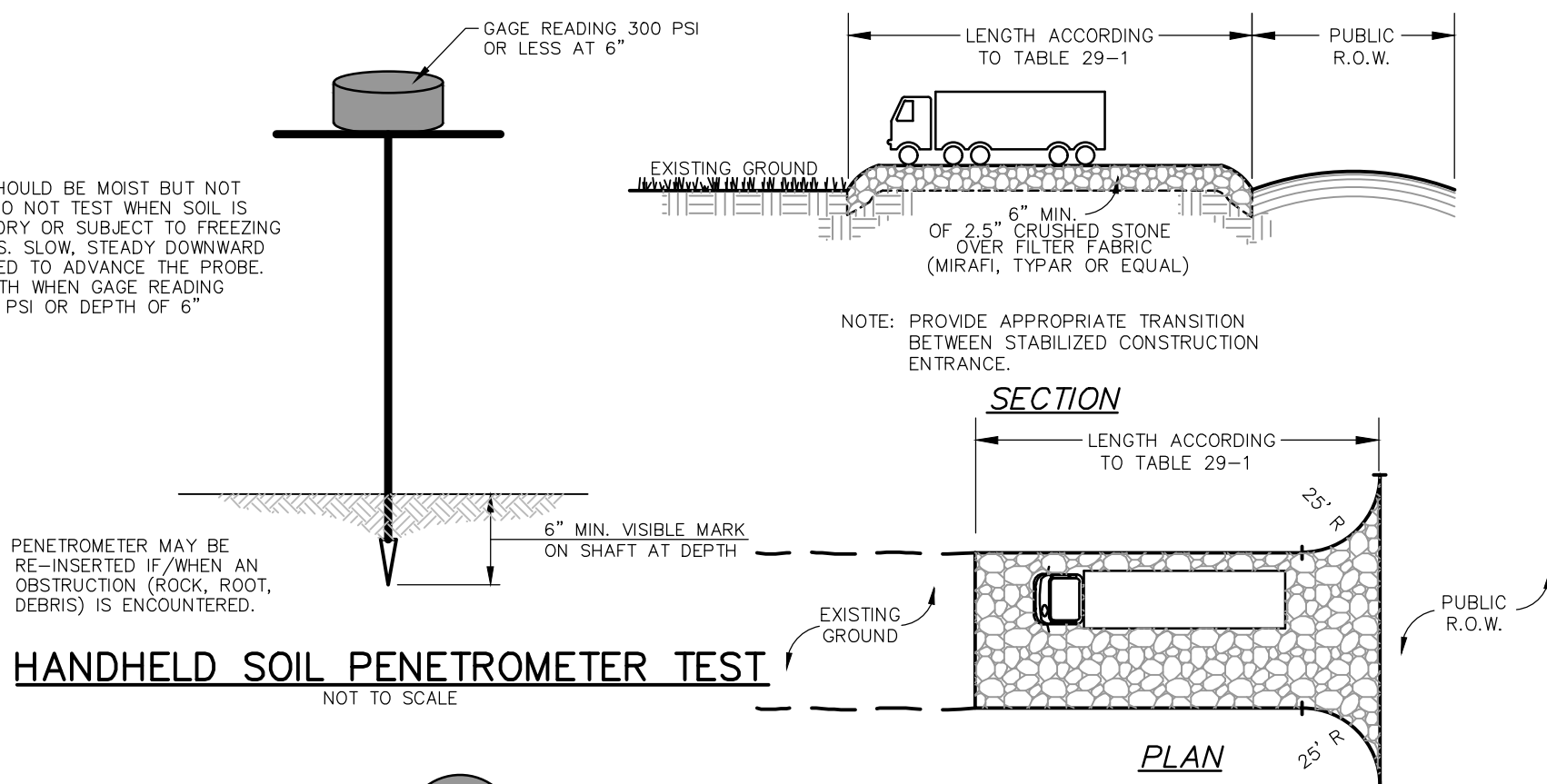
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

B. COMPACTION TESTING METHODS

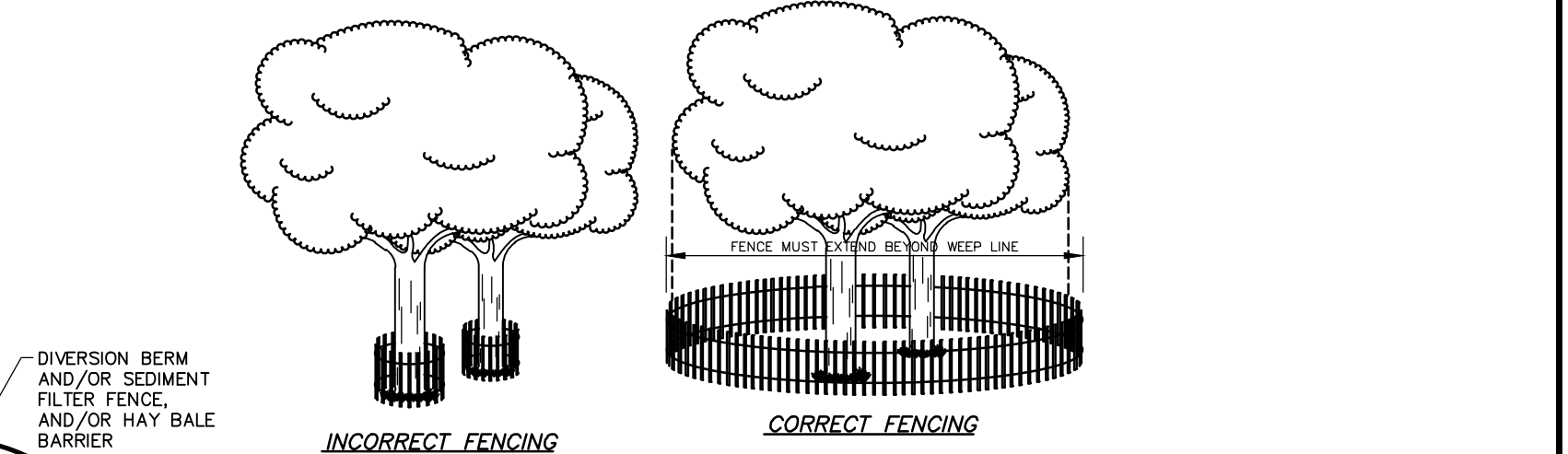
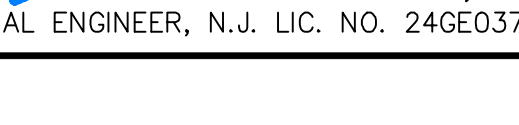
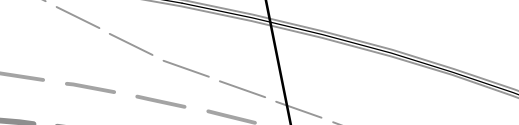
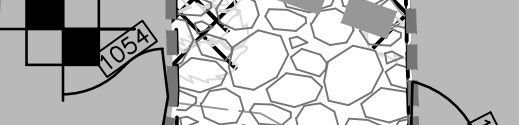
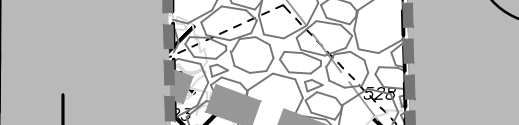
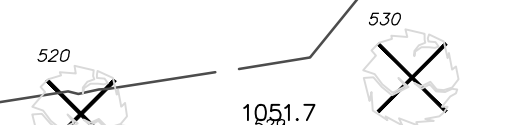
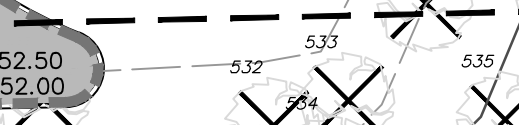
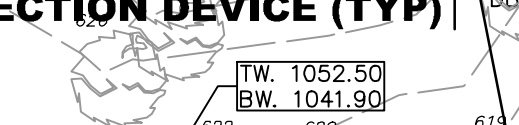
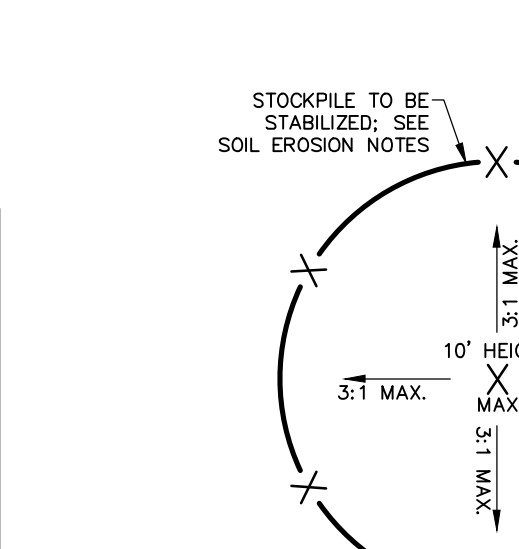
- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

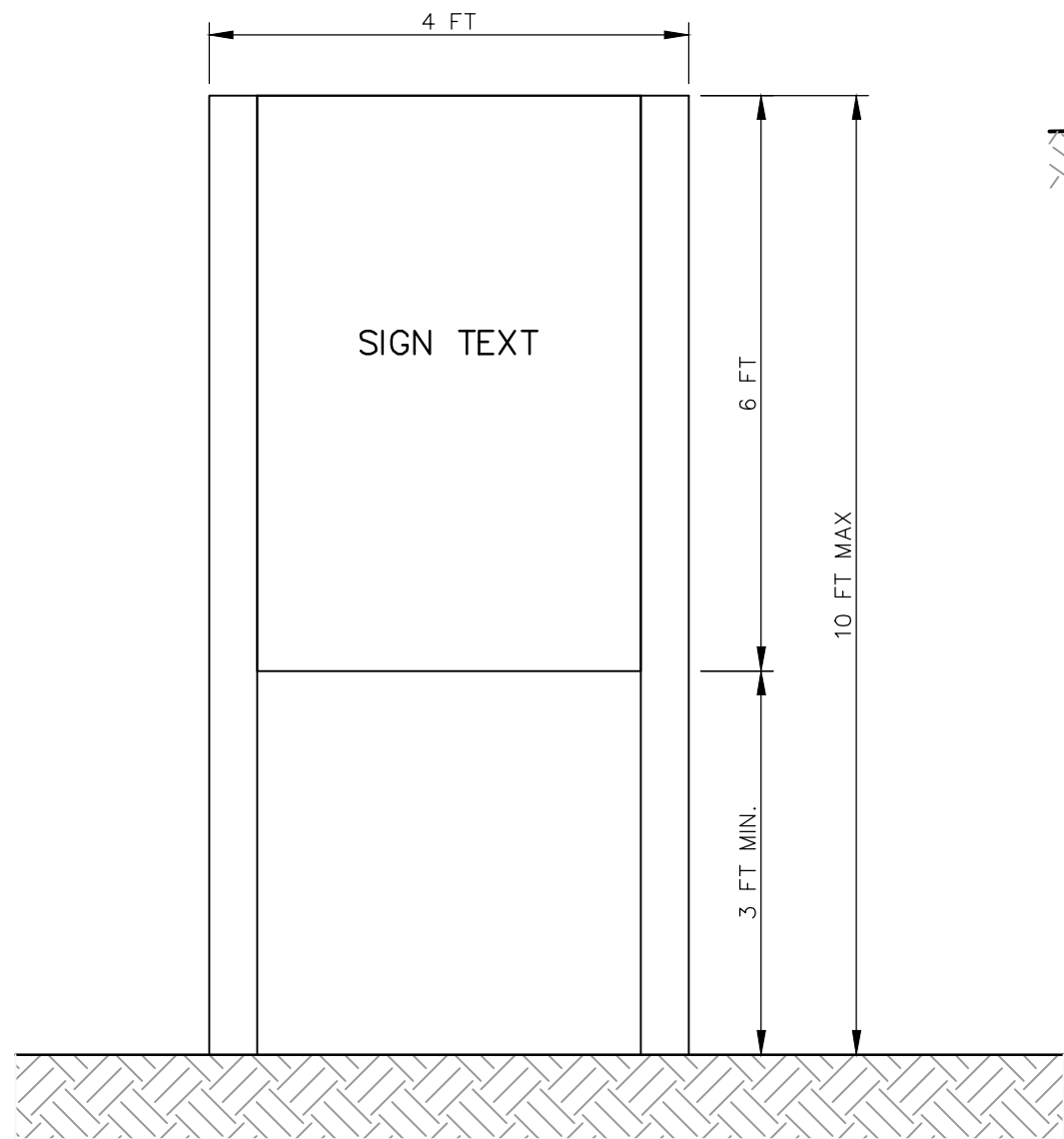
C. PROCEDURES FOR SOIL COMPACTION MITIGATION

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



PERCENTAGE SLOPE OF ROADWAY	LENGTH REQUIRED
0-2%	COARSE GRAINED SOILS 50 FT FINE GRAINED SOILS 100 FT
2-5%	100 FT 200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH P.A.B. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY.





PROPOSED TWO-SIDED
SITE SIGN
SCALE: NTS

DRYWELL SIZING CALCULATIONS:
VOLUME OF PROPOSED DRYWELL:

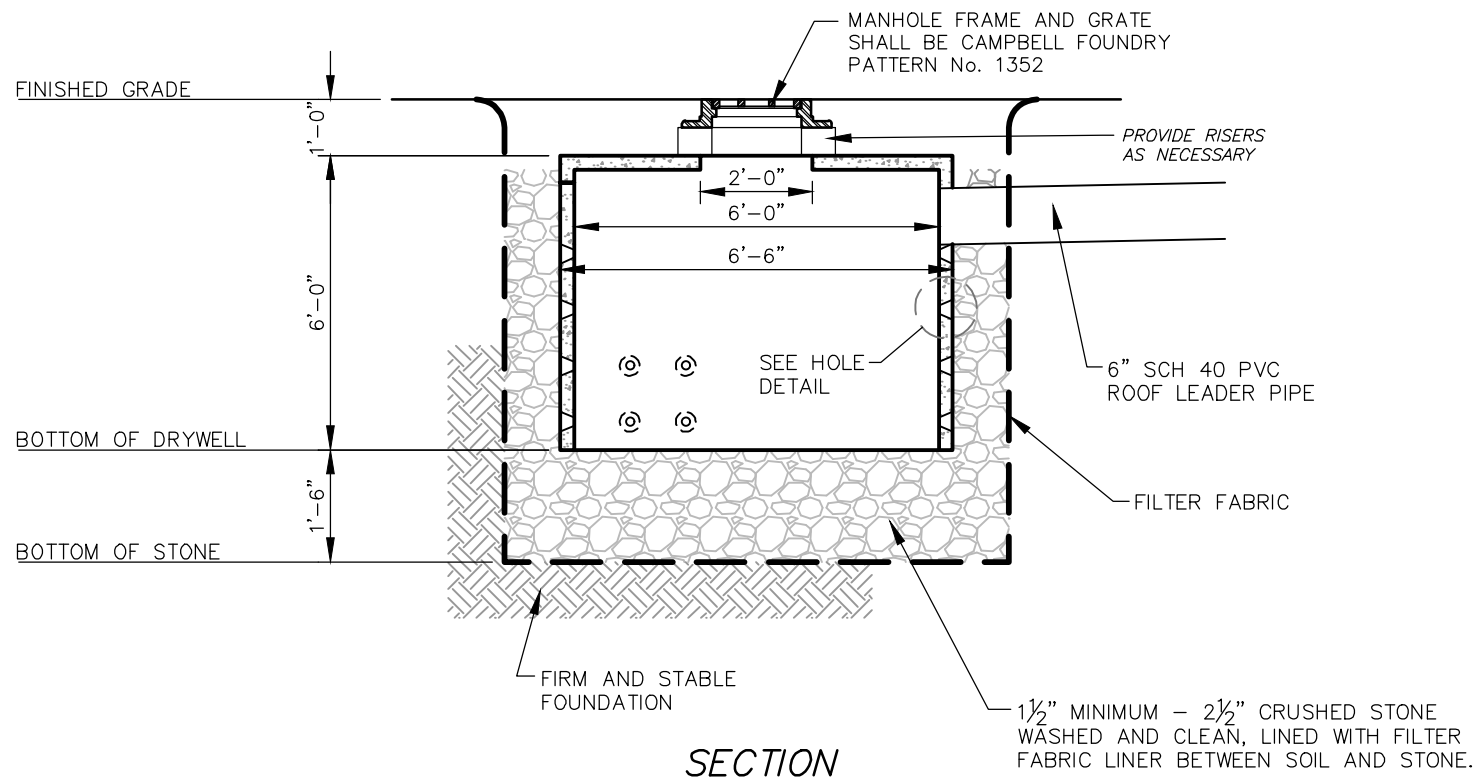
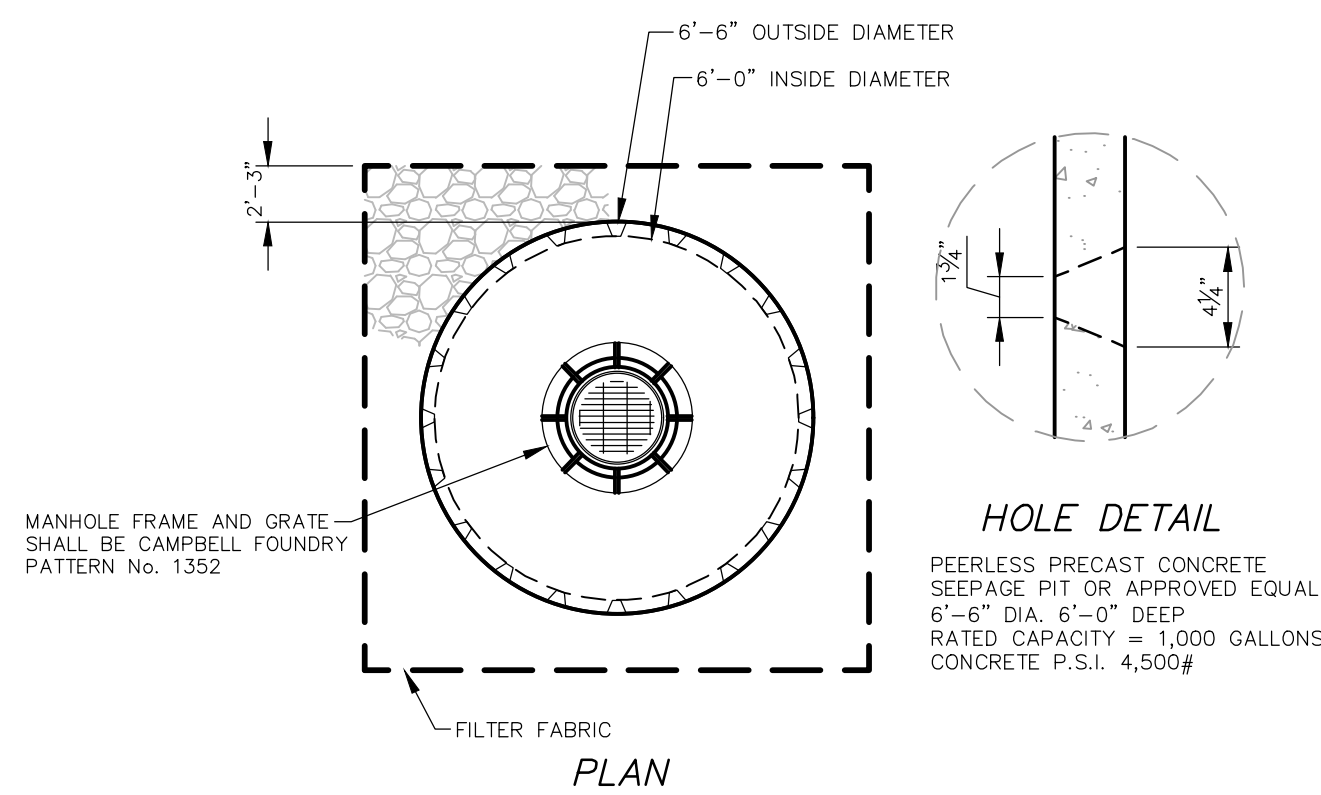
VOLUME OF DRYWELL INTERIOR (V_{in}) = $\pi \times 3.00 \text{ FT}^2 \times 6 \text{ FT} = 170 \text{ CF}$
VOLUME OF DRYWELL EXTERIOR (V_{out}) = $\pi \times 3.25 \text{ FT}^2 \times 6 \text{ FT} = 199 \text{ CF}$
VOLUME OF STONE VOIDS (V_v) = $[(11 \text{ FT} \times 11 \text{ FT})(7.5 \text{ FT}) - 199 \text{ CF}](0.40) = 284 \text{ CF}$

STORAGE VOLUME PER DRYWELL = $170 \text{ CF} + 284 \text{ CF} = 454 \text{ CF}$
INCREASE IN IMPERVIOUS COVERAGE = 10,845 SF

ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 3.00 INCHES

VOLUME OF RUNOFF = $10,845 \text{ SF} \times 3.00 \text{ INCHES} \times \left(\frac{1 \text{ FT}}{12 \text{ IN}}\right) = 2712 \text{ CF}$

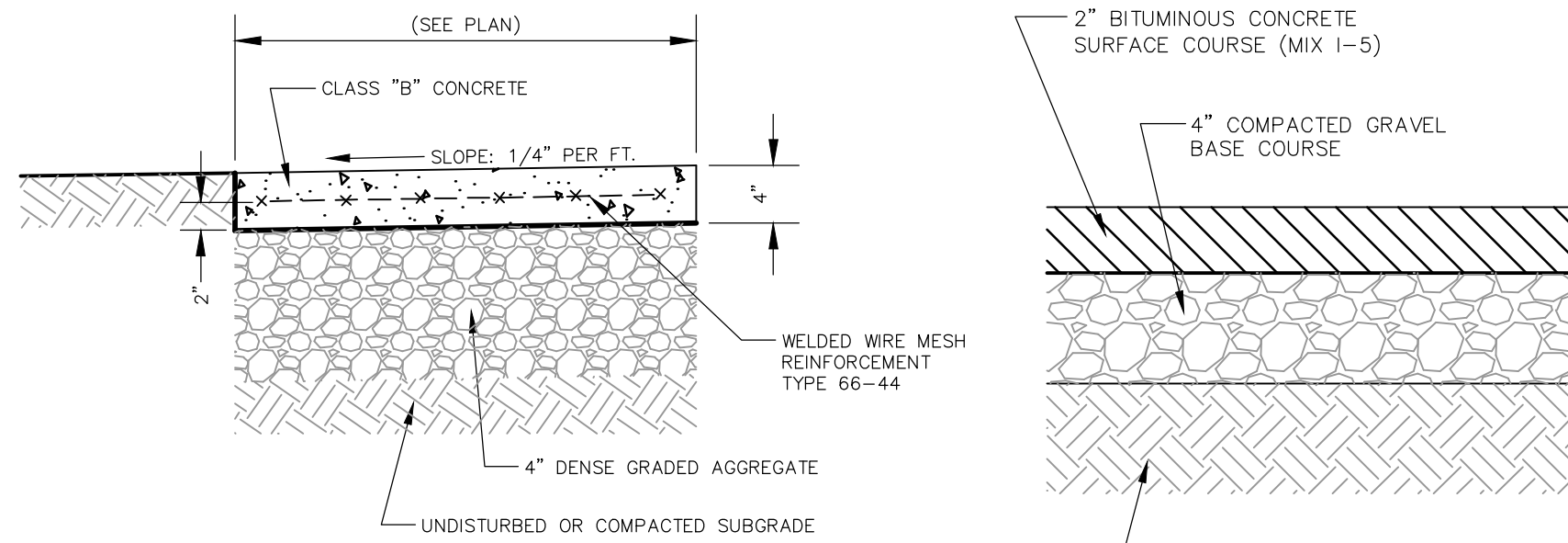
NUMBER OF DRYWELLS REQUIRED FOR LAWN AREA = $\frac{2712 \text{ CF}}{454 \text{ CF}} = 5.97 \sim 6 \text{ DRYWELL}$



NOTE: IF ROCK, HIGH GROUND WATER, OR ANY OTHER POOR SOIL CONDITIONS ARE ENCOUNTERED THAT WOULD INHIBIT PROPER INFILTRATION THE DESIGN ENGINEER IS TO BE NOTIFIED OF THESE CONDITIONS PRIOR TO CONTINUATION OF CONSTRUCTION.

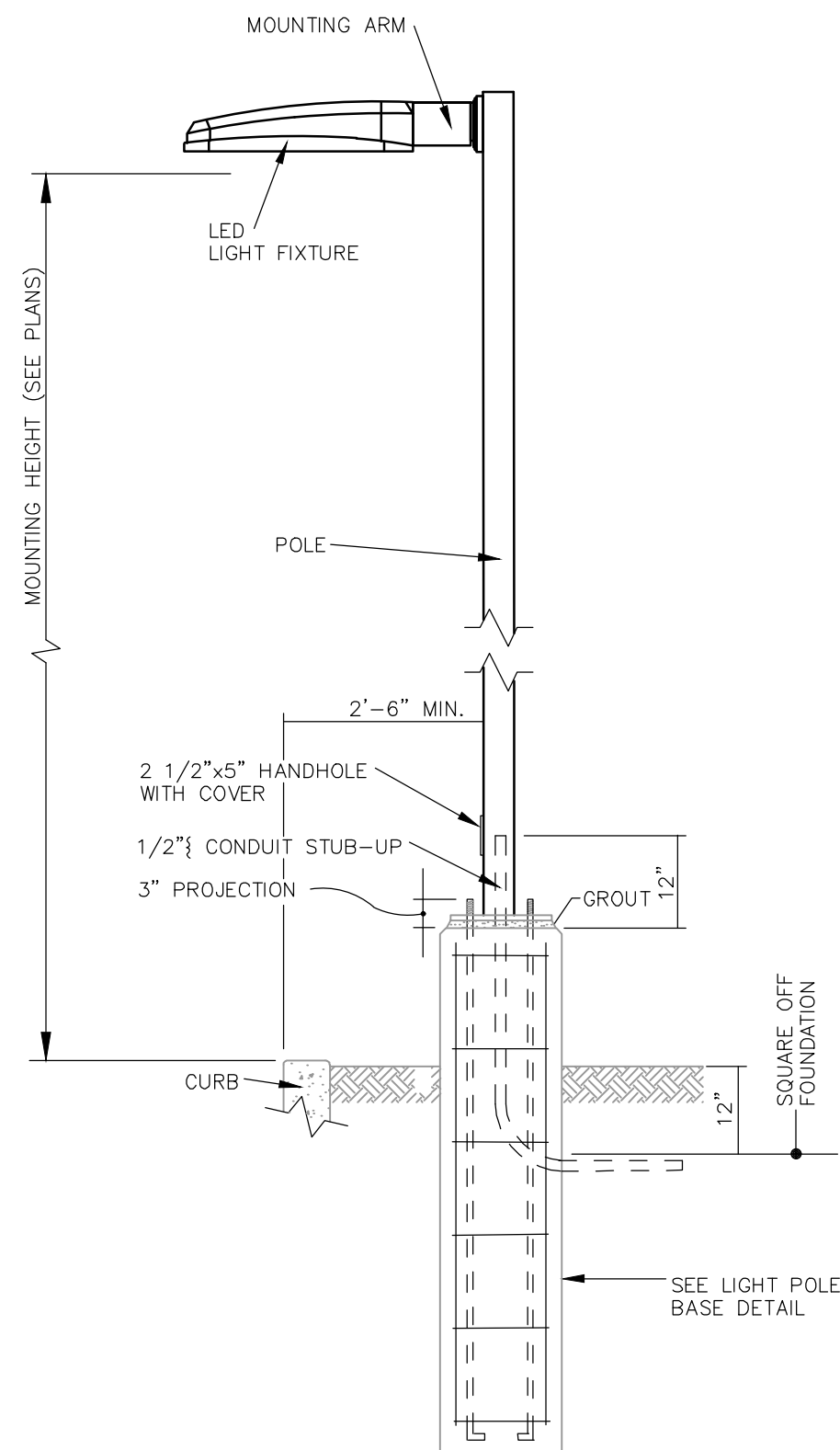
NOTE: ONLY PIPES DEPICTED HEREON SHALL BE DIRECTED TO THE PROPOSED DRYWELL. IN NO EVENT SHALL FOOTING DRAINS, SUMP PUMPS, ETC. BE CONNECTED TO THE PROPOSED DRYWELL.

1,000 GALLON DRY WELL (SEEPAGE PIT)
NOT TO SCALE

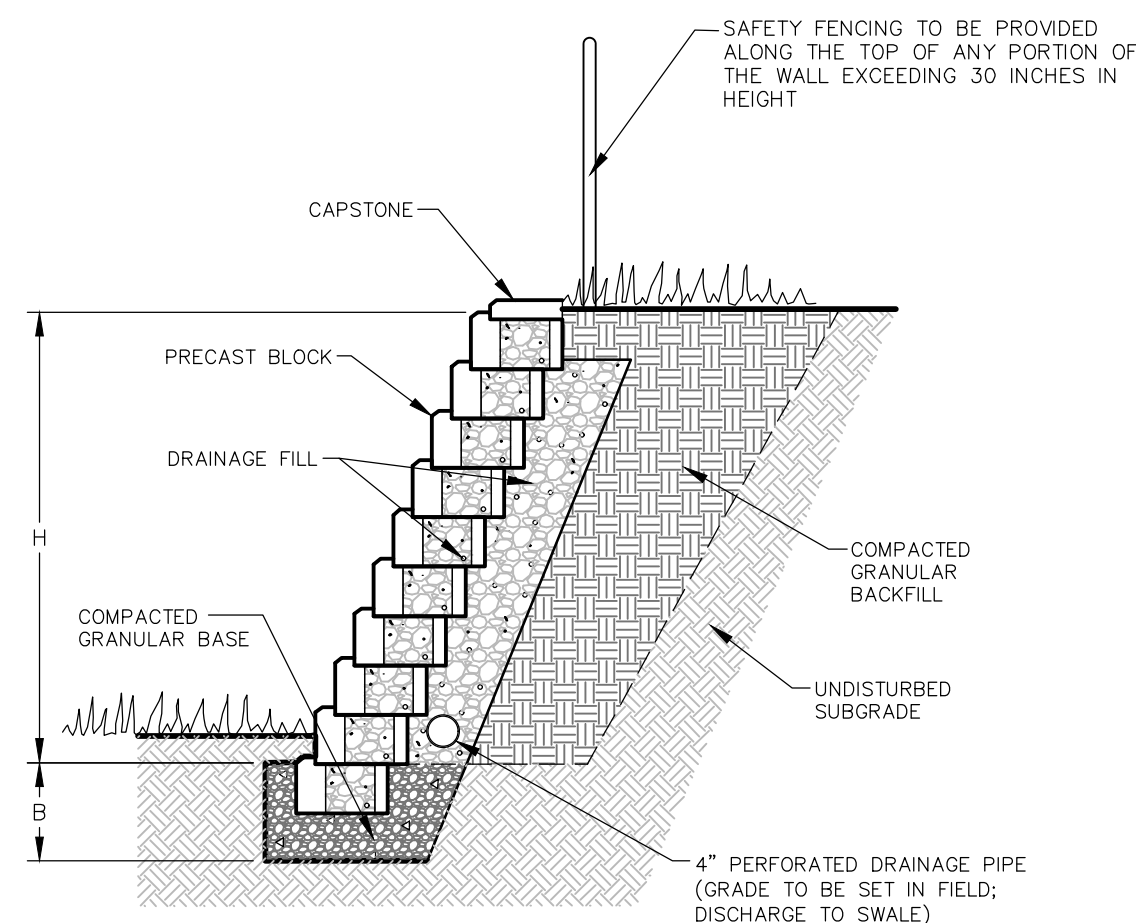


CONCRETE SIDEWALK
NOT TO SCALE

DRIVEWAY PAVEMENT SECTION
N.T.S.

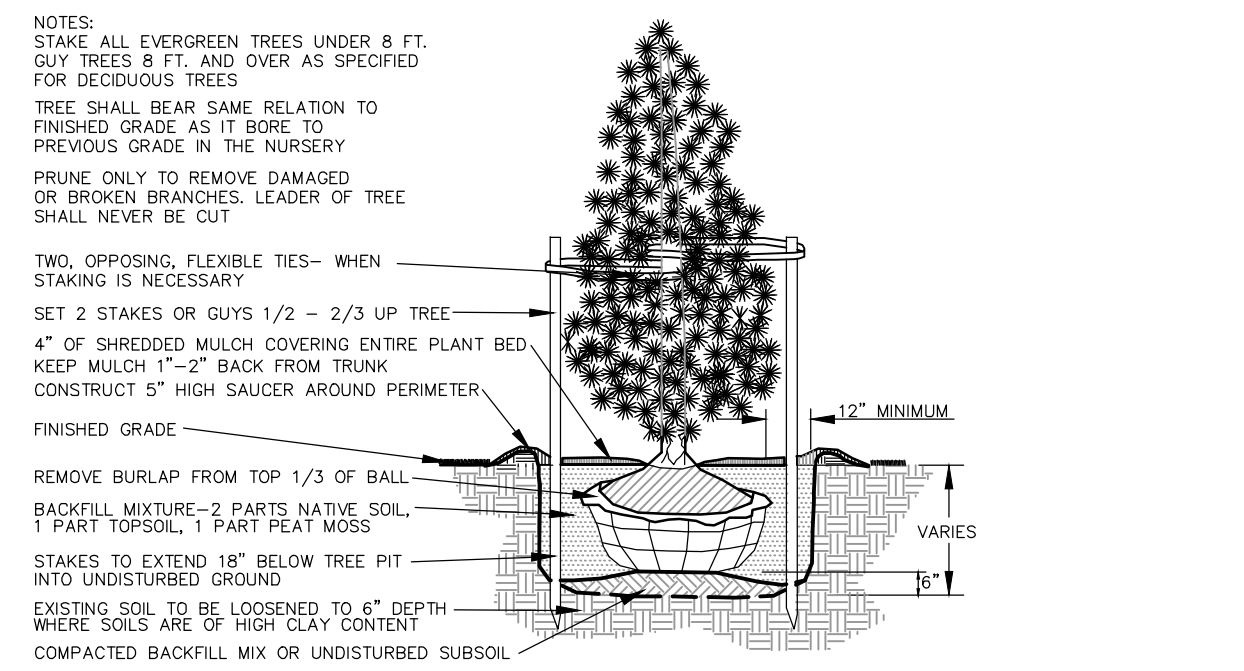


TYPICAL POLE-MOUNTED
LIGHT FIXTURE DETAIL
NOT TO SCALE

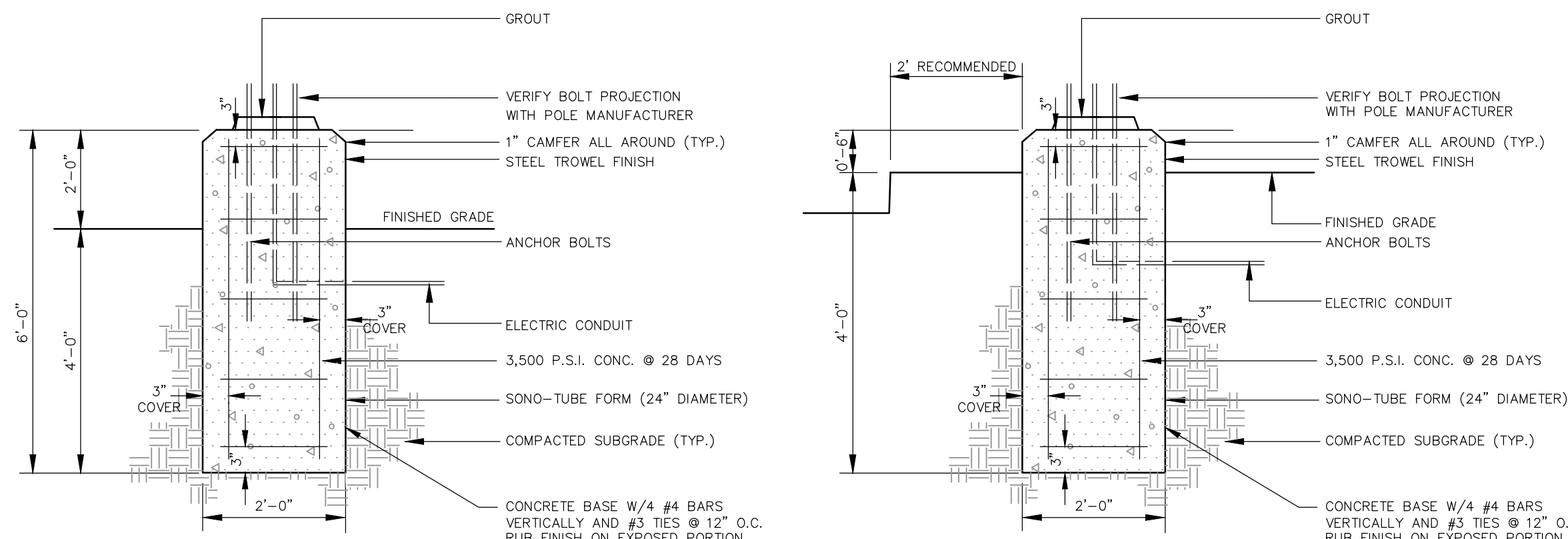


NOTES:
1. WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. HEIGHT OF WALL SHALL BE AS SHOWN ON THE GRADING PLAN. THE NUMBER OF COURSES OF BLOCK SHALL BE AS DETERMINED IN THE FIELD.
3. SHOP DRAWINGS AND PROPOSED MANUFACTURER SHALL BE SUBMITTED FOR REVIEW.
4. DETAILED DESIGN AND STRUCTURAL CALCULATIONS SHALL BE PROVIDED FOR ALL WALLS MORE THAN 4 FT IN HEIGHT AND FOR THE TIERED WALL SYSTEMS ON THIS PROJECT. THE DESIGN AND CALCULATIONS SHALL BE APPROVED BY THE MUNICIPALITY PRIOR TO CONSTRUCTION.

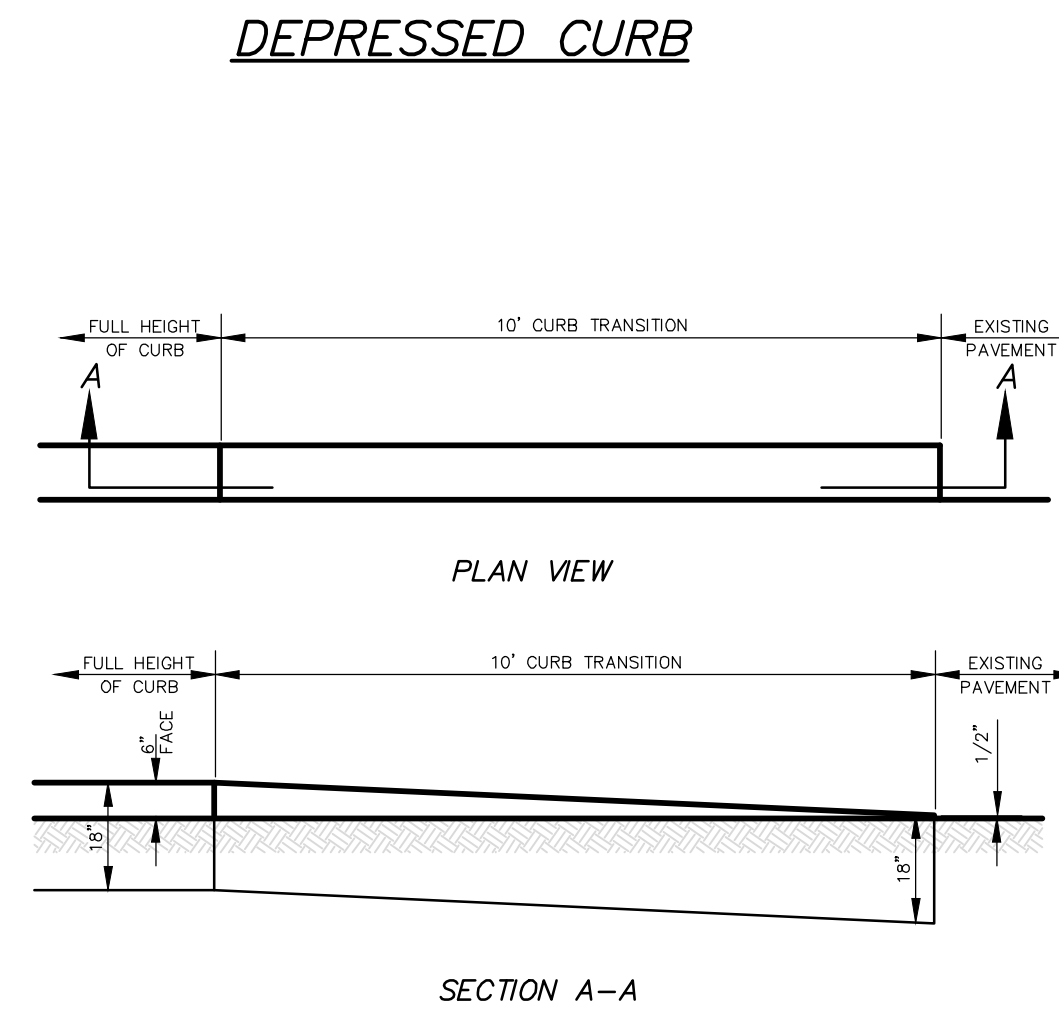
RETAINING WALL DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
N.T.S.

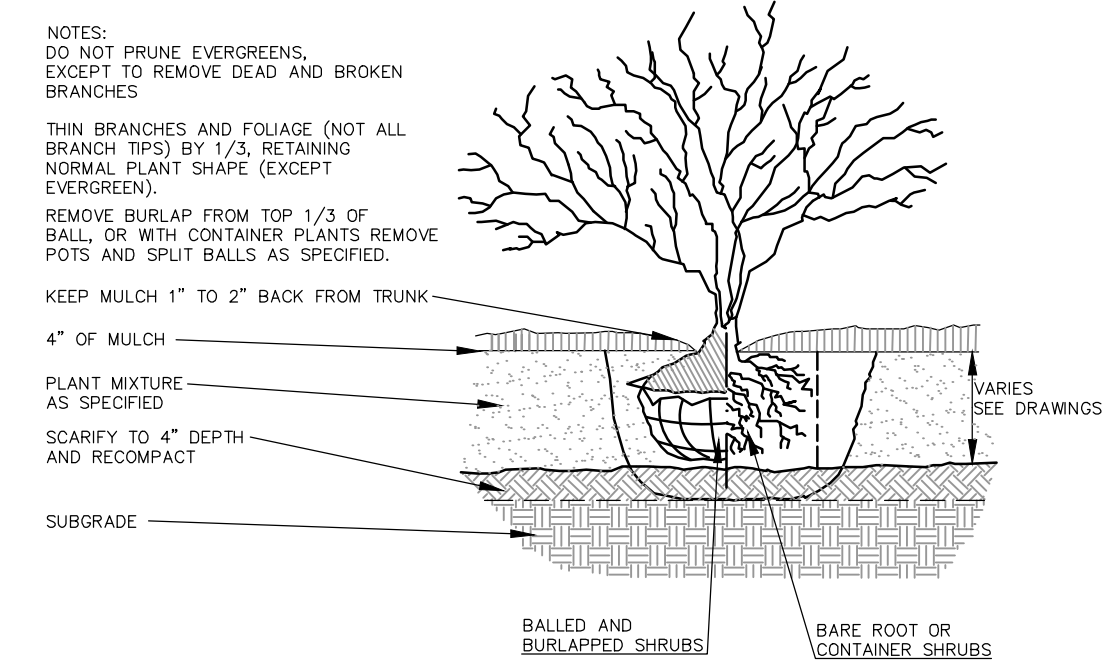


POLE MOUNTED LIGHT POLE BASE DETAILS
NOT TO SCALE

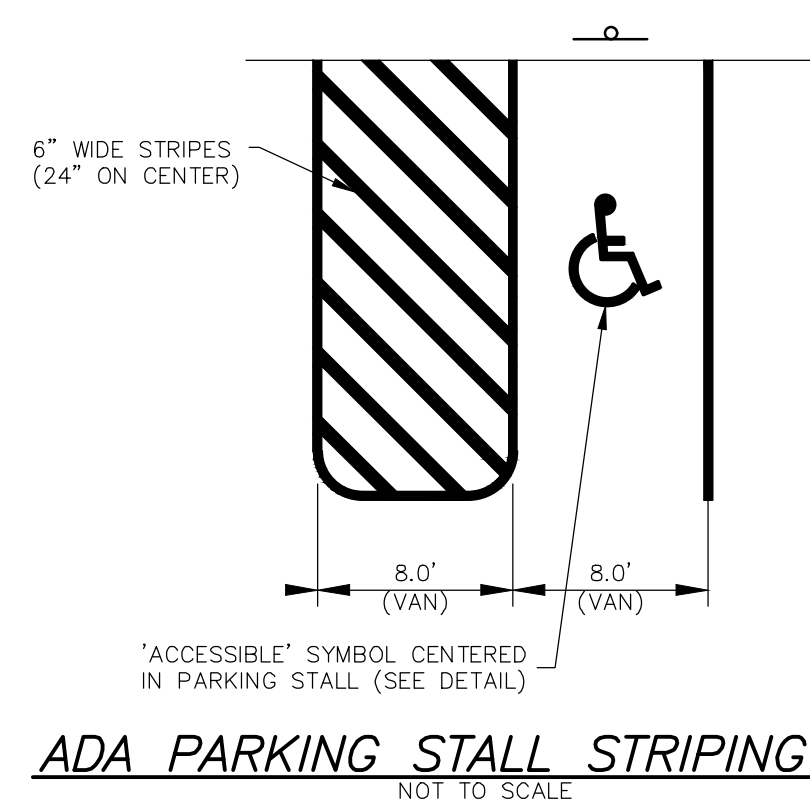


DEPRESSED CURB

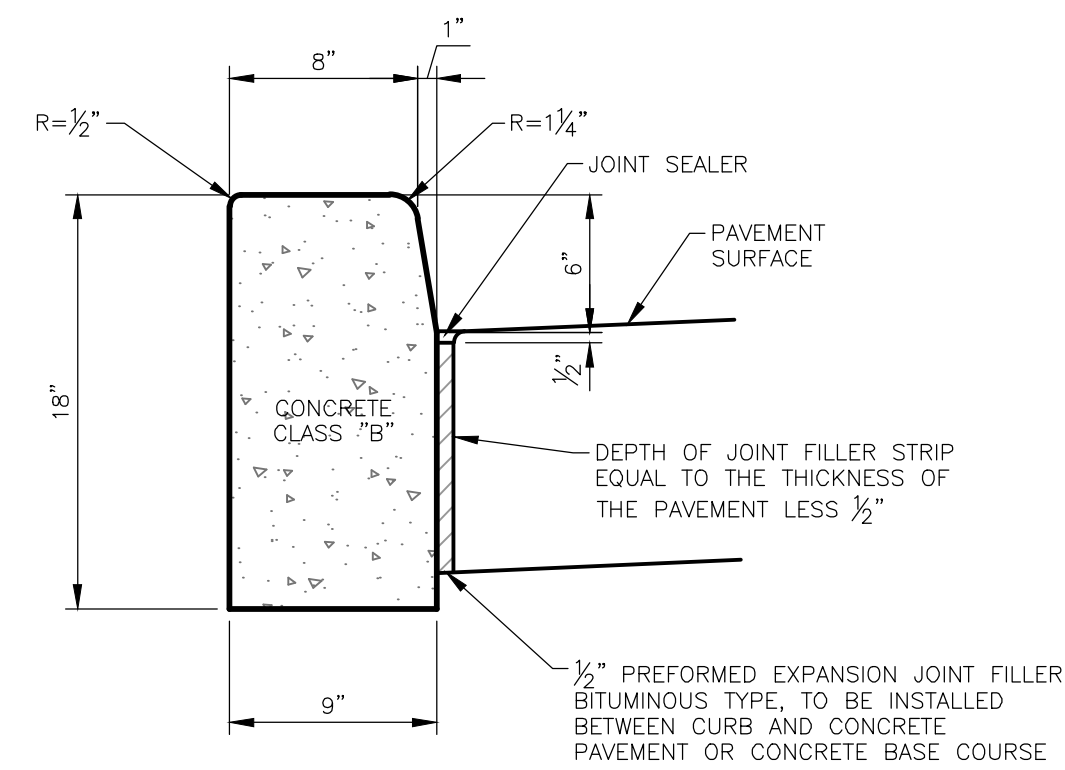
CURB TRANSITION
NOT TO SCALE



SHRUB PLANTING DETAIL
N.T.S.



ADA PARKING STALL STRIPING (NJ)
NOT TO SCALE



NOTES:
1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" ON CENTER AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
2. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.
3. OMIT LONGITUDINAL EXPANSION JOINT FOR ASPHALT PAVEMENT.

9" X 18" CONCRETE VERTICAL CURB
NOT TO SCALE

		DYKSTRA WALKER DESIGN DW GROUP PA. PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS 21 BOWLING GREEN PARKWAY, SUITE 204 - LAKE HOPATCONG, NJ 07849 PHONE (973) 663-4544 FAX (973) 663-0042 WWW.DYKSTRAWALKER.COM	DETAILS	DW	
			PRELIMINARY AND FINAL SITE PLAN SD VENTURES 2021, LLC BLOCK 4200, LOTS 16.01 & 16.02 56-58 OLD LEDGEWOOD ROAD TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		SCALE: AS NOTED
					JOB NO.: 21054
					DRAWN BY: KLA
11/21/22	REVISED LAYOUT PER BOARD COMMENTS	THOMAS F. GRAHAM, P.E. PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE03788100		CHECKED BY: TFG	
2/18/22	UPDATED OWNER AND APPLICANT INFORMATION		DATE: 09/17/2021		
DATE	REVISION			SHEET NO. 8 of 8	