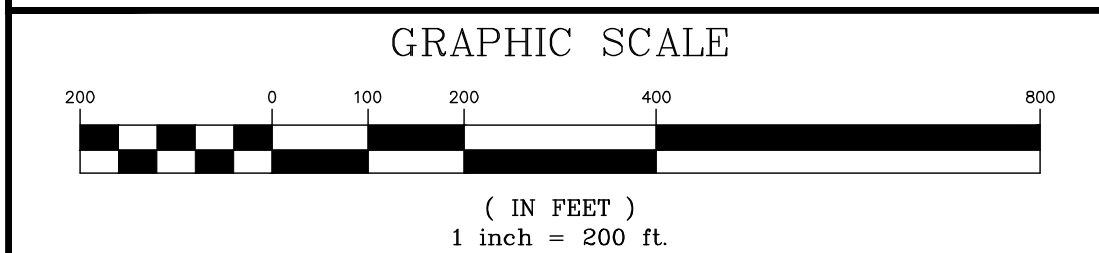


NOTE: INFORMATION SHOWN HEREON TAKEN FROM THE TOWNSHIP OF MOUNT OLIVE TAX MAP SHEET 33 AND THE MOUNT OLIVE ZONING MAP.

KEY MAP
SCALE: 1" = 100'±



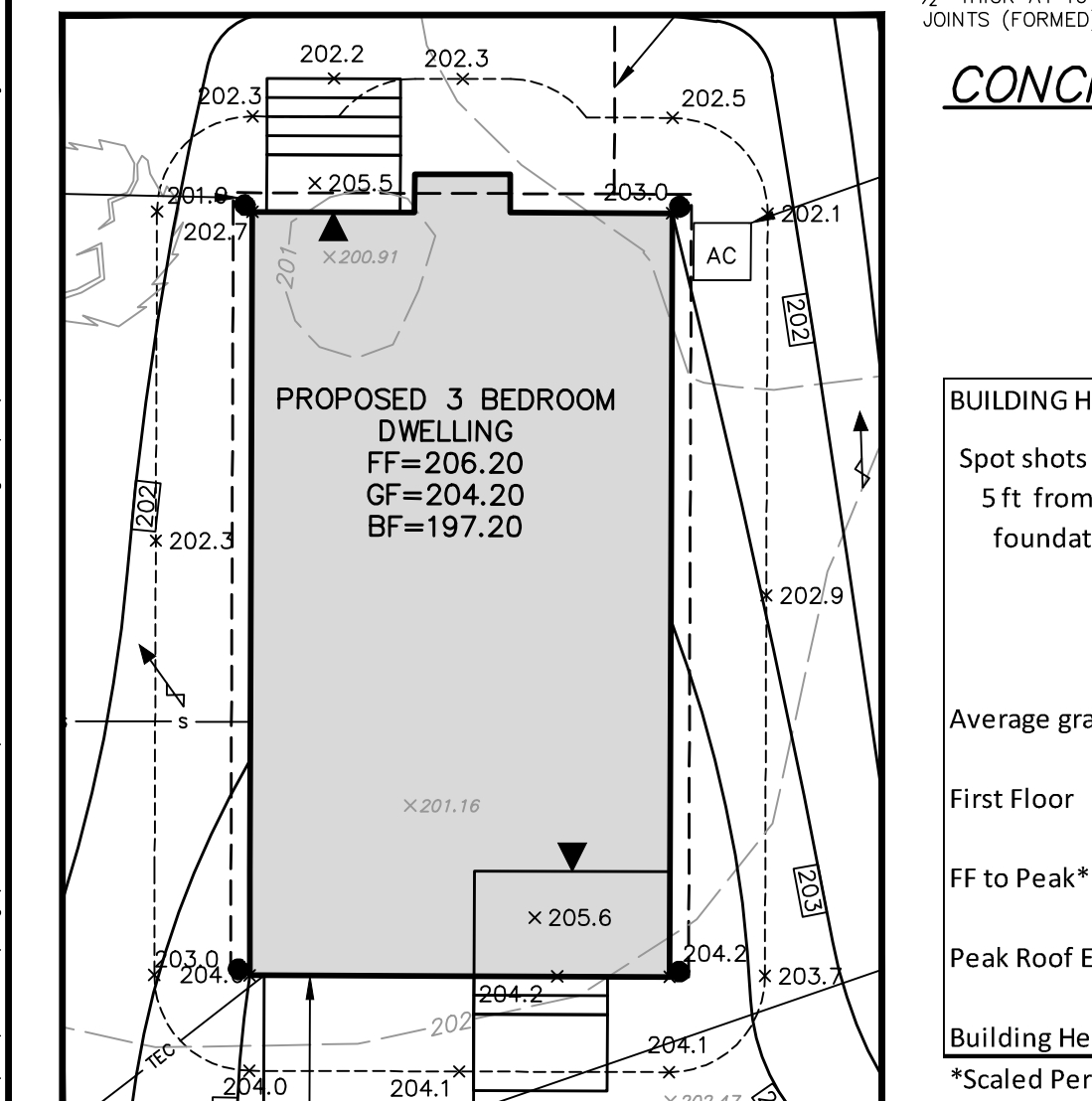
TOWNSHIP OF MOUNT OLIVE ZONING REQUIREMENTS

R-4 (RESIDENTIAL 4) ZONE DISTRICT			
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	5,613 SF (1)	5,613 SF (1)(2)
MINIMUM LOT WIDTH	80 FT	53.5 FT (1)	53.5 FT (1)
MINIMUM FRONT YARD SETBACK (SPRING STREET) (CENTER STREET)	35 FT	N/A	35 FT
MINIMUM SIDE YARD SETBACK (SINGLE)	12 FT	N/A	12 FT
MINIMUM SIDE YARD SETBACK (COMBINED)	24 FT (3)	N/A (3)	45 FT (3)
MINIMUM REAR YARD SETBACK	35 FT (3)	N/A (3)	N/A (3)
MAXIMUM BUILDING COVERAGE	20%	N/A	15.9% (890 SF) (4)
MAXIMUM LOT COVERAGE	30%	3.2% (178 SF)	28.2% (1,584 SF) (4)
MAXIMUM BUILDING HEIGHT	35 FT	N/A	28.9 FT (5)

- (1) EXISTING NON-CONFORMING CONDITION.
- (2) VARIANCE REQUIRED.
- (3) ANY PRINCIPAL OR ACCESSORY BUILDING LOCATED ON A CORNER LOT SHALL HAVE A MINIMUM SETBACK FROM BOTH STREET LINES EQUAL TO THE REQUIRED FRONT YARD. THE REMAINING TWO YARDS SHALL BE CONSIDERED SIDE YARDS FOR THE PURPOSE OF THIS CHAPTER. SECTION 550-37 OF THE MOUNT OLIVE LAND USE ORDINANCE.
- (4) SEE IMPERVIOUS COVERAGE BREAKDOWN.
- (5) SEE BUILDING HEIGHT CALCULATIONS.

IMPERVIOUS COVERAGE BREAKDOWN

EXISTING CONDITIONS	
SIDEWALK REMAINS	10 SF
ENCROACHING DRIVEWAY	168 SF
TOTAL	178 SF
PROPOSED CONDITIONS	
DWELLING	890 SF
DRIVEWAY	583 SF
WALKS AND PATIOS	84 SF
AC PAD	9 SF
TREE WELL	18 SF
TOTAL	1,584 SF



PROPOSED BUILDING HEIGHT CALCULATIONS

SCALE: 1" = 10'

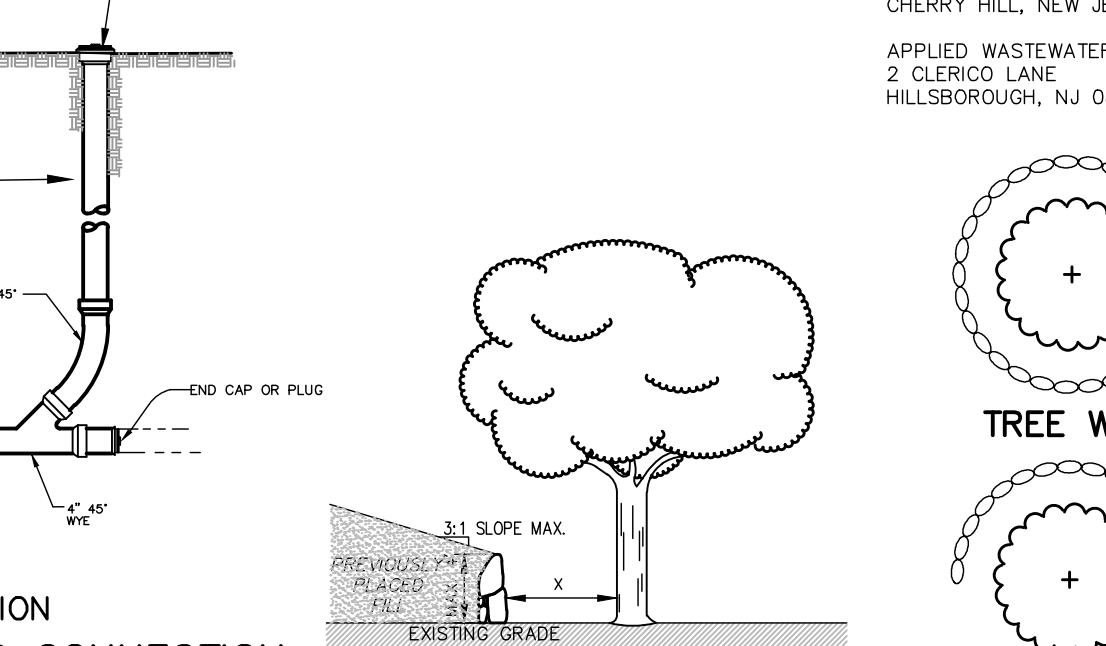
NOTES AND REFERENCES:

1. OWNER/APPLICANT: TODD M JERMAN
10 CUPSAW DR
RINGWOOD, NJ 07456
2. THIS PLAN HAS BEEN PREPARED FOR THE DEVELOPMENT OF PROPERTY KNOWN AS BLOCK 3305, LOT 21, LOCATED IN THE TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY. THE APPLICANT PROPOSES TO CONSTRUCT A SINGLE-FAMILY DWELLING, DRIVEWAY, AND ASSOCIATED SITE IMPROVEMENTS.
3. THE SUBJECT PROPERTY IS 0.129 ACRES IN SIZE AND IS SITUATED WITHIN THE R-4 RESIDENTIAL ZONE DISTRICT. THE SITE HAS FRONTAGE ON CENTER STREET AND SPRING STREET.
4. BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS INFORMATION OBTAINED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PLAN, BLOCK 3305, LOT 21, #42 CENTER STREET, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY," PREPARED BY DYKSTRA WALKER DESIGN GROUP AND DATED 05/18/2021
5. THERE ARE NO KNOWN WETLANDS, WETLAND BUFFERS, RIPARIAN ZONES, OR FLOOD HAZARD AREAS LOCATED ON OR WITHIN 300 FEET OF THE SUBJECT PROPERTY AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION GEOWEB AND IS SUBJECT TO PER FIELD DELINEATION AND APPROVAL FROM THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (WWW.NJ.GOV/DEP/GIS/GEOWEB/FLASH.HTM).
6. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH TOWNSHIP OF MOUNT OLIVE, THE NDEP, AND OSHA SAFETY STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE.
7. ALL UTILITY LOCATIONS, GRADES, ELEVATIONS, INVERTS, ETC. SHALL BE CONFIRMED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ANY DESIGN ADJUSTMENTS THAT MAY BE REQUIRED DUE TO FIELD CONDITIONS.
8. THIS PROJECT WILL DISTURB LESS THAN ONE (1) ACRE OF LAND AND WILL INCREASE IMPERVIOUS COVER BY LESS THAN ONE-QUARTER (1/4) OF AN ACRE. THEREFORE, THIS PROJECT IS NOT A MAJOR DEVELOPMENT PER NDEP STORMWATER MANAGEMENT REGULATIONS AT N.J.A.C. 7-8.
9. ARCHITECTURE PLANS PREPARED BY DARIO ARCHITECTURE DESIGN.
10. THERE ARE NO EXISTING EASEMENTS OR RIGHT-OF-WAYS ACROSS THE SUBJECT PROPERTY.
11. FOUNDATION SHRUBBERY & PLANTINGS TO BE SELECTED BY THE OWNER AT THE TIME OF CONSTRUCTION.
12. VARIANCE REQUIRED FOR THE FRONT YARD SETBACK ALONG CENTER STREET AS 14.4 FT IS PROPOSED WHILE A MINIMUM OF 35 FT IS REQUIRED PER THE LAND USE ATTACHMENT 3 SCHEDULE OF LIMITATIONS, RESIDENTIAL DISTRICTS.

LIST OF PROPERTY OWNERS WITHIN 200'

LIST AS PREPARED BY MOUNT OLIVE TOWNSHIP TAX ASSESSOR

BLOCK 3300 LOT 13 TODD, GEORGE JR & SHARON M 30 CENTER ST BUDD LAKE, NJ 07828	BLOCK 3301 LOT 17 VAG ENTERPRISES LLC 45 DRAKESDALE RD FLANDERS, NJ 07836	BLOCK 3305 LOT 24 ZWEIBACK, HEATHER 52 CENTER ST BUDD LAKE, NJ 07828
BLOCK 3300 LOT 14 LOMBARD, HUGO 32 CENTER ST BUDD LAKE, NJ 07828	BLOCK 3301 LOT 18 L S INVESTMENTS PROPERTIES LLC 198 RT 46 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 27 CHRISTENSEN, RYAN 53 CENTER ST BUDD LAKE, NJ 07828
BLOCK 3300 LOT 16 POYER, TAMMY L 234 RT 46 BUDD LAKE, NJ 0728	BLOCK 3305 LOT 14 EBURY RE LLC 56 LOCUST AVE 2ND FL RYE, NY 10580	BLOCK 3305 LOT 28 RAMOS, LAURO & VALLECER, HARRIET M 51 CENTER ST BUDD LAKE, NJ 07828
BLOCK 3300 LOT 17 POYER, TAMMY L 234 RT 46 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 15 MT OLIVE TOWNSHIP PO BOX 450 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 29 BRADLEY, MARY J 8 SPRING ST BUDD LAKE, NJ 07828
BLOCK 3300 LOT 18 CLEARY, GEORGIANA 236 ROUTE 46 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 16 KEY, CHRISTOPHER S 222 ROUTE 46 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 30 MT OLIVE TOWNSHIP PO BOX 450 BUDD LAKE, N.J. 07828
BLOCK 3300 LOT 19 OWM PROPERTIES, LLC 3 KATHARINA PL WASHINGTON, NJ 07676	BLOCK 3305 LOT 17 CONVERGE CONSTRUCTION LLC 9 STEPHENVILLE PKWY EDISON, NJ 08817	UTILITIES: BRUCE D. SMITH HACKTISTTOWN MUNICIPAL UTILITIES AUTHORITY P.O. BOX 450 HACKTISTTOWN, NJ 07840 R. ALBANESE NEW JERSEY NATURAL GAS 1415 WYCKOFF ROAD WALL, NJ 07719 BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP 1470 POORHOUSE ROAD DOWNTOWN, PA 19335-342 MT OLIVE TOWNSHIP - WATER & SEWER DEPARTMENT P.O. BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT OLIVE, NJ 07828 N.J. DEPARTMENT OF TRANSPORTATION 1035 PARKWAY DR, CN 600 TRENTON, NJ 08625 PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T6B NEWARK, NJ 07102 NEW JERSEY - AMERICAN WATER CO. INC P.O. BOX 5627 CHERRY HILL, NEW JERSEY 08034 APPLIED WASTEWATER MANAGEMENT 2 CLERICO LANE HILLSBOROUGH, NJ 08844
BLOCK 3301 LOT 12 HENNEMAN, TIMOTHY L 33 CENTER ST MOUNT OLIVE, NJ 07828	BLOCK 3305 LOT 18 MC KINNEY, VINCENT 4 SPRING ST BUDD LAKE, NJ 07828	BLOCK 3305 LOT 21 JERMAN, TODD M 10 CUPSAW DR RINGWOOD, NJ 07456
BLOCK 3301 LOT 13 SPEARS, JOHN & VIRGINIA G 35 CENTER ST BUDD LAKE, N.J. 07828	BLOCK 3305 LOT 19 ABDELRAZIZ, ALI 230 ROUTE 46 BUDD LAKE, NJ 07828	BLOCK 3305 LOT 22 LEONE, BRIAN K 46 CENTER ST BUDD LAKE, NJ 07829
BLOCK 3301 LOT 14 STENSTRA, TROY & COSTA, MARIA E 32 HIGH ST BUDD LAKE, NJ 07828	BLOCK 3305 LOT 20 MC KINNEY, VINCENT 4 SPRING ST BUDD LAKE, NJ 07828	BLOCK 3305 LOT 23 VENKATRAMAN, S. & BALAKRISHNAN A. 50 CENTER ST BUDD LAKE, NJ 07828
BLOCK 3301 LOT 15 DE JESUS, EDWIN & PATRICIA 34 HIGH ST BUDD LAKE, NJ 07828	BLOCK 3305 LOT 21 JERMAN, TODD M 10 CUPSAW DR RINGWOOD, NJ 07456	BLOCK 3305 LOT 22 LEONE, BRIAN K 46 CENTER ST BUDD LAKE, NJ 07829



TYPICAL SEWER CONNECTION

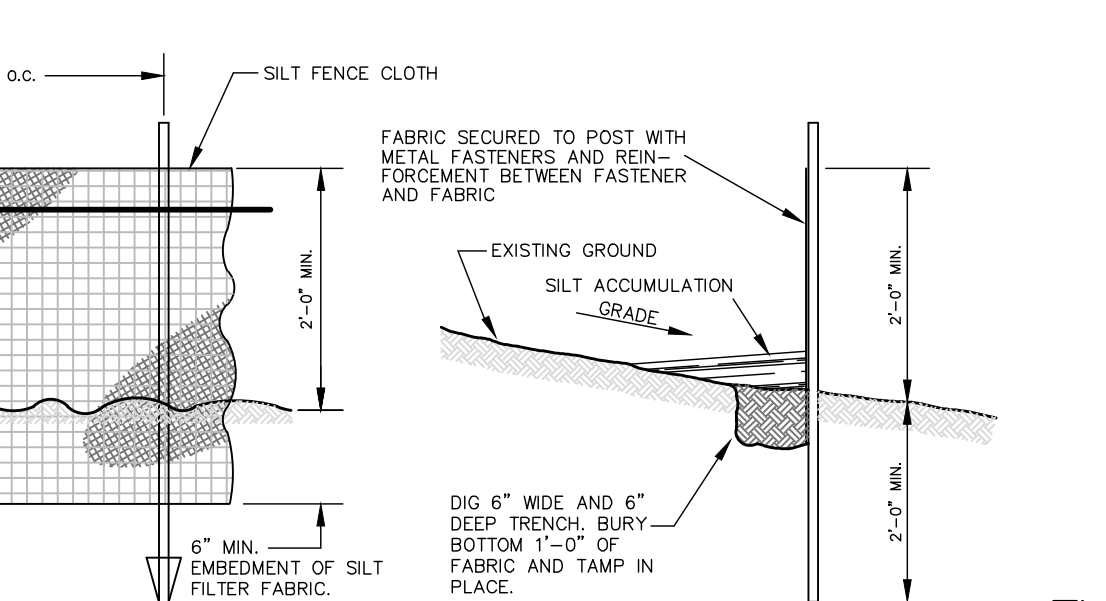
NOT TO SCALE

TREE WELL DETAIL

NOT TO SCALE

STEEP SLOPES SUMMARY

SLOPE RANGE	AREA OF RANGE WITHIN LOT	AREA WITHIN LIMIT OF DISTURBANCE
0 - 14.99	5,613 SF (100%)	4,990 SF (88.9%)
15.00 - 24.99	0 SF (0%)	0 SF (0%)
>25.00	0 SF (0%)	0 SF (0%)



REQUIREMENTS FOR SILT FENCE

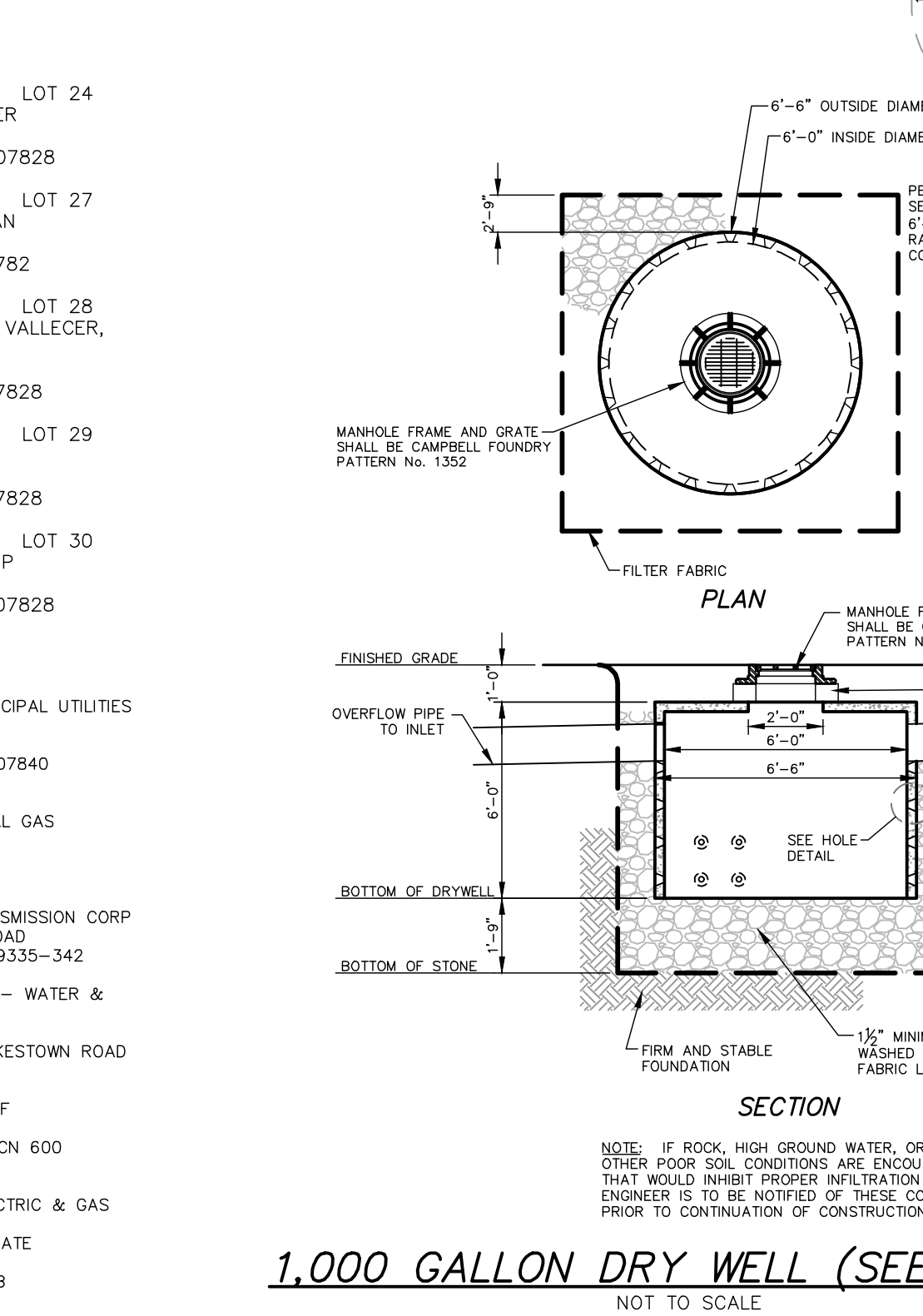
1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HANDMADE WOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2".
2. A METAL FENCE WITH 6" OR SMALLER OPENINGS AND AT LEAST 2' HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6" DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2' ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS, STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST UPWARD TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

SEDIMENT FILTER FENCE

NOT TO SCALE

DRIVEWAY PAVEMENT SECTION

N.T.S.



1,000 GALLON DRY WELL (SEEPAGE PIT)

NOT TO SCALE

DRYWELL SIZING CALCULATIONS:

VOLUME OF PROPOSED DRYWELL:
VOLUME OF DRYWELL INTERIOR (V_i) = π x 3.0² x 4.83 FT = 137 CF
VOLUME OF DRYWELL EXTERIOR (V_o) = π x 3.25² x 4.83 FT = 160 CF
VOLUME OF STONE VOID (V_v) = ((12 FT² x 12 FT) / (6.58 FT² x 160 CF)) (0.40)
V_v = 315 CF
STORAGE VOLUME PER DRYWELL = 137 CF + 315 CF = 451 CF
IMPERVIOUS COVERAGE INCREASED BY 1,408 SF
ESTIMATED RAINFALL DEPTH TO BE INFILTRATED = 3.00 INCHES
VOLUME OF ROOF RUNOFF = 890 SF x 3.00 INCHES x (1 FT / 12 IN) = 223 CF
NUMBER OF DRYWELLS REQUIRED FOR LAWN AREA = 223 CF / 451 CF = 0.49 ≈ 1 DRYWELL

PROPOSED TEMPORARY SEDIMENT FILTER FENCE



PROPOSED OVERHEAD WIRE CONNECTION

NOT TO SCALE

PROPOSED 35' SIGHT EASEMENT ACROSS SUBJECT PROPERTY

AREA = 410 SF

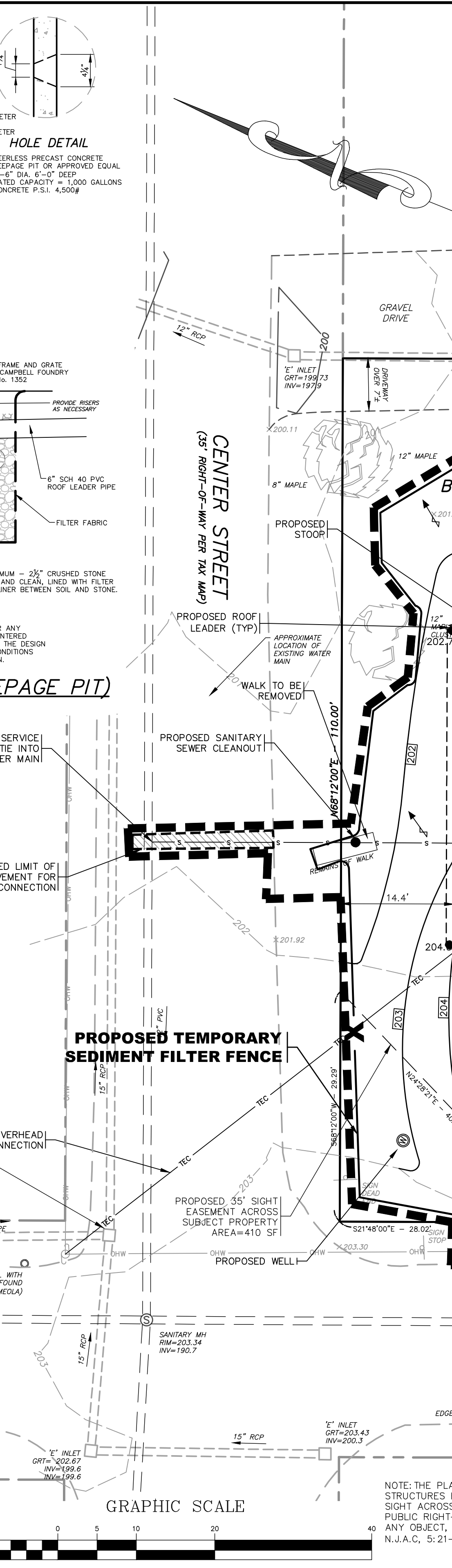
GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

SPRING STREET

(30' RIGHT-OF-WAY PER TAX MAP)

NOTE: THE PLANTING OF TREES OR OTHER PLANTINGS, OR THE LOCATION OF STRUCTURES EXCEEDING 30 INCHES IN HEIGHT THAT WOULD OBSTRUCT THE CLEAR SIGHT ACROSS THE EASEMENTS, SHALL BE PROHIBITED, AND A PUBLIC RIGHT-OF-ENTRY SHALL BE RESERVED FOR THE PURPOSE OF REMOVING ANY OBJECT, MATERIAL OR OTHERWISE, THAT OBSTRUCTS THE CLEAR SIGHT. N.J.A.C. 5:21-4.19(b), 6



PROPOSED BUILDING HEIGHT CALCULATIONS

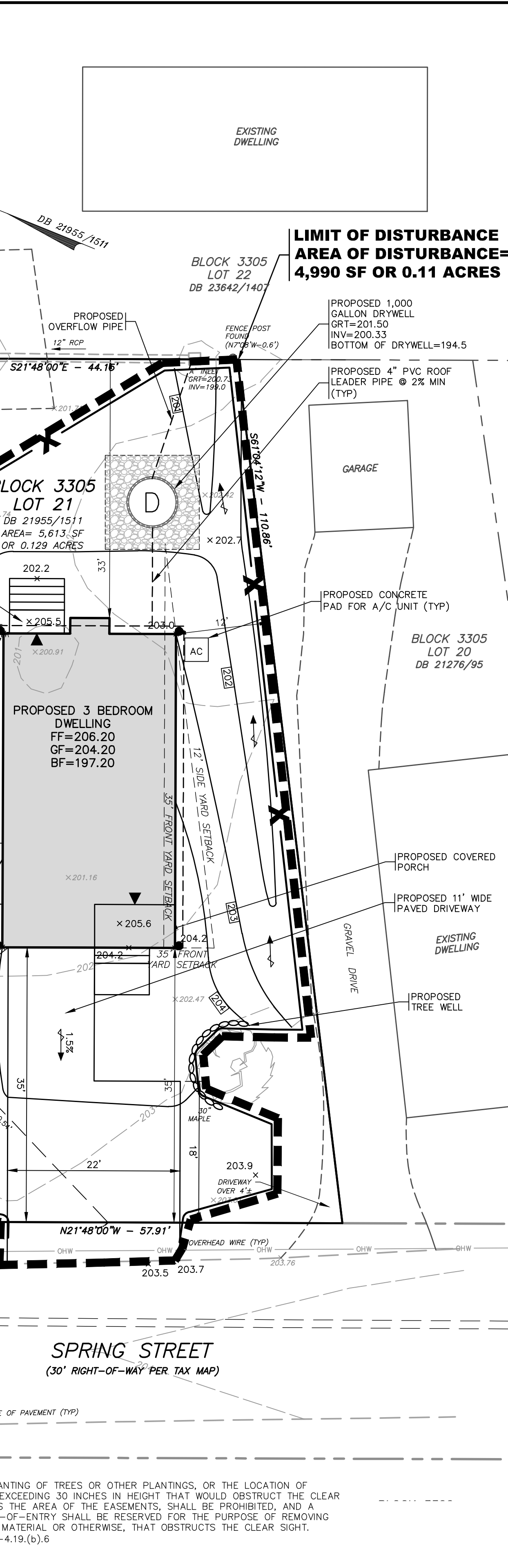
Spot shots taken	202.3	204.1
5 ft from the foundation	202.5	204
	202.1	203
	202.9	202.3
	203.7	201.9
Average grade	202.9	
First Floor	204.8	
FF to Peak*	27	
Peak Roof Elev	231.8	
Building Height	28.9	
*Scaled Per Architect's Plan		

SEDIMENT FILTER FENCE

NOT TO SCALE

DRIVEWAY PAVEMENT SECTION

N.T.S.



PROPOSED BUILDING HEIGHT CALCULATIONS

Spot shots taken	202.3	204.1
5 ft from the foundation	202.5	204
	202.1	203
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NOT TO SCALE

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