

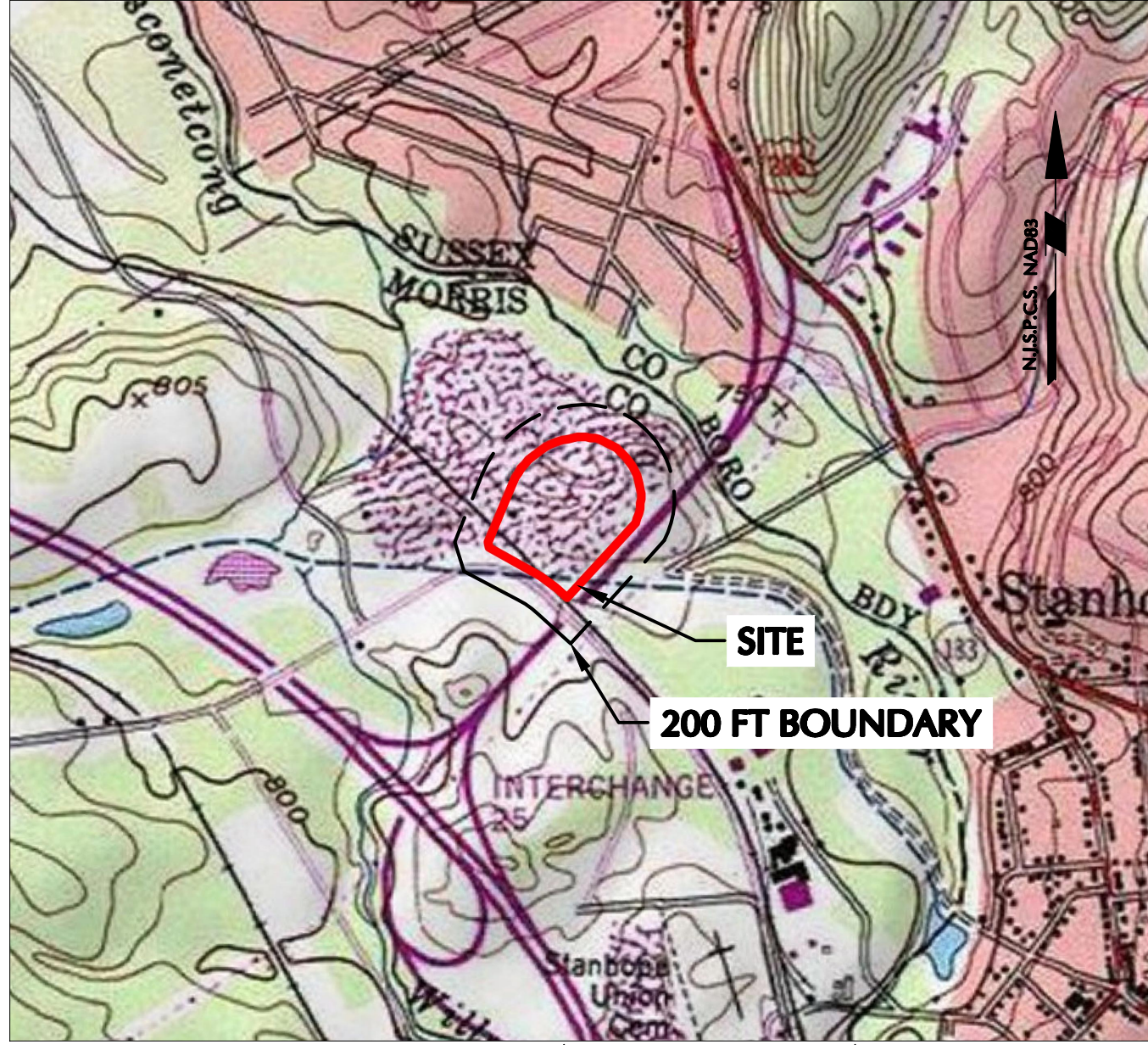
PRELIMINARY AND FINAL MAJOR SITE PLAN APPLICATION

2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT

TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY
BLOCK 202, LOT 1

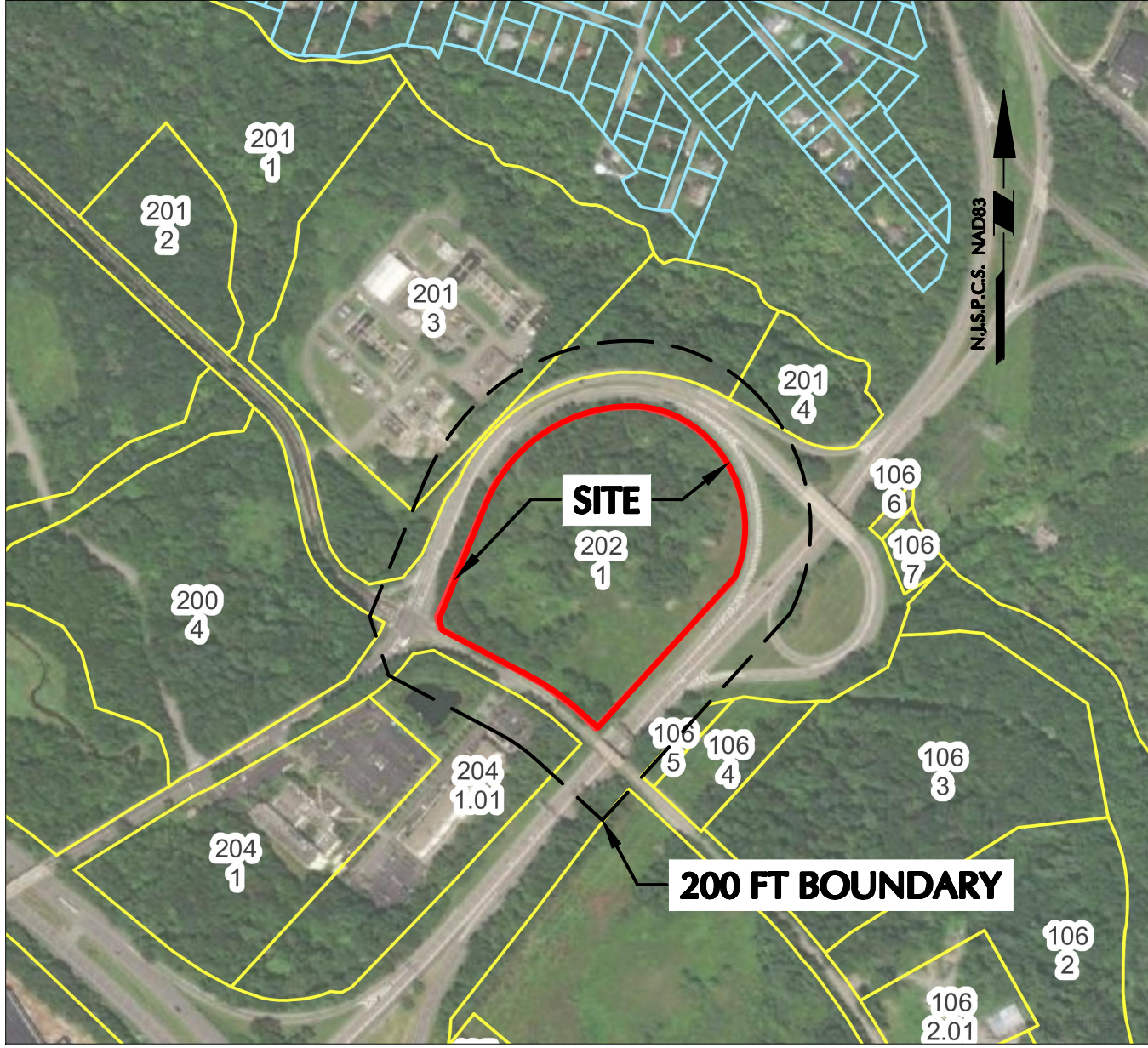
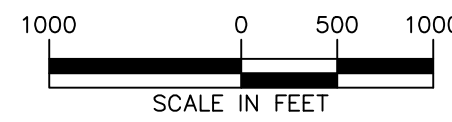
CERTIFIED PROPERTY OWNER'S LIST
2000 International Drive, Town of Mount Olive, NJ
BLOCK 202, Lot 1

BLK. NO.	LOT NO.	PROP ADDRESS	OWNER NAME / ADDRESS
105	1	250 Continental Drive	New Jersey Foreign Trade Zone Vent 1271 Avenue of the Americas New York, NY 10020
106	4	40 Continental Drive	State of NJ DEP CN 114 Division of Law Trenton, NJ 08625
106	6	2011 International Drive	State of NJ Dept of Transportation 1035 Parkway Avenue Trenton, NJ 08625
200	1	3000 Continental Drive	3000 Contintal Drive Associates 4000 Forsgate Drive Cranbury, NJ 08512
201	1	120 Continental Drive	State of NJH John Fitch Plaza Trenton, NJ 08625
201	3	110 Continental Drive	Musconetcong Sewerage Authority P.O. Box 416 Stanhope, NJ 07874
201	4	2011 International Drive	State of NJ Dept of Transportation 1035 Parkway Avenue Trenton, NJ 08625
202	1	2000 International Drive	TEIF 2000 Mount Olive LLC CN 4000 Forsgate Drive Cranbury, NJ 08512
204	1.01	271 Continental Drive	NE Stanhope Owner LLC c/o SLK Global 2727 IBI Freeway, Suite 806 Dallas, TX 75234



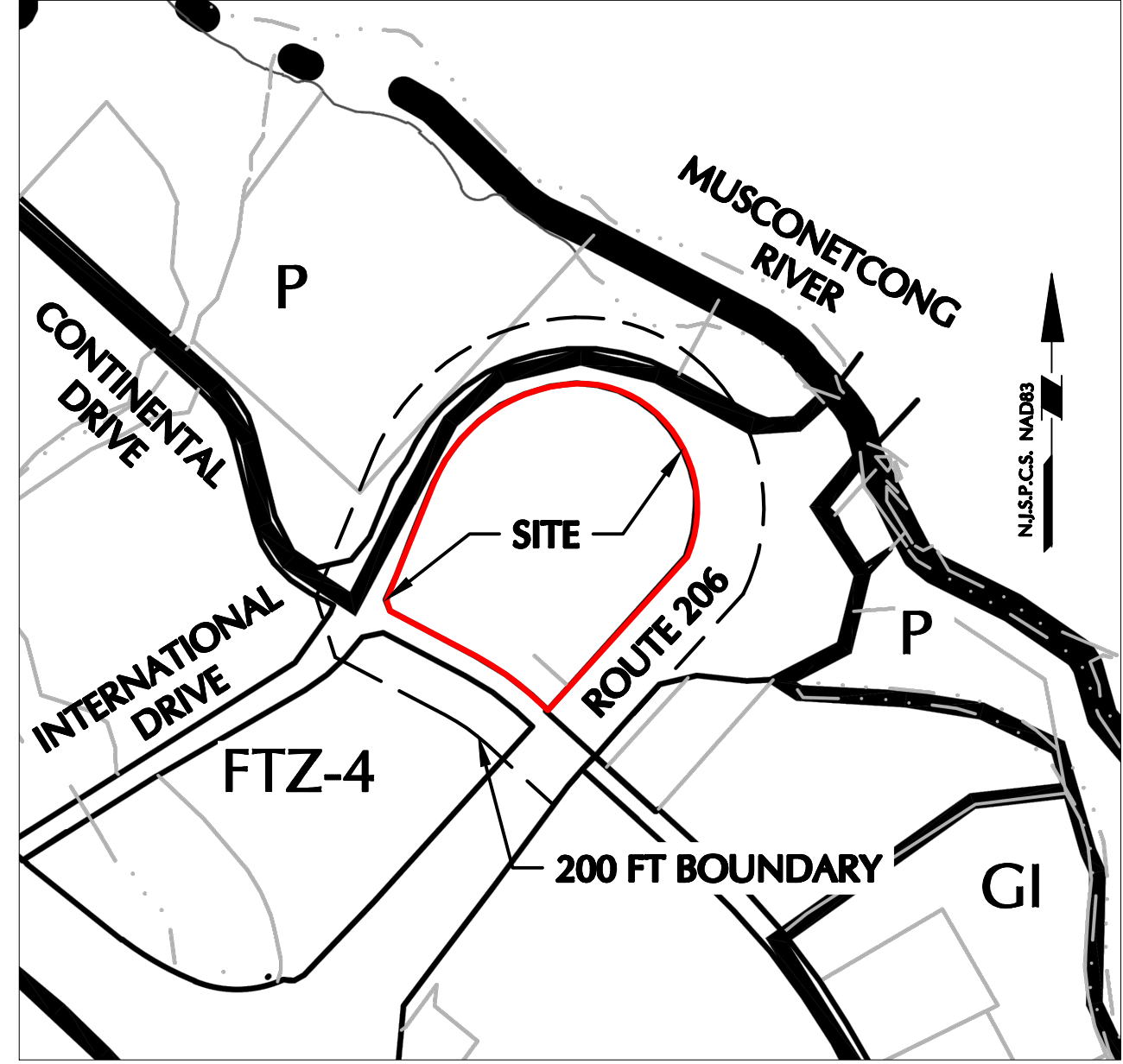
PROJECT LOCATION

SCALE: 1" = 1000'



TAX MAP

SCALE: 1" = 500'



ZONING MAP

SCALE: 1" = 500'



CIVIL SHEET INDEX	
DRAWING NUMBER	DRAWING TITLE
GI101	COVER SHEET
CS101	SITE PLAN
CP100	PAVEMENT PLAN
CS701	CIRCULATION PLAN
CG101	GRADING AND DRAINAGE PLAN
CG201	STORM SEWER PROFILES 1
CG202	STORM SEWER PROFILES 2
CG203	STORM & SANITARY SEWER PROFILES 3
CU101	UTILITY PLAN
CE101	SOIL EROSION AND SEDIMENT CONTROL PLAN
CE501	SOIL EROSION AND SEDIMENT CONTROL DETAILS
CE201	SOIL DECOMPACTION AND RESTORATION PLAN
EN100	STEEP SLOPES PLAN
LD100	TREE REMOVAL PLAN
LP101	LANDSCAPE PLAN
LP501	LANDSCAPE NOTES AND DETAILS
LL101	LIGHTING PLAN
LL501	LIGHTING NOTES AND DETAILS
CS501	SITE DETAILS 1
CS502	SITE DETAILS 2
CS503	SITE DETAILS 3
CS504	SITE DETAILS 4

GENERAL NOTES

- BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 WAS OBTAINED FROM "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 05/19/2022 PREPARED BY CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP, LLC.
- THE MERIDIAN SHOWN IS REFERENCED TO NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011) PER GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) DERIVED USING SURVEY--GRADE GNSS EQUIPMENT.
- APPLICANT OR TENANT SHALL CONTRACT OUT SOLID WASTE DISPOSAL WITH PRIVATE CONTRACTING FIRM.
- ALL CONSTRUCTION SHOWN HEREON SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE TOWNSHIP OF MOUNT OLIVE EXCEPT WHERE NOTED.
- ALL SANITARY SEWERS AND WATER MAINS SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE TOWNSHIP OF MOUNT OLIVE.
- ALL ON-SITE SANITARY SEWER SHOWN HEREON SHALL BE PVC--SDR 35 SEWER PIPE WITH RING TIGHT FITTINGS UNLESS OTHERWISE SPECIFIED.
- ALL WATER MAINS SHOWN HEREON SHALL BE C900 UNLESS OTHERWISE SPECIFIED. PRIOR TO WET TAP, CONTRACTOR SHALL CONSULT NEW JERSEY AMERICAN WATER FOR COORDINATION.
- GAS, ELECTRIC, AND TELECOM SERVICE NETWORKS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER, ARCHITECT, AND MEP ENGINEER TO DETERMINE ACTUAL LOCATION AND SERVICE SIZE. CONCRETE ENCASEMENT SHALL BE PROVIDED, AS REQUIRED, IN ACCORDANCE WITH THE UTILITY CROSSING DETAILS.
- EXISTING UTILITIES:

A. OWNER AND CONTRACTOR ARE HEREBY NOTIFIED THAT EXISTING UTILITIES ARE PRESENT IN THE VICINITY OF THE PROJECT. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.

B. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK IN STREETS WHERE UTILITIES HAVE NOT BEEN LOCATED.

C. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES, SUCH THAT CONFLICTS MAY BE AVOIDED. THESE TEST PITS SHALL BE EXCAVATED AT THE START OF CONSTRUCTION, PRIOR TO THE CONSTRUCTION OF ANY UTILITIES. THE CONTRACTOR WILL NOTIFY LANGAN 48 HOURS PRIOR TO THE TEST PIT EXCAVATION AND WILL PROVIDE LANGAN WITH THE RESULTS OF THESE EXPLORATIONS WITHIN 24 HOURS OF THEIR COMPLETION.

- LOCATION AND SIZE OF ROOF LEADER CONNECTION AND SANITARY SEWER, WATER, ELECTRIC, TELEPHONE AND GAS SERVICES INTO BUILDING ARE APPROXIMATE AND MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES. WHERE CONFLICTS EXIST BETWEEN THESE PLANS AND ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY THE ENGINEER BEFORE CONSTRUCTION.
- ELECTRIC, TELEPHONE, GAS AND CABLE TO BE PROVIDED BY RESPECTIVE UTILITY COMPANY IN ACCORDANCE WITH THEIR B.P.U. CHARTERS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF APPLICABLE GOVERNING AUTHORITIES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL NEW UTILITIES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE SPECIFIED.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REQUIREMENTS.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- ALL OPERATIONS SHALL BE CONDUCTED SO AS NOT TO DAMAGE, DESTROY, OR ENDANGER THE INTEGRITY OF ANY ADJACENT BUILDINGS, ROADWAYS, ACTIVE UTILITIES, AND RAILROADS.
- REFER TO LP101 AND LT101 FOR LIGHTING AND LANDSCAPING COMPLIANCE CHARTS.

PROJECT CONTACTS

APPLICANT/OWNER:
TEIF 2000 MOUNT OLIVE, LLC
CN 4000, FORSGATE DRIVE
CRANBURY, NJ 08512

ARCHITECT:
FORD & ASSOCIATES ARCHITECTS, INC.
1500 WEST FIRST AVENUE
COLUMBUS, OHIO 43212
(614) 488-6252

CIVIL ENGINEER:
LANGAN
300 KIMBALL DRIVE
PARSIPPANY, NJ 07054
(973) 560-4900
NJ Certificate of Authorization No: 24GA27996400

UTILITIES AND AGENCIES

Bruce D. Smith
Hackettstown Municipal Utilities Authority
P.O. Box 450
Hackettstown, NJ 07840

R. Albanese
New Jersey Natural Gas
1415 Wyckoff Road
Wall, NJ 07719

Bruce Reynolds
Columbia Gas Transmission Corp
1470 Poorhouse Road
Downington, PA 19335-342

Mt. Olive Township, Water & Sewer Department
P.O. Box 450
204 Flanders-Drakestown Road
Mt. Olive, NJ 07828

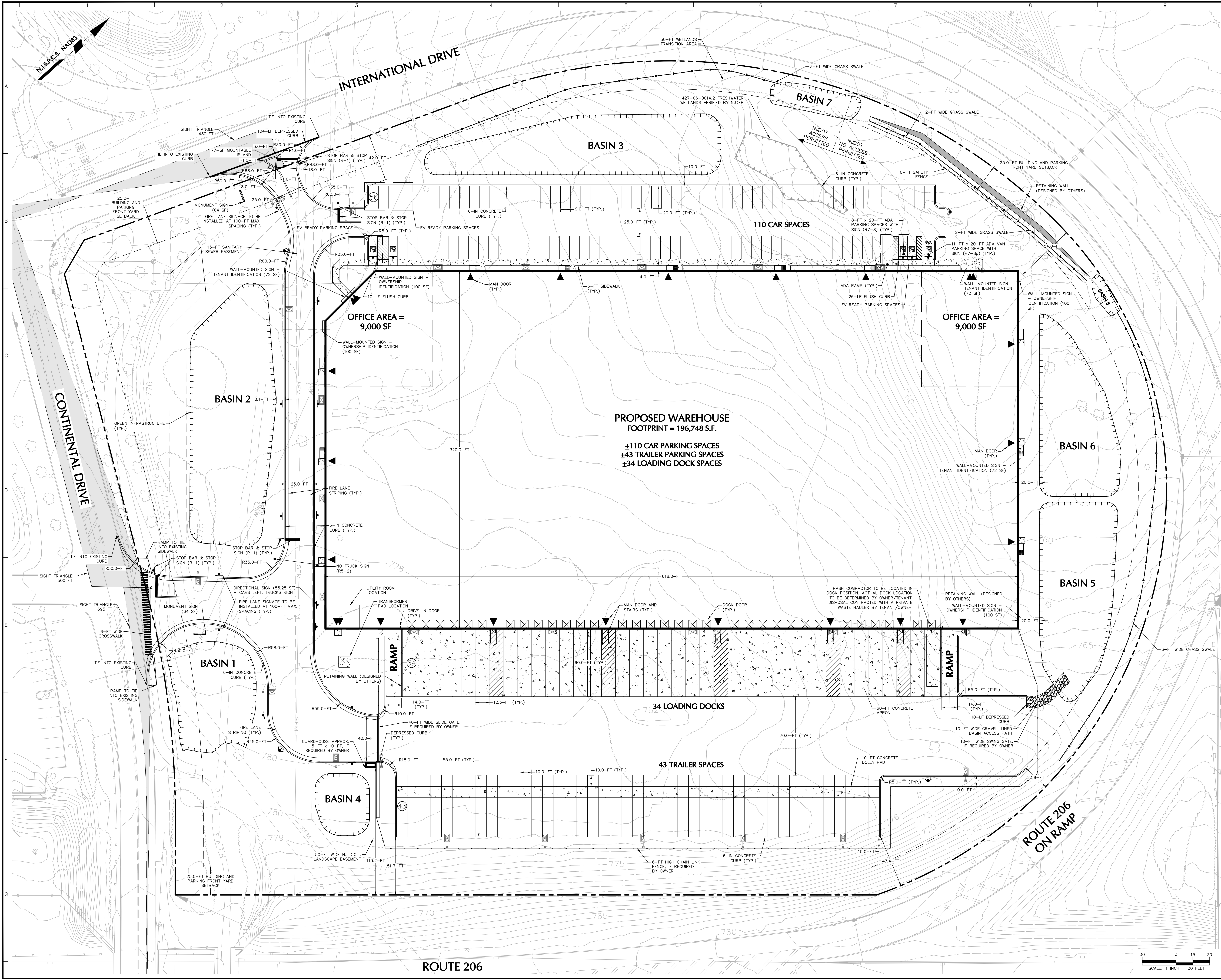
NJ Department of Transportation
1035 Parkway Dr CN 600
Trenton, NJ 08625

Public Service Electric & Gas Company
Manager - Corporate Properties
80 Park Plaza, T68
Newark, NJ 07102

New Jersey - American Water Co. Inc.
P.O. Box 5627
Cherry Hill, NJ 08034

Applied Wastewater Management
2 Clerico Lane
Hillsborough, NJ 08844

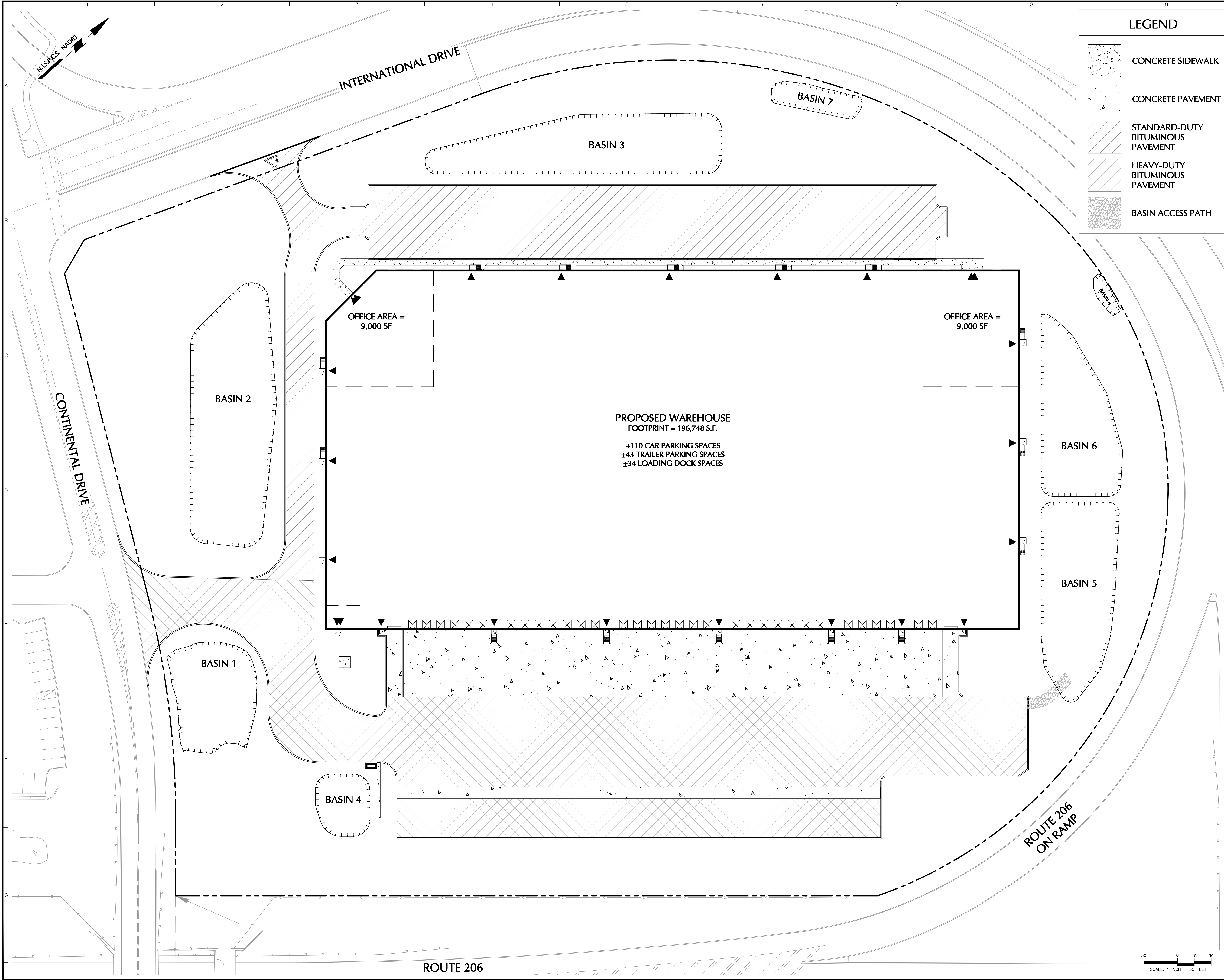
Date	Description	No.	
Revisions			
			
Signature	RICHARD BURROW	Date 11/29/2022	
PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300			
LANGAN			
Langan Engineering and Environmental Services, Inc.			
300 Kimball Drive Parsippany, NJ 07054			
T: 973.560.4900 F: 973.560.4901 www.langan.com			
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400			
Project			
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT			
BLOCK No. 202, LOT No. 1			
TOWNSHIP OF MOUNT OLIVE			
MORRIS COUNTY NEW JERSEY			
Drawing Title			
COVER SHEET			
Approved by The Township of Mount Olive Planning Board Preliminary & Final Site Plan			
Chairman of the Planning Board		Date	
Secretary of the Planning Board		Date	
Project No.		Drawing No.	
100980202		GI101	
Date			
11/18/2022			
Drawn By			
SL		Sheet 1 of 22	
Checked By			
KMR			



- NOTES:
1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 06/19/2022 PREPARED BY CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. ALL CURBS TO BE 6 INCHES UNLESS OTHERWISE SPECIFIED.
 4. ALL CURB RADI ARE 5 FEET UNLESS OTHERWISE SPECIFIED.
 5. REFER TO ARCHITECTURAL FOR DETAILED BUILDING DIMENSIONS.
 6. ALL REGULATORY SIGNS AND TRAFFIC MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 7. ELECTRIC VEHICLE CHARGING STATIONS SHALL BE "MAKE READY" / "CHARGER READY" IN ACCORDANCE WITH NEW JERSEY BILL S3223 (STANDARDS FOR INSTALLATION OF EVCS AND CHARGING READY PARKING SPACES DATED JULY 9, 2021).

Date	Description	No.
Revisions		
		
Signature		Date
RICHARD BURROW		11/29/2022
PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300		
LANGAN		
Langan Engineering and Environmental Services, Inc.		
300 Kimball Drive Parasippany, NJ 07054		
T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA2799600		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT		
BLOCK No. 202, LOT No. 1		
TOWNSHIP OF MOUNT OLIVE		
MORRIS COUNTY NEW JERSEY		
Drawing Title		
SITE PLAN		
Project No.		Drawing No.
100980202		CS101
Date		
11/18/2022		
Drawn By		
SL		
Checked By		
KMR		
Sheet		2 of 22

SCALE: 1 INCH = 30 FEET



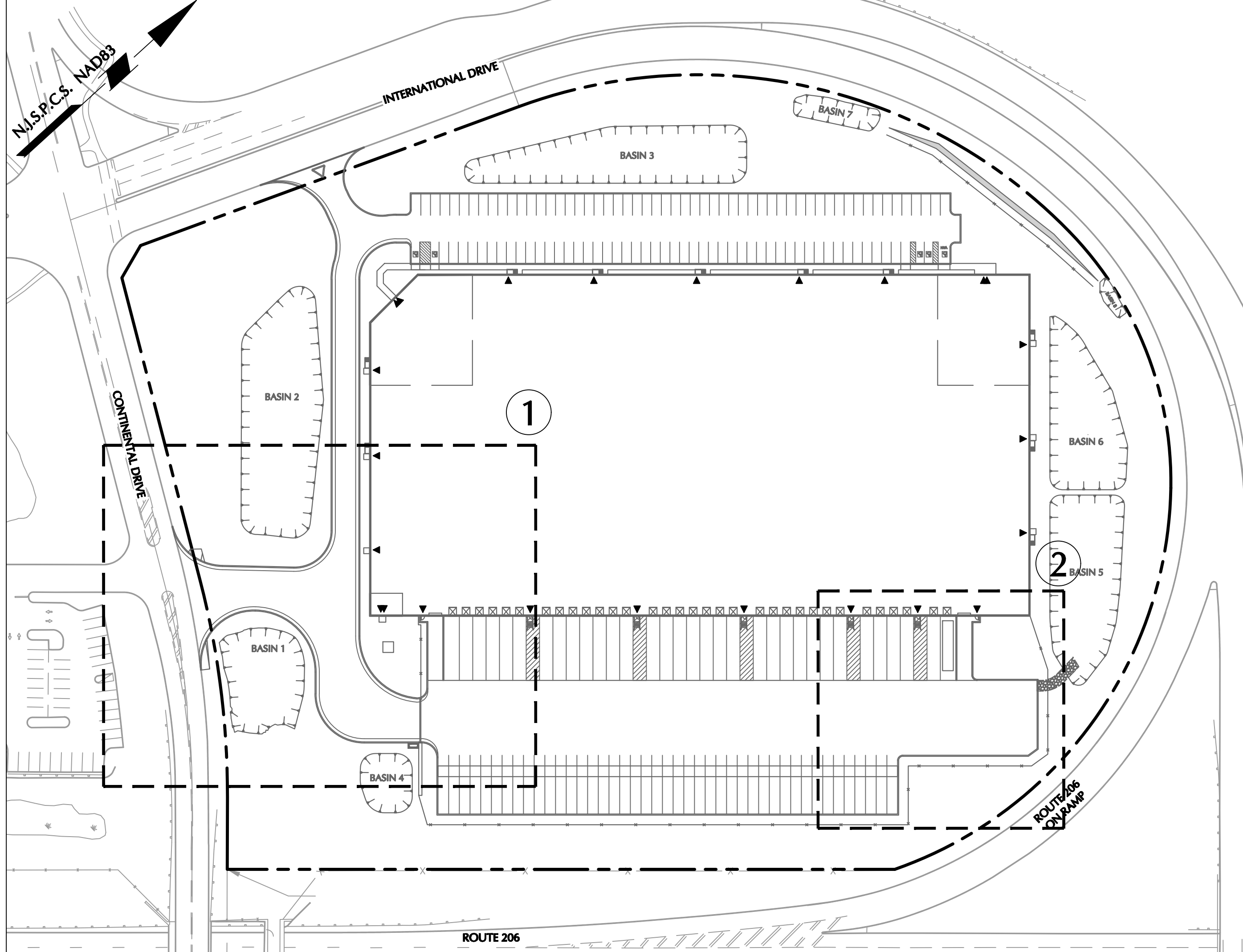
NOTES:
1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS, LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 05/19/2022 PREPARED BY CHESTER, FLOUSSAS, LISOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
2. REFER TO DRAWING CS501 FOR PAVEMENT SECTIONS.

LEGEND

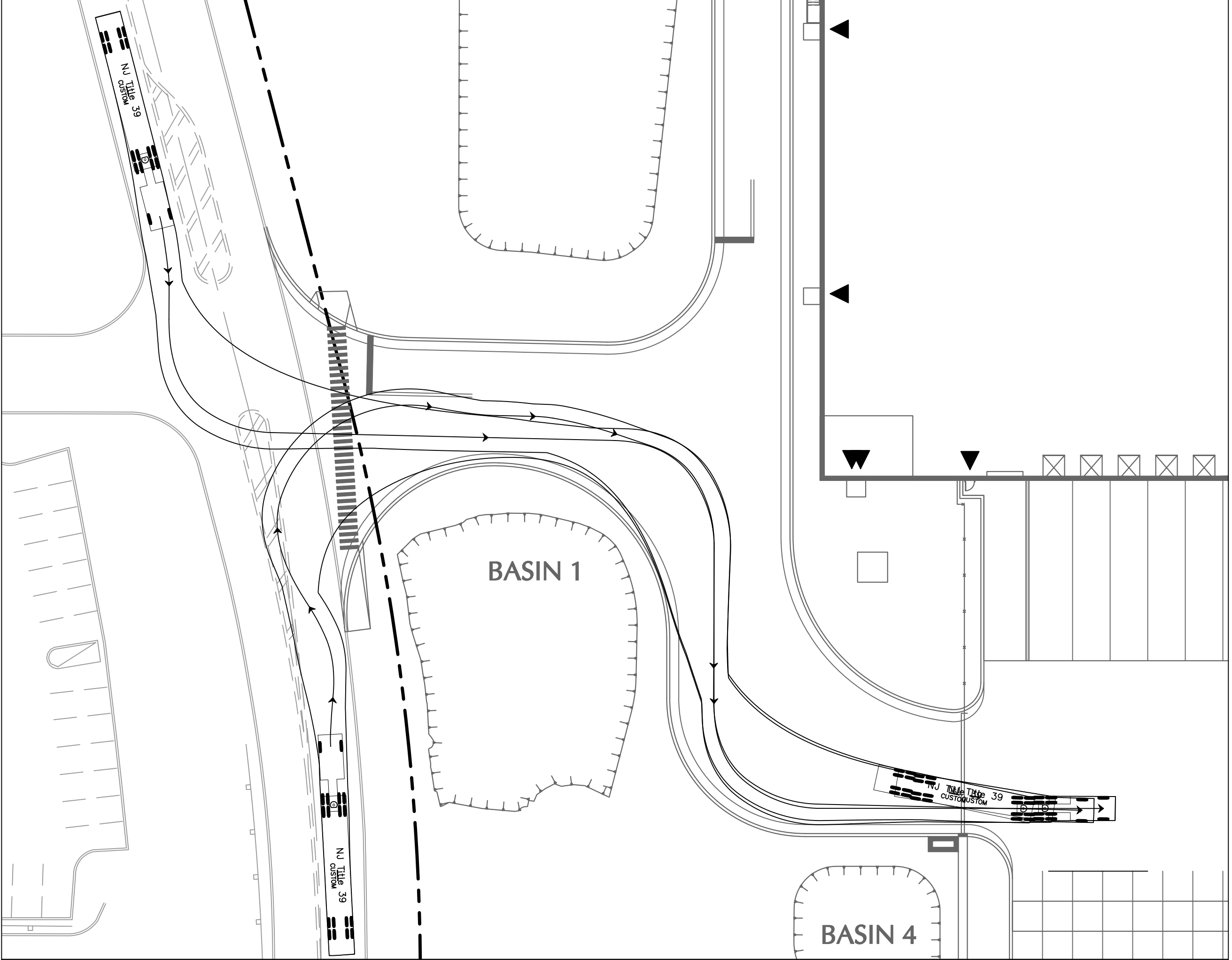
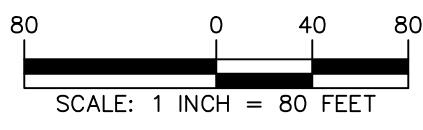
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- STANDARD-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- BASIN ACCESS PATH

Date	Description	No.
Revisions		
 Signature: RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300 Date: 11/29/2022		
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996600		
Project 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title PAVEMENT PLAN		
Project No. 100980202	Drawing No. CP100	
Date 11/18/2022	Drawn By SL	
Checked By KMR	Sheet 3 of 22	

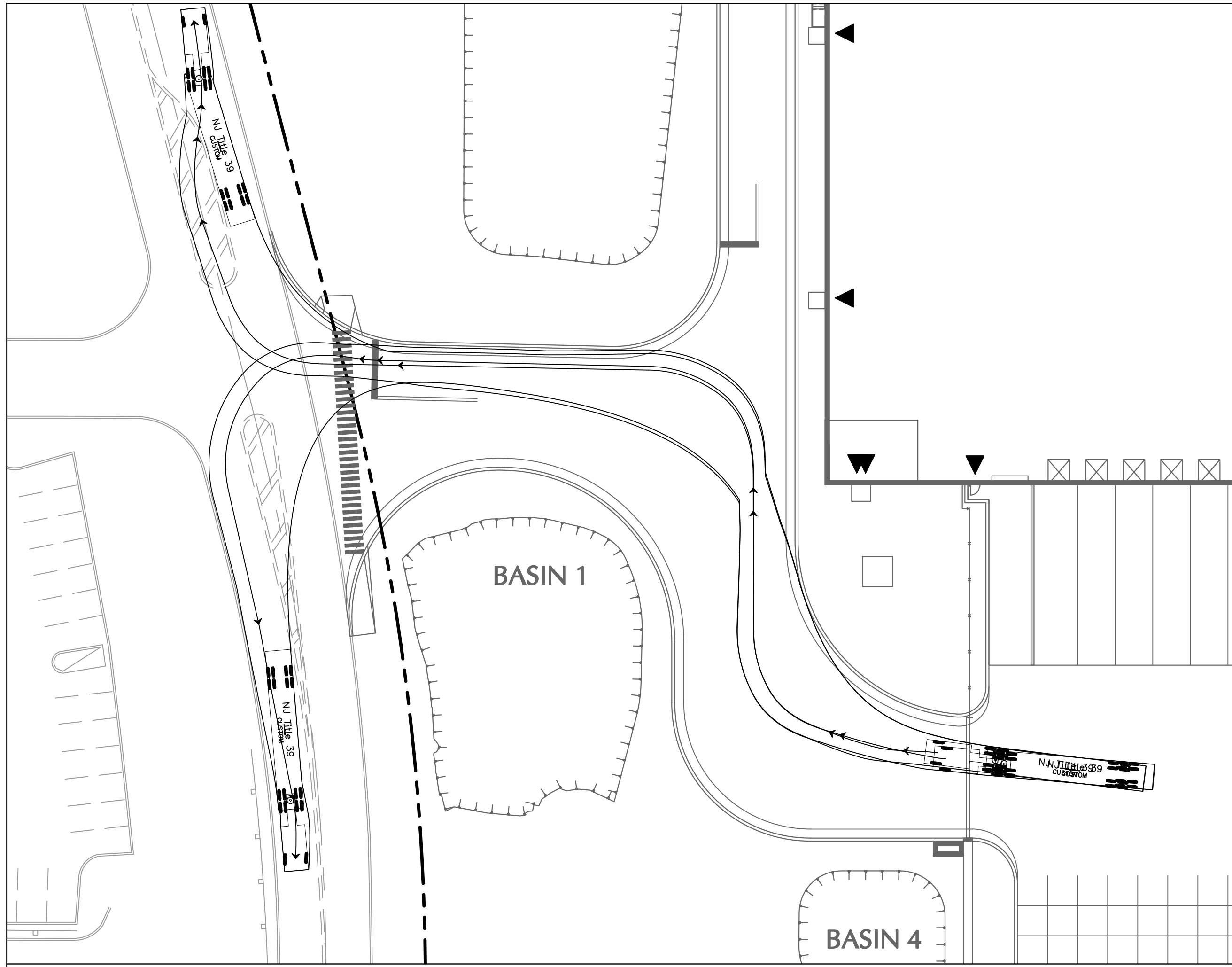
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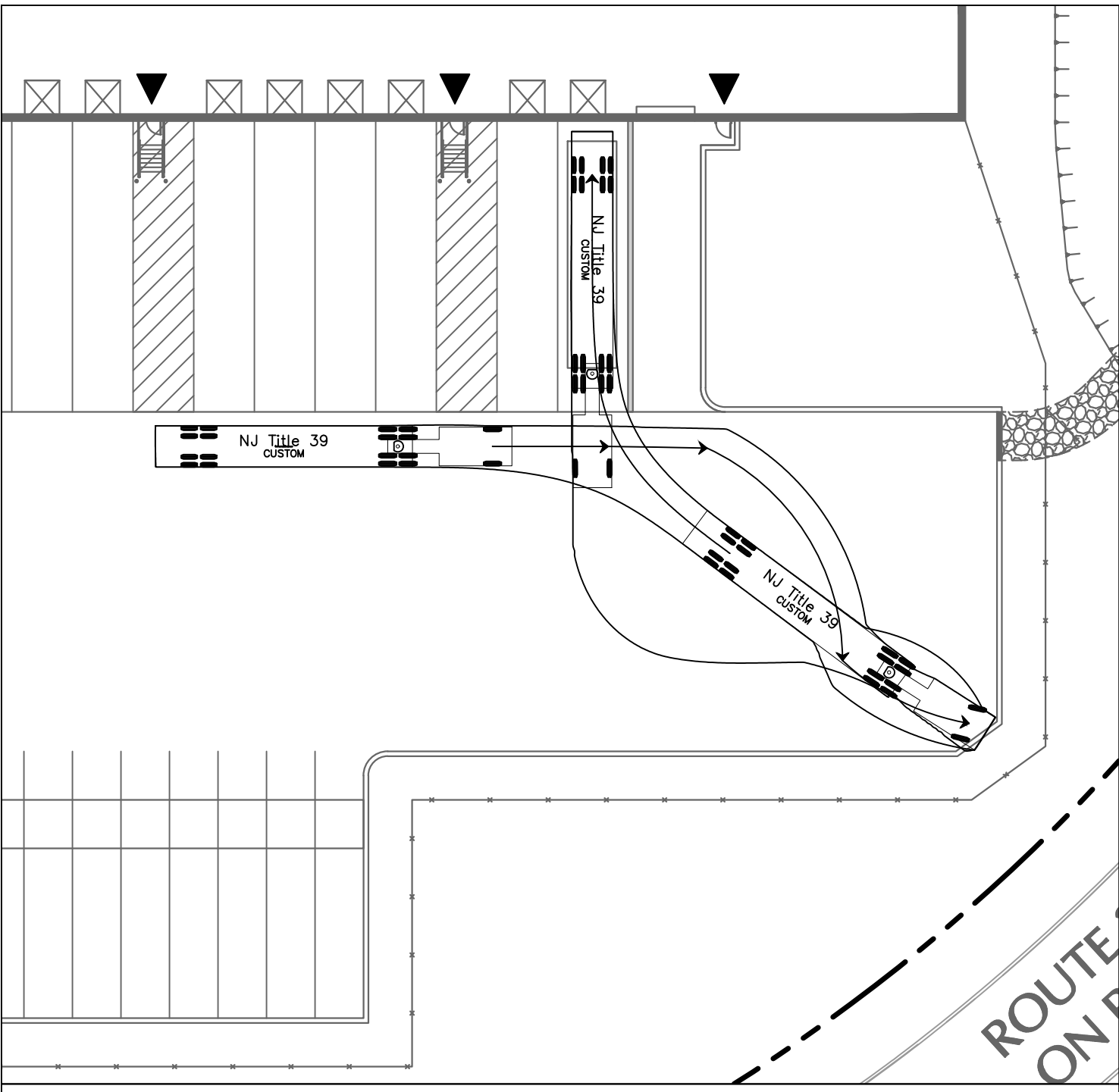
KEY MAP



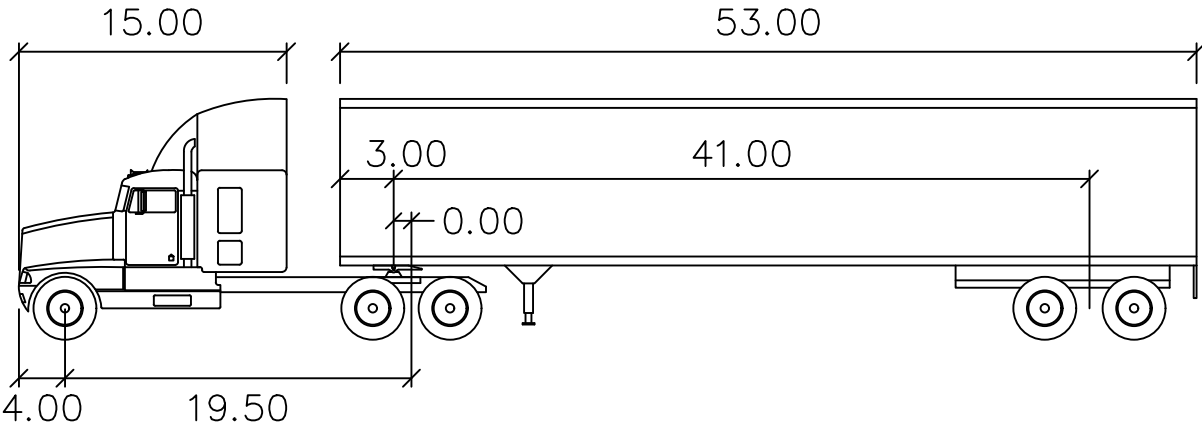
TRUCK TURNING AREA 1 - INGRESS



TRUCK TURNING AREA 1 - EGRESS

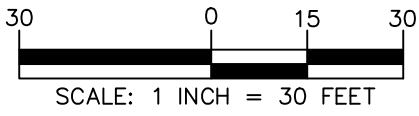


TRUCK TURNING AREA 2



NJ Title 39

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 29.2
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



Date	Description	No.
Revisions		
		11/29/2022
Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300	Date
<div>LANGAN</div> <div>Langan Engineering and Environmental Services, Inc.</div> <div>300 Kimball Drive Parsippany, NJ 07054</div> <div>T: 973.560.4900 F: 973.560.4901 www.langan.com</div> <div>NJ CERTIFICATE OF AUTHORIZATION No. 24GA2799600</div>		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title		
CIRCULATION PLAN		
Project No.		Drawing No.
100980202		CS701
Date		
11/18/2022		
Drawn By		
SL		
Checked By		
KMR		Sheet 4 of 22

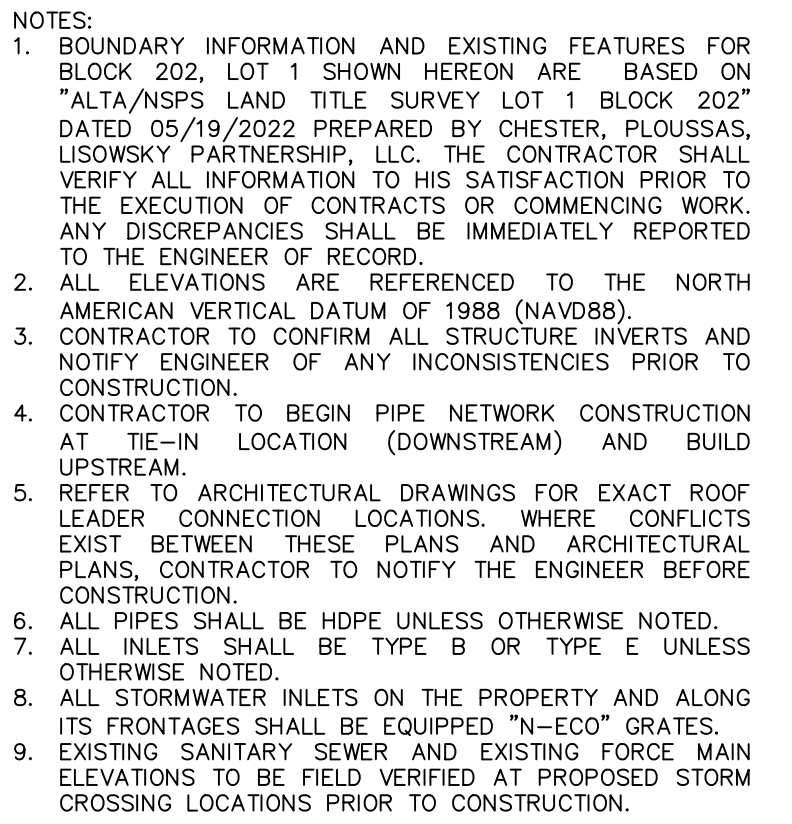
NOTES:

1. POINT 1 IS 5 FT OFF THE NORTHWESTERN CORNER OF THE BUILDING, SUBSEQUENT POINTS THEN MOVE ALONG THE BUILDING IN A CLOCKWISE DIRECTION.
2. THE POINTS ABOVE REPRESENT ELEVATIONS 5 FT OFF THE BUILDING PERIMETER AND WERE USED TO CALCULATE THE AVERAGE GRADE PLAN. THIS GRADE PLANE WAS USED TO CALCULATE THE BUILDING HEIGHT.

1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202 LOT 1 SHOWN HEREON ARE BASED ON "ALTA/SPS LAND TITLE SURVEY LOT 1 BLOCK 202" OF THE TOWNSHIP OF LAKESIDE, DISTRICT OF KONA, HAWAII, US/OKSWY PARTNERSHIP, LLC, THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXISTENCE OF EXACTLY THE SAME. IF ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE TOWNSHIP ENGINEER.
2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983.
3. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, THE FILL MATERIAL SHALL BE COMPACTED TO THE CORRESPONDING REQUIREMENTS AND THE COMPACTION TESTING SHALL BE PERFORMED TO THE CORRESPONDING COMPACTION REQUIREMENTS FOR THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
5. THE CONTRACTOR TO CONFIRM ALL STRUCTURE INVERTS AND NOTIFY ENGINEER OF ANY INCONSISTENCIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR TO BEGIN PIPE NETWORK CONSTRUCTION AT THE LOCATION (DOWNSTREAM) AND BUILD UPSTREAM.
7. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT ROOF PITCHES AND SLOPES. LOCATIONS WHERE DIFFERENCES EXIST BETWEEN THESE PLANS AND ARCHITECTURAL DRAWINGS SHALL BE CORRECTED TO MATCH ARCHITECTURE.
8. ALL SLOPES SHALL BE HOPE UNLESS OTHERWISE NOTED.
9. ALL INLETS SHALL BE TYPE B OR TYPE E UNLESS OTHERWISE NOTED.
10. ALL SLOPES REPRESENT PAVEMENT GRADES OR BOTTOM OF CURB UNLESS OTHERWISE NOTED.
11. ALL SLOPES SHALL BE DESIGNED TO MINIMIZE FLAT AREAS, TO PROVIDE PROPER DRAINAGE, AND TO AVOID UNNECESSARY GRADING.
12. ALL SLOPES SHALL BE EQUAL TO OR LESS THAN 3:1. WHERE SLOPES ARE GREATER THAN 3:1 V, EROSION CONTROL SHALL BE INSTALLED.
13. ALL STORMWATER MANAGEMENT FEATURES ON THE SITE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE UNDER THE SUPERVISION OF THE TOWNSHIP ENGINEER.
14. ALL REINFORCED CONCRETE PIPES SHALL HAVE RUBBER



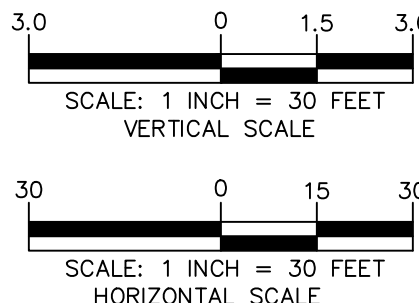
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RL-03 TO HEADER PIPE PROFILE

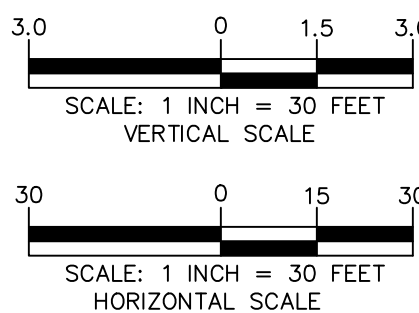
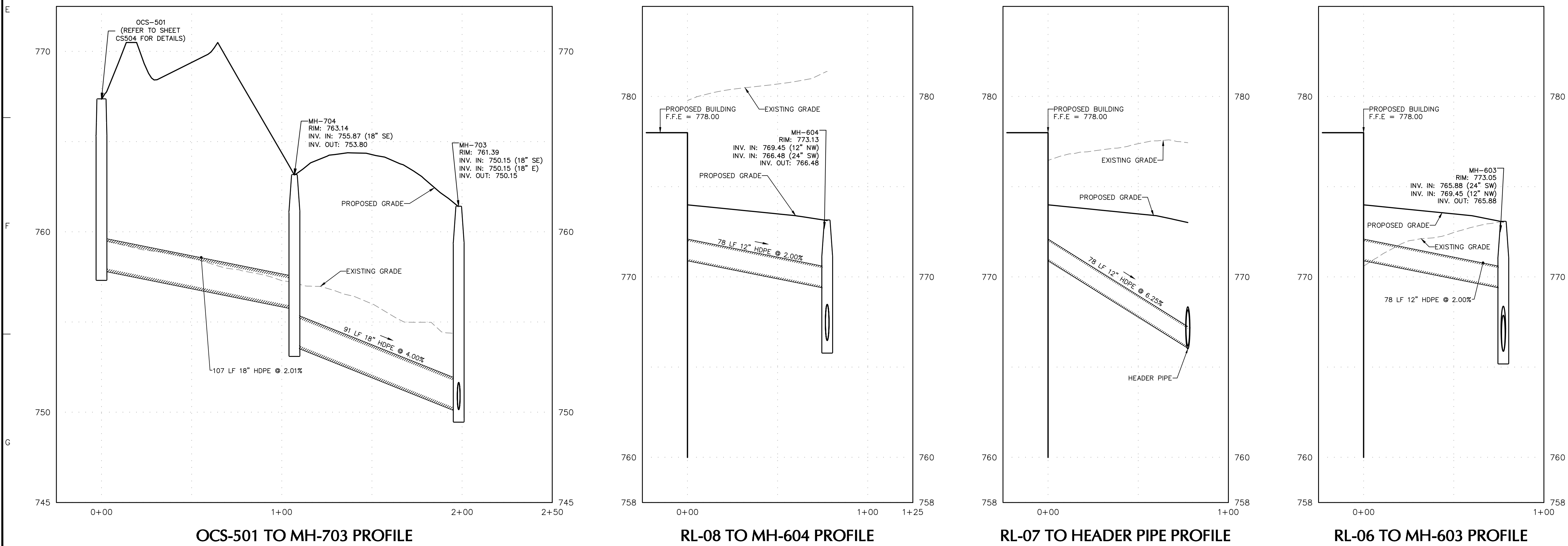
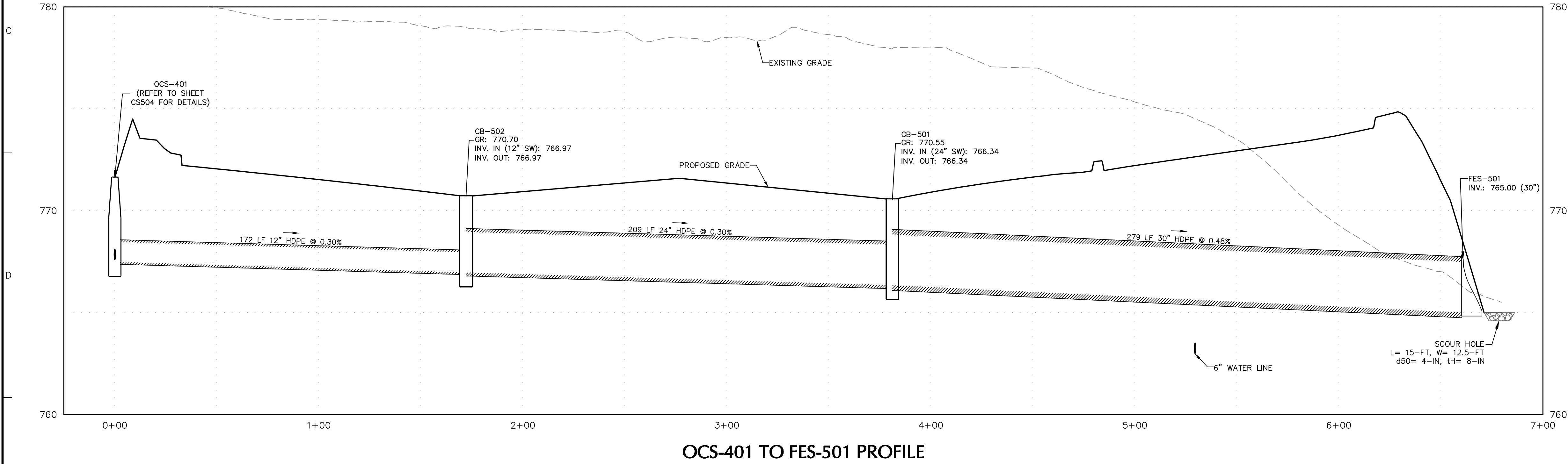
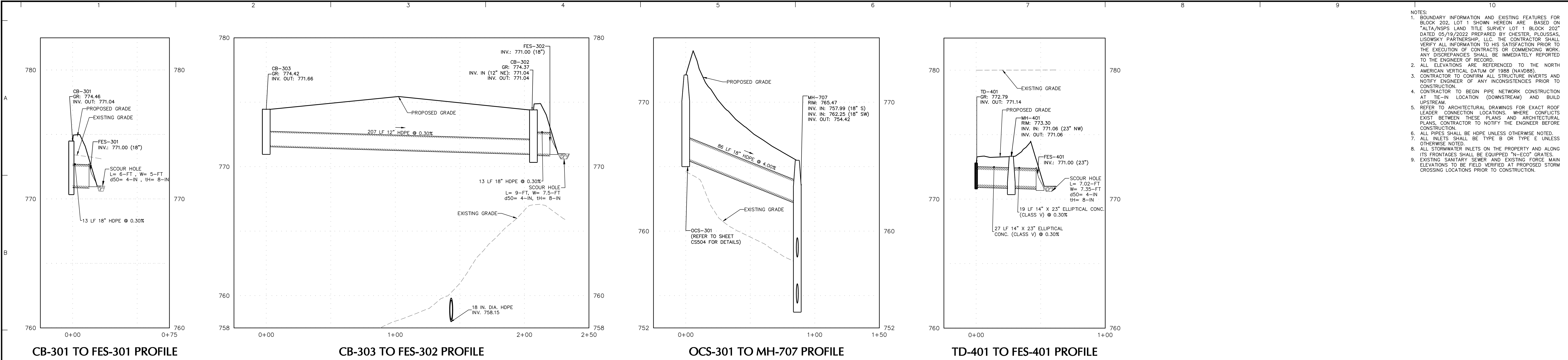


RL-05 TO HW-201 PROFILE

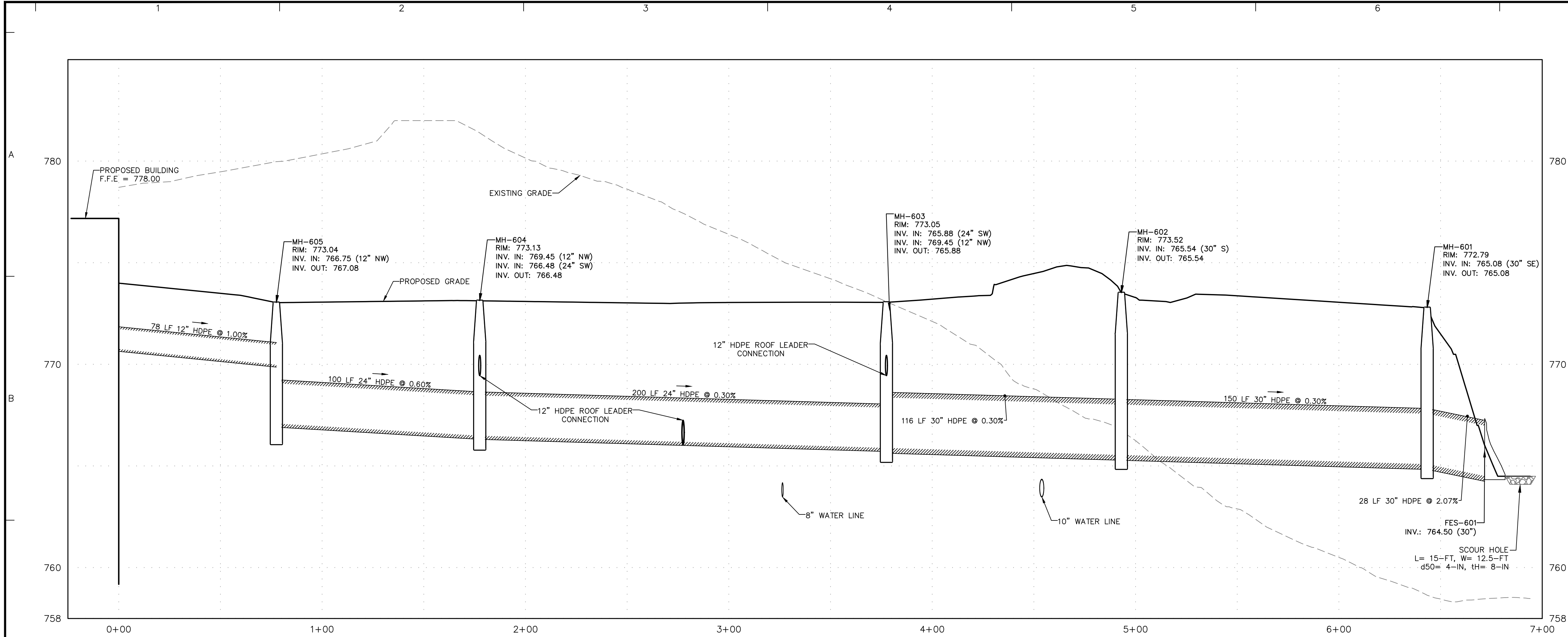


TD-301 TO FES-303 PROFILE

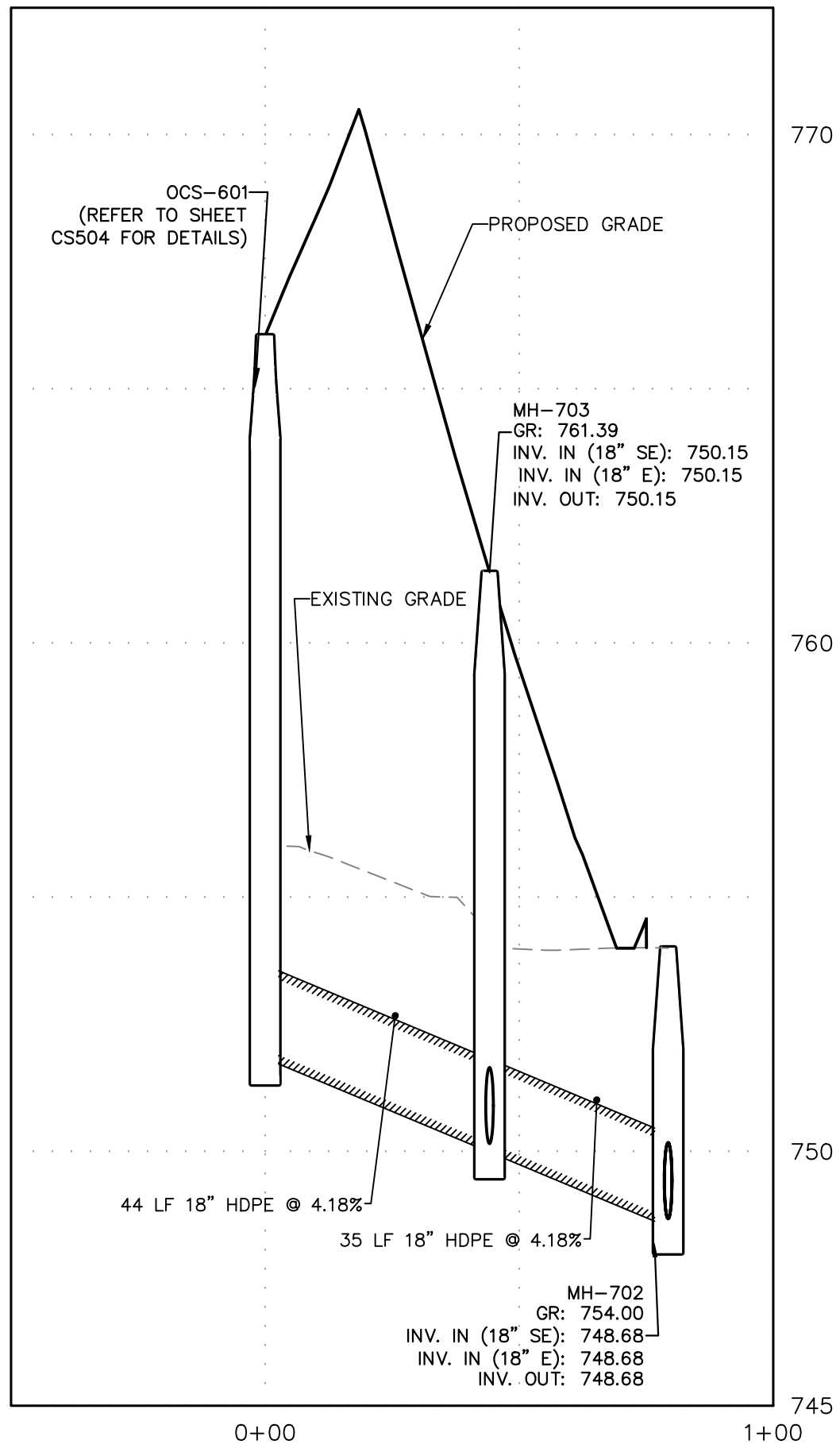
Date	Description	No.
Revisions		
		11/29/2022
Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300	Date
<h1>LANGAN</h1> <p>Langan Engineering and Environmental Services, Inc.</p> <p>300 Kimball Drive Parsippany, NJ 07054</p> <p>T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 24GE27996400</p>		
Project		
<h2>2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT</h2> <p>BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE</p>		
MORRIS COUNTY		NEW JERSEY
Drawing Title		
<h1>STORM SEWER PROFILES 1</h1>		
Project No.		Drawing No.
100980202		CG201
Date		
11/18/2022		
Drawn By		
SL/RY		
Checked By		
KMR		Sheet 6 of 22



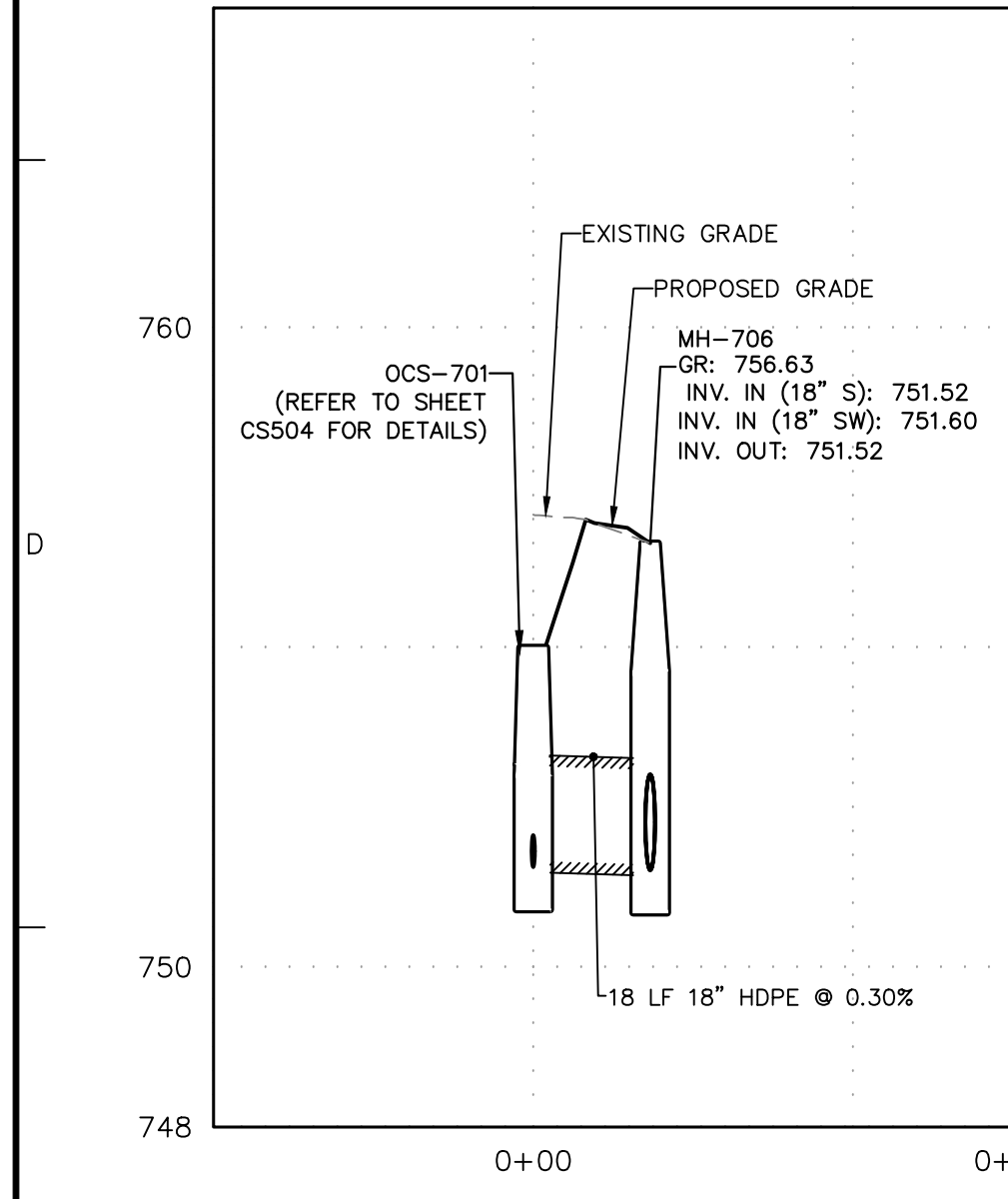
Date	Description	No.
Revisions		
		
Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300	Date 11/29/2022
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA2799600		
Project 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title STORM SEWER PROFILES 2		
Project No. 100980202	Drawing No. CG202	
Date 11/18/2022	CG202	
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Sheet 7 of 22		



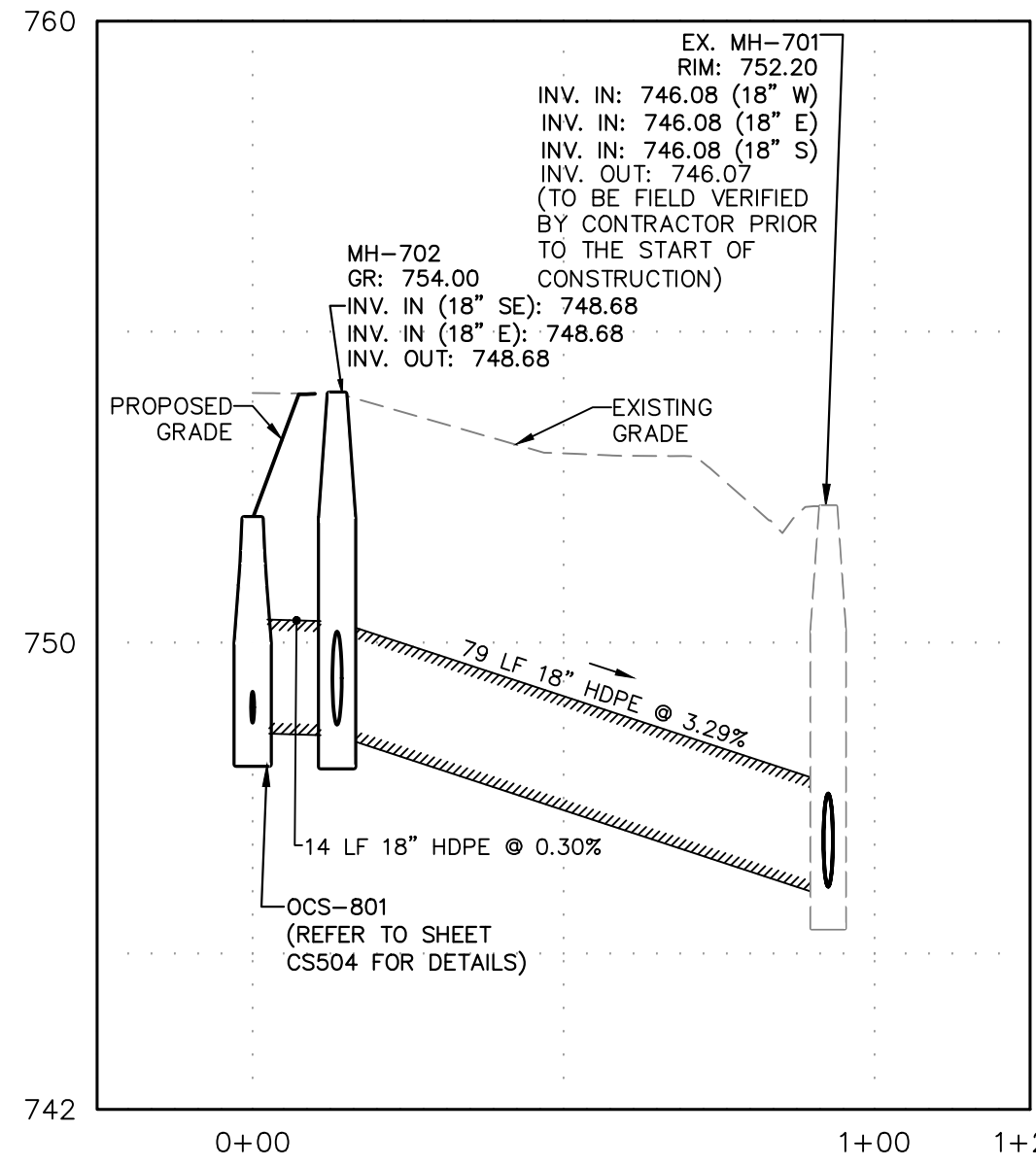
RL-09 TO FES-601 PROFILE



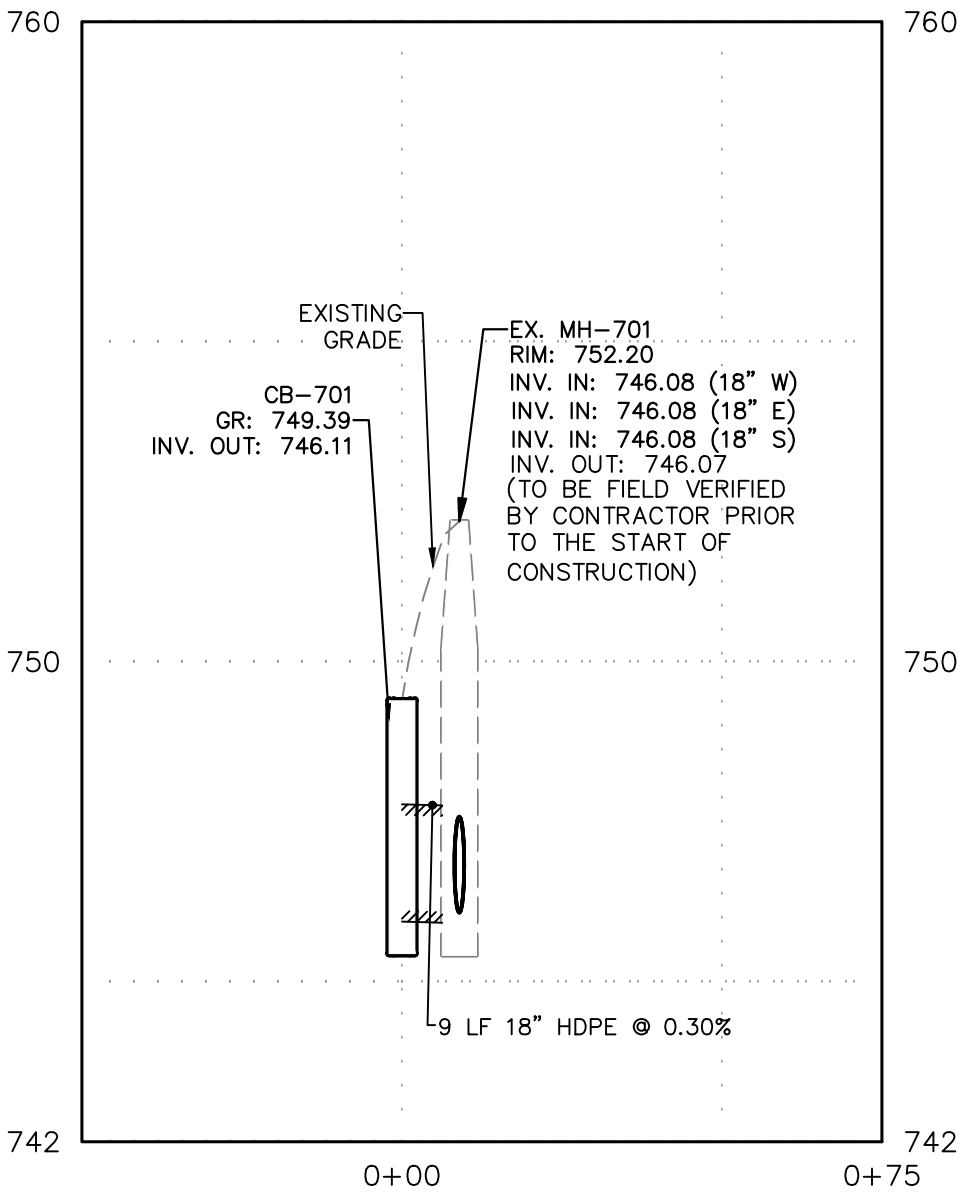
OCS-601 TO MH-702 PROFILE



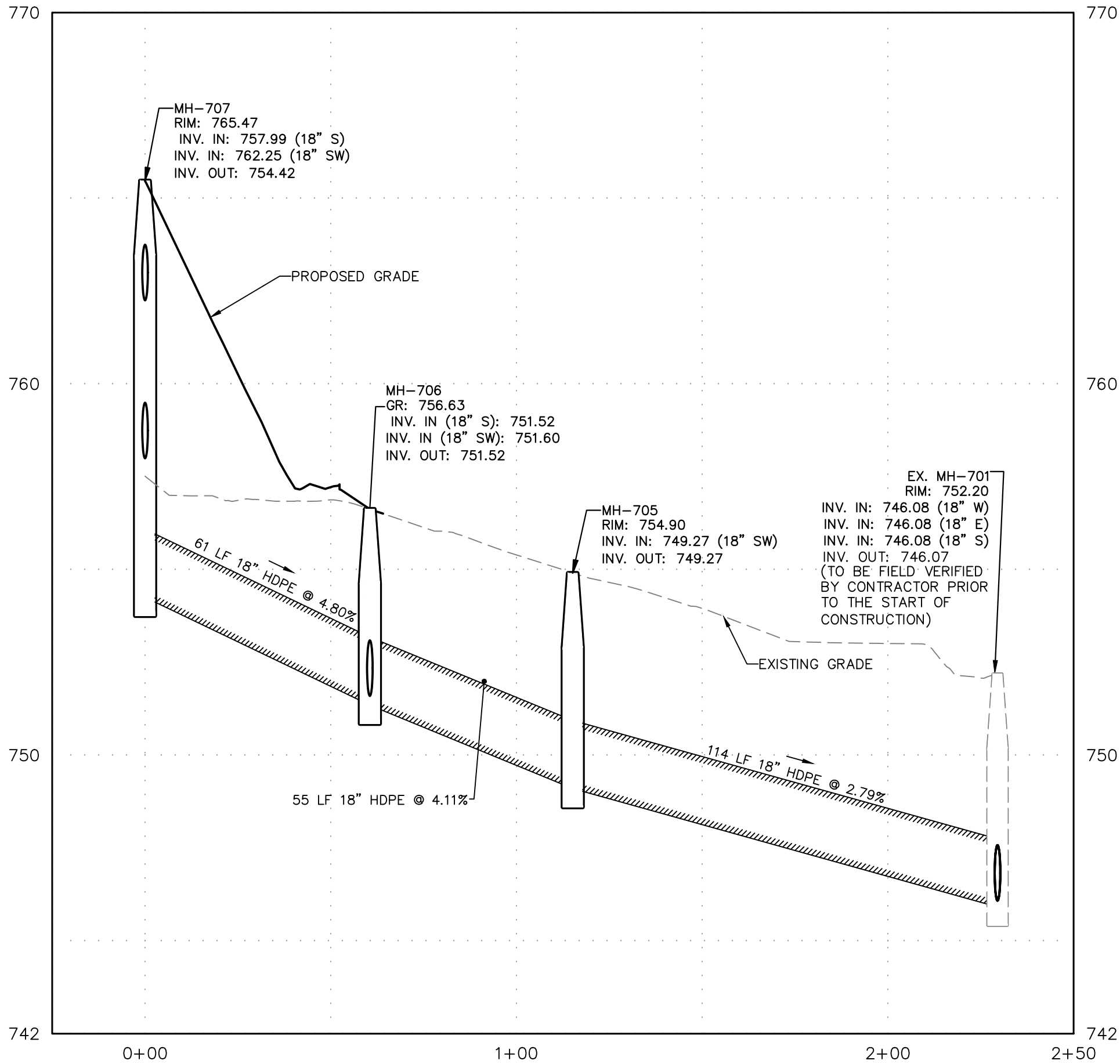
OCS-701 TO MH-706 PROFILE



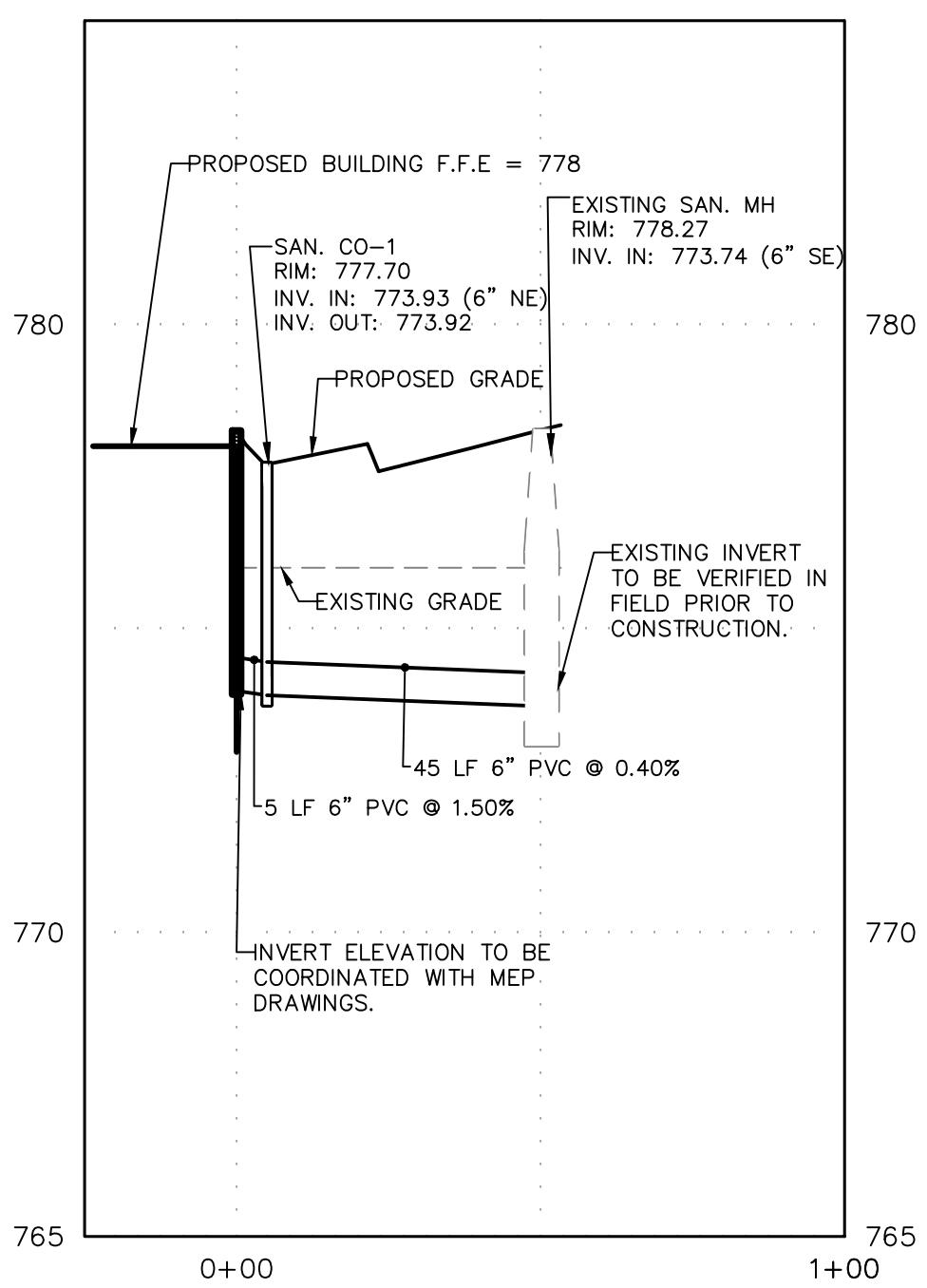
OCS-801 TO EX. MH-701 PROFILE



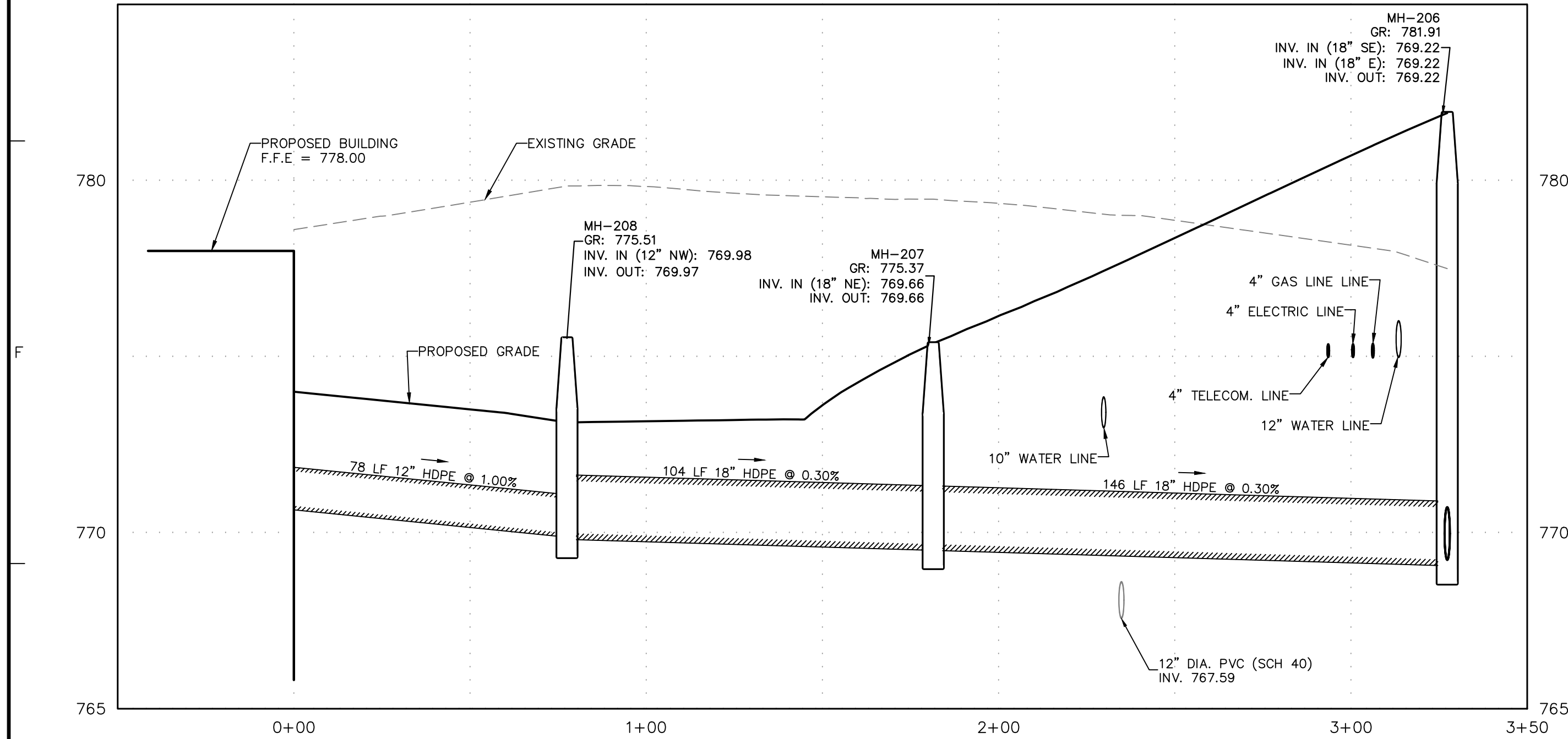
CB-701 TO EX. MH-701 PROFILE



MH-707 TO EX. MH-701 PROFILE



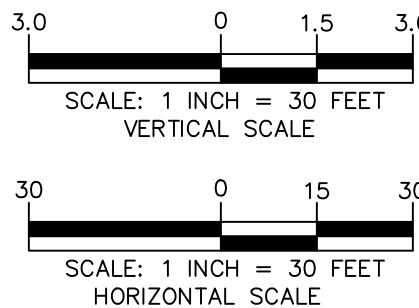
BUILDING CONNECTION TO EXISTING SAN. MH PROFILE

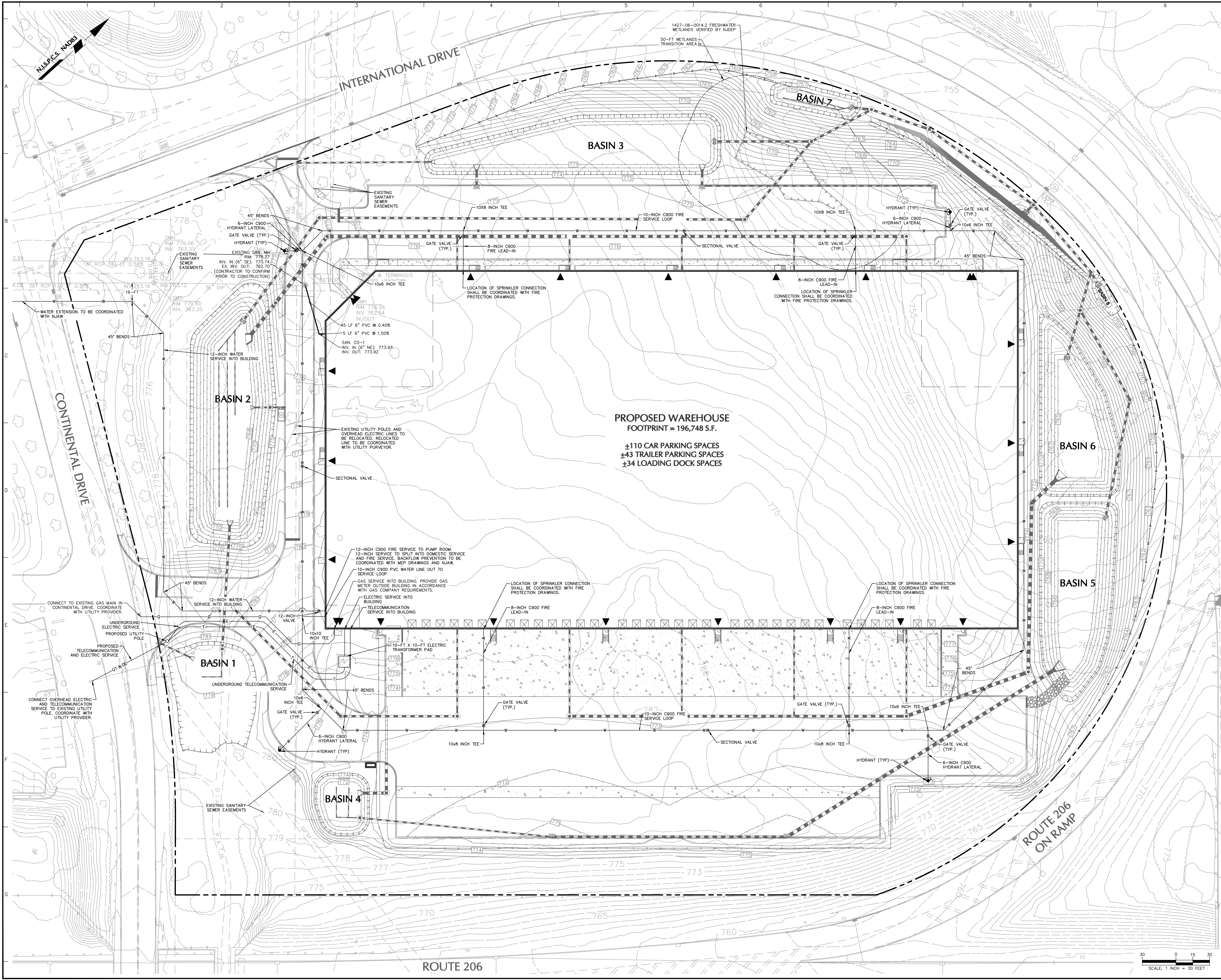


RL-10 TO MH-206 PROFILE

- NOTES:
- BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 05/19/2022 PREPARED BY CHESTER, PLOUSSAS, USOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 - ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - CONTRACTOR TO CONFIRM ALL STRUCTURE INVERTS AND NOTIFY ENGINEER OF ANY INCONSISTENCIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO BEGIN PIPE NETWORK CONSTRUCTION AT THE IN LOCATION (DOWNSTREAM) AND BUILD UPSTREAM.
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT ROOF LEADER CONNECTION LOCATIONS WHERE CONDUITS EXIST BETWEEN THESE PLANS AND ARCHITECTURAL PLANS. CONTRACTOR TO NOTIFY THE ENGINEER BEFORE CONSTRUCTION.
 - ALL PIPES SHALL BE HDPE UNLESS OTHERWISE NOTED.
 - ALL INVERTS SHALL BE TYPE B OR TYPE E UNLESS OTHERWISE NOTED.
 - ALL STORMWATER INLETS ON THE PROPERTY AND ALONG ITS FRONTAGES SHALL BE EQUIPPED "N-ECO" GRATES.
 - EXISTING SANITARY SEWER AND EXISTING FORCE MAIN ELEVATIONS TO BE FIELD VERIFIED AT PROPOSED STORM CROSSING LOCATIONS PRIOR TO CONSTRUCTION.

Date	Description	No.
Revisions		
		11/29/2022
Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 246E04459300	Date
<div>LANGAN</div> <div>Langan Engineering and Environmental Services, Inc.</div> <div>300 Kimball Drive Parsippany, NJ 07054</div> <div>T: 973.560.4900 F: 973.560.4901 www.langan.com</div> <div>NJ CERTIFICATE OF AUTHORIZATION No. 246A27996400</div>		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title		
STORM & SANITARY SEWER PROFILES 3		
Project No.		Drawing No.
100980202		CG203
Date		
11/18/2022		
Drawn By		
SL/RY		
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KMR		Sheet 8 of 22

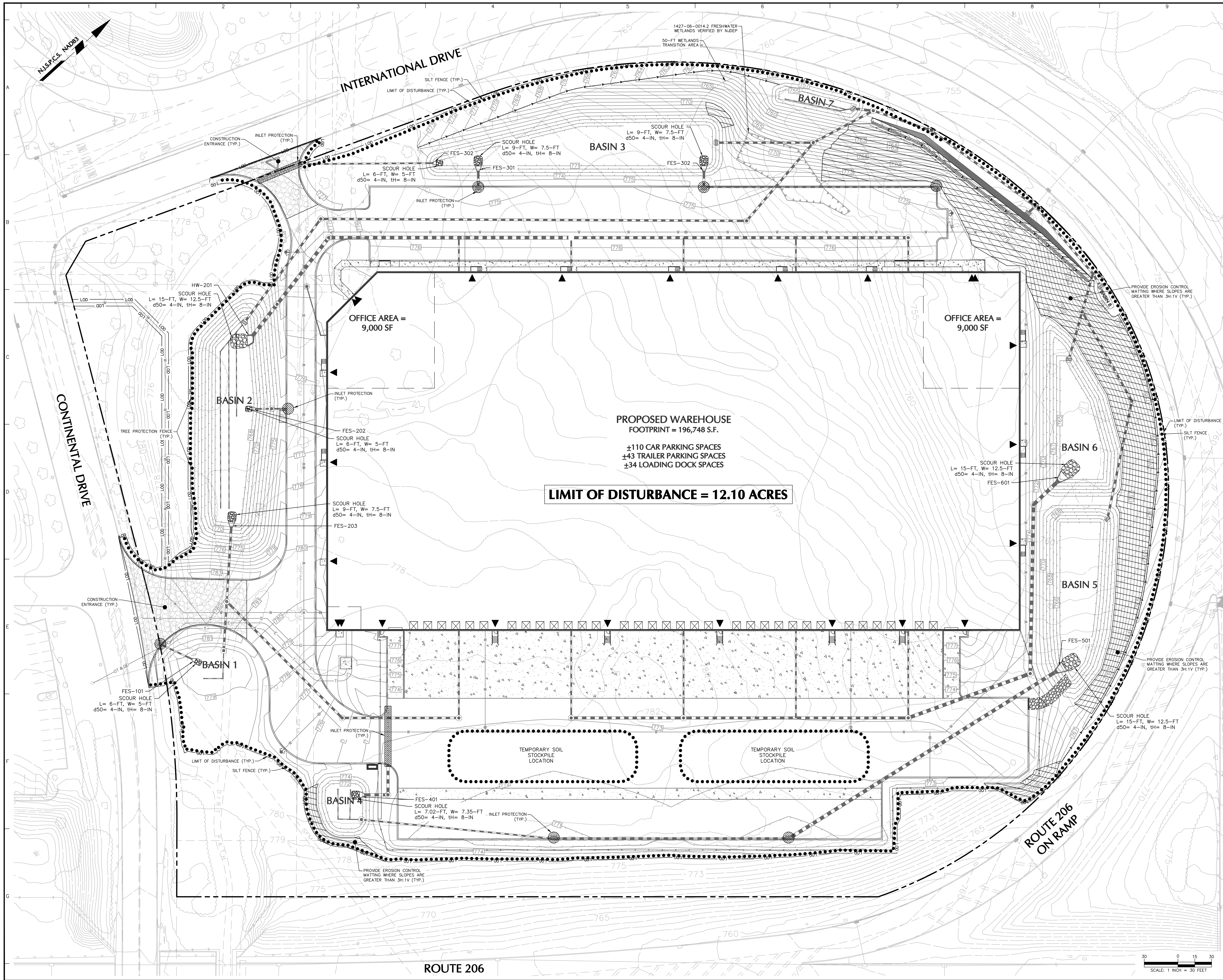





- NOTES:
- BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 06/19/2022 PREPARED BY CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 - CONTRACTOR TO CONFIRM ALL STRUCTURE INVERTS AND NOTIFY ENGINEER OF ANY INCONSISTENCIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO BEGIN PIPE NETWORK CONSTRUCTION AT TE-IN LOCATION AND BUILD UPSTREAM.
 - GAS, ELECTRIC, AND TELECOM SERVICE NETWORKS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER, ARCHITECT, AND MEP ENGINEER TO DETERMINE ACTUAL LOCATION AND SERVICE SIZE. CONCRETE ENCASUREMENT SHALL BE PROVIDED, AS REQUIRED, IN ACCORDANCE WITH THE UTILITY CROSSING DETAILS.
 - THERE SHALL BE A MINIMUM VERTICAL SEPARATION DISTANCE OF 18 INCHES BETWEEN SANITARY SEWERS AND WATER LINES UNLESS OTHERWISE SPECIFIED. IN AREAS WHERE THIS VERTICAL SEPARATION DISTANCE IS NOT FEASIBLE, SANITARY SEWER SHALL BE CONCRETE ENCASED. ENCASUREMENT SHALL EXTEND A MINIMUM OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET BETWEEN SANITARY SEWERS AND WATER LINES.
 - ALL WATER LINES SHALL HAVE A MINIMUM 4'-FT COVER.
 - ALL SANITARY LATERAL CLEANOUTS AND MANHOLES SHALL BE HEAVY DUTY AND TRAFFIC RATED.
 - ALL SANITARY SEWER LATERALS SHALL BE PVC (SDR 35) UNLESS OTHERWISE SPECIFIED.
 - WHERE APPLICABLE, HYDRANTS SHALL BE INSTALLED A MINIMUM OF 2.5 FEET FROM BACK OF CURB.
 - ALL WATER LINES SHALL BE C900 UNLESS OTHERWISE SPECIFIED.
 - PRIVATE FIRE MAINS SHALL CONFORM TO NFPA24. CONCRETE ENCASUREMENT SHALL BE PROVIDED AS REQUIRED, IN ACCORDANCE WITH THE UTILITY CROSSING DETAILS.
 - ALL WATER LINES SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REQUIREMENTS.
 - FINAL FIRE DESIGN WILL BE BASED ON FIRE PROTECTION DRAWINGS.
 - CONTRACTOR SHALL COORDINATE GAS SERVICE WITH THE GOVERNING AUTHORITY.

Date	Description	No.
Revisions		
		
Signature	RICHARD BURROW	Date 11/19/2022
PROFESSIONAL ENGINEER NJ Lic. No. 246E04459300		
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Langan Engineering and Environmental Services, Inc.		
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NJ CERTIFICATE OF AUTHORIZATION No. 246A2799600		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT		
BLOCK No. 202, LOT No. 1		
TOWNSHIP OF MOUNT OLIVE		
MORRIS COUNTY NEW JERSEY		
Drawing Title		
UTILITY PLAN		
Project No.		Drawing No.
100980202		CU101
Date		
11/18/2022		
Drawn By		
SLRY		
Checked By		
KMR		
Sheet 9 of 22		





- NOTES:
1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 06/19/2022 PREPARED BY CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. REFERS TO SHEET C501 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
 4. CONTRACTOR TO PROVIDE DUST CONTROL MEASURES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
 5. CONTRACTOR TO WASH TRUCK TIRES BEFORE EXITING THE CONSTRUCTION SITE.
 6. ALL LANDSCAPED ISLANDS TO BE PERMANENTLY SEEDED.
 7. EROSION CONTROL MATTING SHALL BE PROVIDED WHERE SLOPES ARE GREATER THAN 3H:1V.

Date	Description	No.
Revisions		
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Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300	11/29/2022 Da
<div>LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400</div>		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title		
SOIL EROSION AND SEDIMENT CONTROL PLAN		
Project No.		Drawing No.
100980202		CE101
Date		
11/18/2022		
Drawn By		
SL/RY		
Checked By		Sheet 10 of 22
KMR		

SCALE: 1 INCH = 30 FEET

SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND ARE TO BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 22 BELOW.
- PERMANENT VEGETATION TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 23 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS SUBJECT TO EROSION) WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 22.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL, AT ALL TIMES, BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) ARE TO BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILES BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS TO BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD, SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS TO BE TREATED WITH SUITABLE SUB BASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPTIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DOWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER TO BE COMPOSED OF A FABRIC OR APPROVED MATERIAL.
- ALL SEDIMENT BASINS ARE TO BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY TO END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCES, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION:

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 100 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
22. TEMPORARY STABILIZATION SPECIFICATIONS:
- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - MULCH DISTURBED SOIL WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
23. PERMANENT STABILIZATION SPECIFICATIONS:
- APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

DUST CONTROL

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1		
POLYACRYLAMIDE (PAM) - DRY SPREAD			
AGGULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

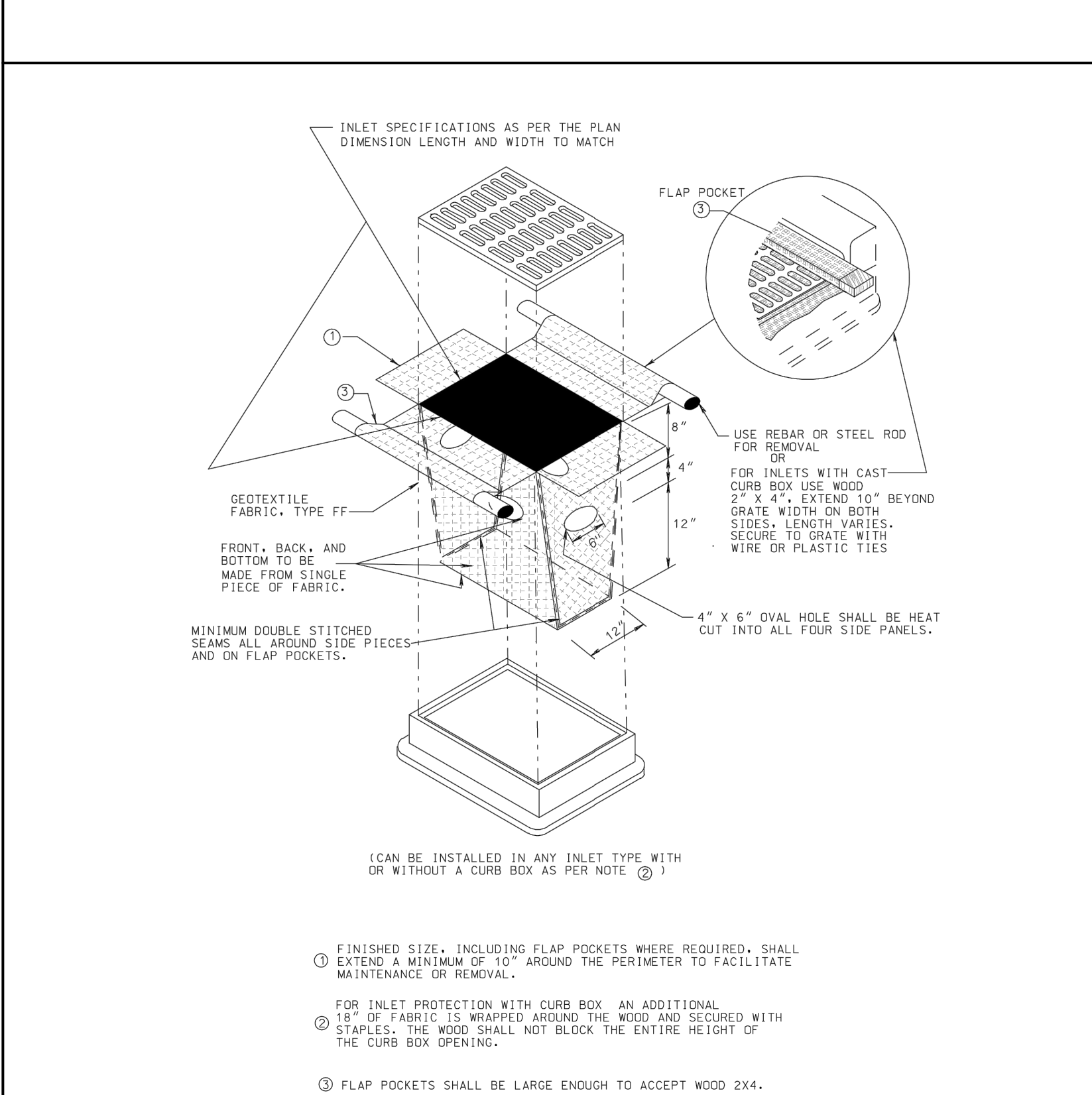
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



INLET PROTECTION

STABILIZATION NOTES

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY"

THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED):

- APPLY TOPSOIL TO A DEPTH OF 5".
- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE, AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- SEED - LAWN AREAS - STANDARD SEED MIX 15
HARD FESCUE - 2.70 lbs/1,000 sf
PERENNIAL RYEGRASS - 0.70 lbs/1,000 sf
KENTUCKY BLUEGRASS - 0.90 lbs/1,000 sf
OPTIMAL PLANTING PERIOD BETWEEN MARCH 1 AND MAY 31
- SEED - MEADOW AREAS - STANDARD SEED MIX 5
SWITCHGRASS - 0.35 lbs/1,000 sf
BIG BLUESTEM - 0.10 lbs/1,000 sf
LITTLE BLUESTEM - 0.10 lbs/1,000 sf
SAND LOVEGRASS - 0.10 lbs/1,000 sf
COASTAL PANICGRASS - 0.25 lbs/1,000 sf
& WILDLLOWER MIX 605 BY APPLEWOOD OR APPROVED EQUAL.
WILDLLOWER MIX 605 - 10 lbs/acre
- SEED - DETENTION BASINS & SPILLWAYS - STANDARD SEED MIX 9
STRONG CREEPING RED FESCUE - 2.8 lbs/1,000 sf
KENTUCKY BLUEGRASS - 1.8 lbs/1,000 sf
PERENNIAL RYEGRASS - 0.5 lbs/1,000 sf
OR
REDTOP - 0.25 lbs/1,000 sf
PLUS WHITE CLOVER - 0.25 lbs/1,000 sf

OPTIMAL PLANTING PERIOD BETWEEN MARCH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND NOVEMBER 15. ACCEPTABLE PLANTING PERIOD BETWEEN MAY 1 AND AUGUST 14

- MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED (OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARILY SEEDING:

- APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE, APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE, CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- SEED - PERENNIAL RYEGRASS - 100 lbs/acre;
PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
- MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).

STABILIZATION WITH MULCH ONLY

NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

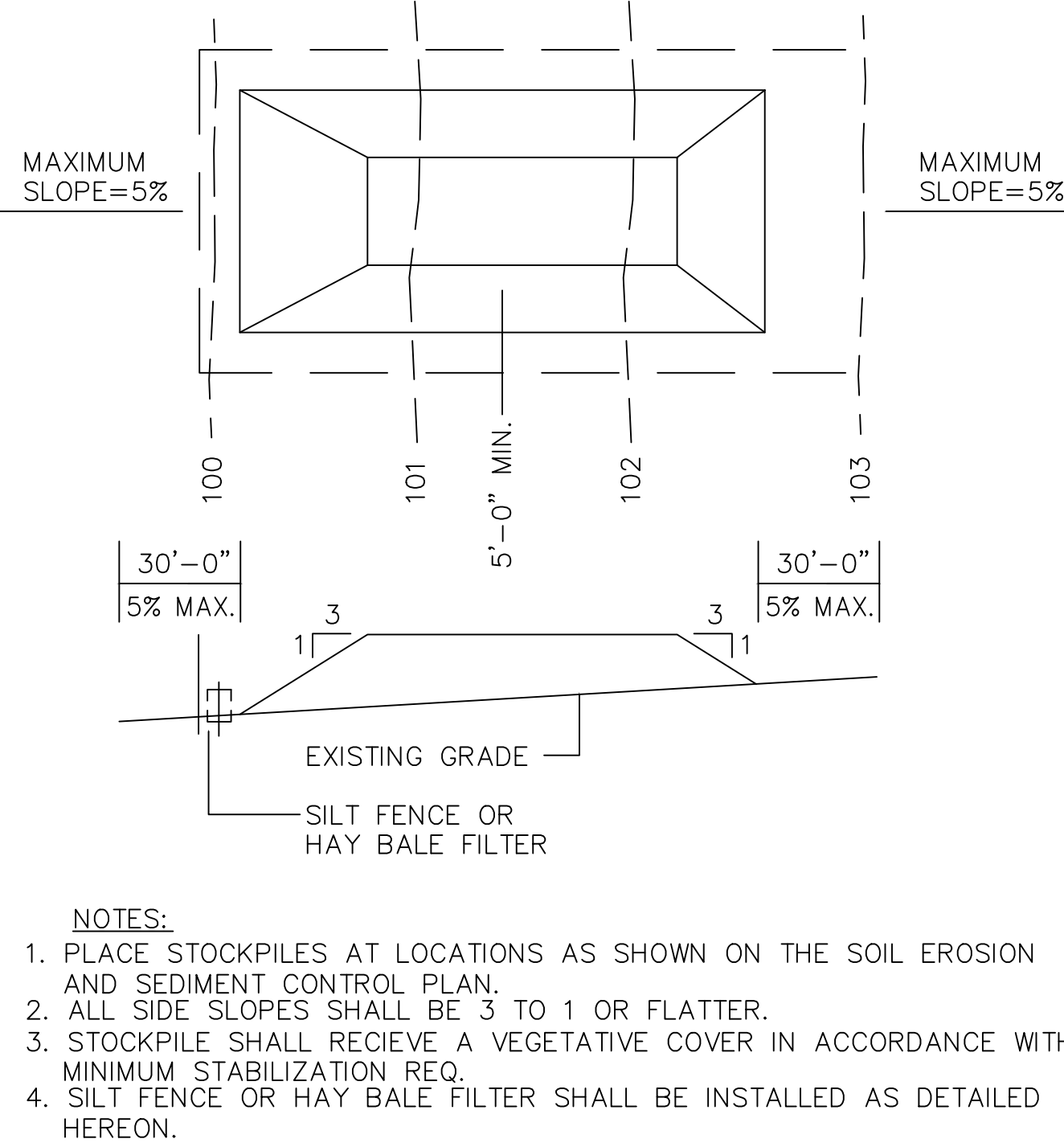
SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 TO 115 LBS/1,000 sf TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, LIQUID MULCH BINDER, OR MULCH NETTING).

SCHEDULE OF OPERATIONS

- | | ACTIVITY DURATION |
|--|-------------------|
| 1. NOTIFY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT IN WRITING AT LEAST 72 HOURS PRIOR TO ANY PROJECT PRE CONSTRUCTION MEETING OR SITE DISTURBANCES. | --- |
| 2. INSTALL A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET OF 1 IN. TO 2 1/2 IN. WASHED STONE 6 IN. DEEP AT THE CONSTRUCTION ENTRANCE(S) IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. SITE TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS AND EGRESS. INSTALL SILT FENCE AND BARRIERS. EQUIP ALL EXISTING CATCH BASINS WITH FILTER FABRIC INLET PROTECTION IMMEDIATELY UPON START OF CONSTRUCTION. CLEAR AND GRUB AREAS CONTAINING VEGETATION AS REQUIRED TO COMMENCE CONSTRUCTION. | 1 WEEK |
| 3. INSTALL REMAINDER OF TEMPORARY SOIL EROSION & SEDIMENT CONTROL MEASURES, IMMEDIATELY AFTER INITIAL DISTURBANCES. TRAFFIC SHOULD USE ONLY THIS AREA FOR INGRESS AND EGRESS. PLACE AND MAINTAIN SEDIMENT BARRIERS AS SHOWN ON THE PLAN. | 2 WEEKS |
| 4. CONSTRUCT STOCKPILE AND STABILIZE. | --- |
| 5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN THIRTY (30) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY. | --- |
| 6. PROPOSED SITE IMPROVEMENTS SHALL ONLY BE STARTED AFTER RECEIVING SITE PLAN APPROVAL FROM THE REGULATORY AGENCIES HAVING JURISDICTION AND CERTIFICATION OF THE SITE CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL PLAN FROM THE MORRIS COUNTY SOIL CONSERVATION DISTRICT. | --- |
| 7. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETE, THE ROADS AND PARKING AREAS ARE PAVED, AND THE VEGETATIVE COVER IS 70% OR GREATER IN NON-PAVED AREAS. | 10 MONTHS |
| 8. COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM IMPROVEMENTS, BELOW-GRADE UTILITIES AND FOUNDATION. | --- |
| 9. AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED PLACE FILTER FABRIC INLET PROTECTION ON EACH CATCH BASIN WHICH SHALL REMAIN UNTIL THE SITE IS PAVED. REPLACE AS NECESSARY. | 6 MONTHS |
| 10. BUILDING CONSTRUCTION. | 2 MONTHS |
| 11. COMPLETE FINAL SITE GRADING, CURB, ASPHALT PAVING AND SIDEWALK INSTALLATION. | --- |
| 12. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE ROADS ARE PAVED. | 1 MONTHS |
| 13. LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON THE LANDSCAPE PLAN AND REMOVE ALL TEMPORARY SEDIMENT CONTROL STRUCTURES AND MEASURES. PERMANENTLY STABILIZE ALL AREAS. | 1 WEEK |
| 14. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED, SHOULD ENVIRONMENTAL REQUIREMENTS FOR THE SITE SPECIFY MORE THAN A MINIMUM OF 4", ENVIRONMENTAL REQUIREMENTS SHALL DICTATE. | 2 WEEKS |
| 15. CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS. DOWNSWAMP/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS RESULTING FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER. | --- |
| 16. NOTIFY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AT THE COMPLETION OF CONSTRUCTION. | --- |

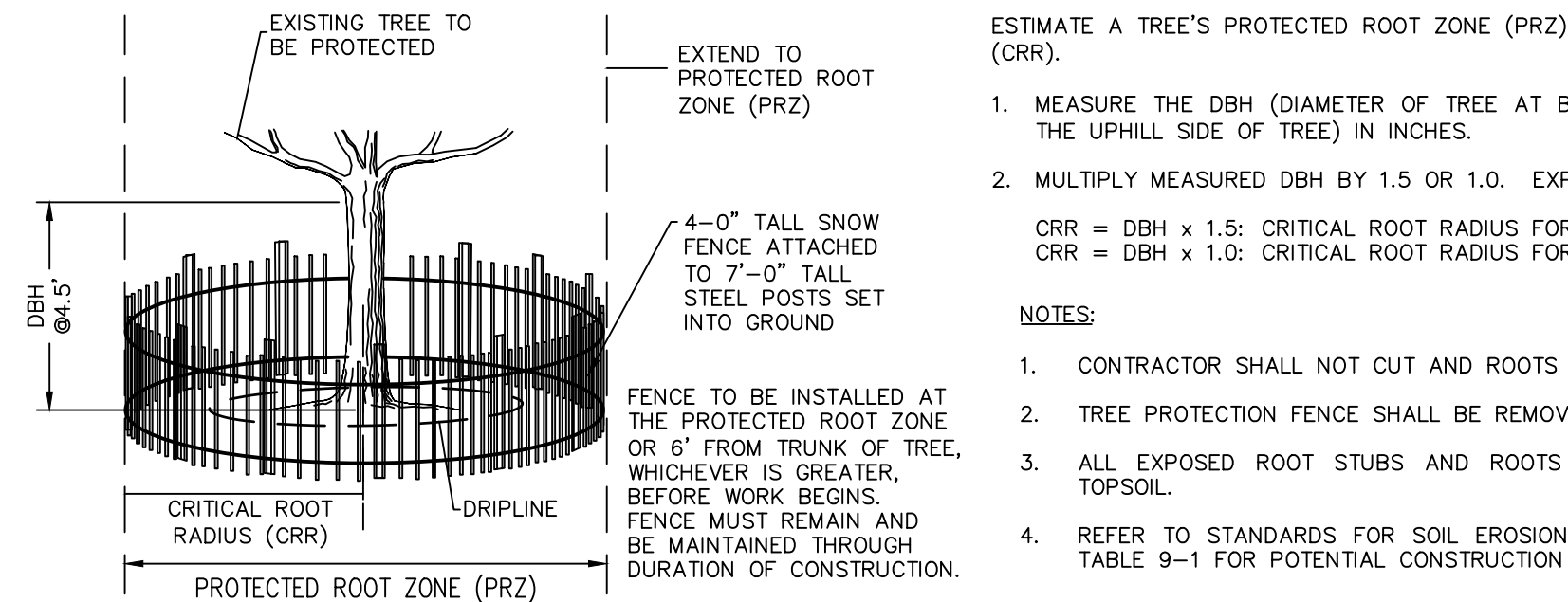
CONSTRUCTION NOTES

- CONTRACTOR TO COORDINATE STAGING AREAS WITH OWNER.
- VEHICLE WASH DOWN PADS TO BE PROVIDED THROUGHOUT THE DURATION OF THE PROJECT.
- INLET PROTECTION REQUIREMENTS SHALL NOT BE LIMITED TO STRUCTURES LOCATED WITHIN THE PHASE LIMITS OF WORK. ANY AND ALL INLETS WHICH COULD BE AFFECTED BY RUNOFF SHALL BE PROTECTED.
- CONTRACTOR MAY ELECT TO PROVIDE HAY BALES OR ALTERNATIVE MEANS OF INLET PROTECTION TO EXISTING INLETS. ALL ALTERNATIVES MUST BE APPROVED BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT. COPIES OF DETAIL AND APPROVAL TO BE PROVIDED TO THE OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR MUST PROTECT WORK, EXISTING PREMISES AND OWNER'S OPERATION FROM THEFT, VANDALISM AND UNAUTHORIZED ENTRY.
- CONTRACTOR MUST RESTRICT ENTRANCE OF PERSONS AND VEHICLES INTO PROJECT SITE. ALLOW ENTRANCE TO AUTHORIZED PERSONS WITH PROPER IDENTIFICATION ONLY. MAINTAIN A LOG OF WORKERS AND VISITORS TO BE AVAILABLE TO OWNER ON REQUEST.



NOT TO SCALE

TEMPORARY STOCKPILE



TREE PROTECTION FENCE

Percent Slope of Roadway	Length of Stone Required	
	Coarse-Grained Soils	Fine-Grained Soils
0 to 2%	50 ft.	100 ft.
2 to 5%	100 ft.	200 ft.
>5%	ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX 1-2	

6" MINIMUM THICK STONE PAD:
ASTM C-33 NO. 2 OR 3 CLEAN
CRUSHED ANGULAR STONE

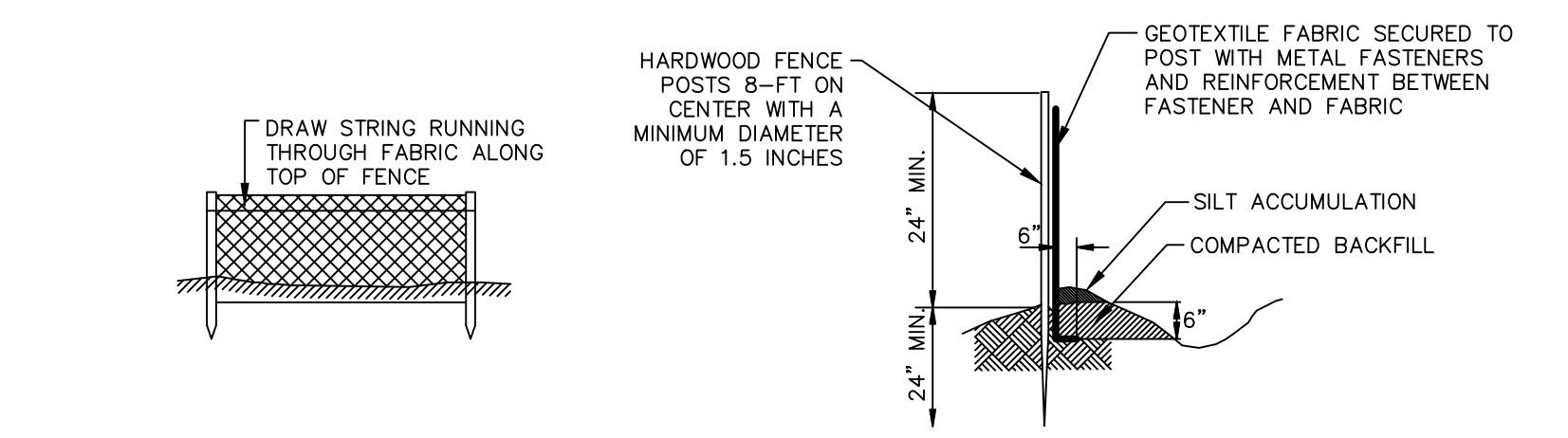
GEOTEXTILE FABRIC
MIRAFI 600X OR
APPROVED EQUIVALENT

6" MINIMUM

200' LONG MINIMUM
(SEE TABLE 27-1)

WELL COMPACTED SUB-GRADE

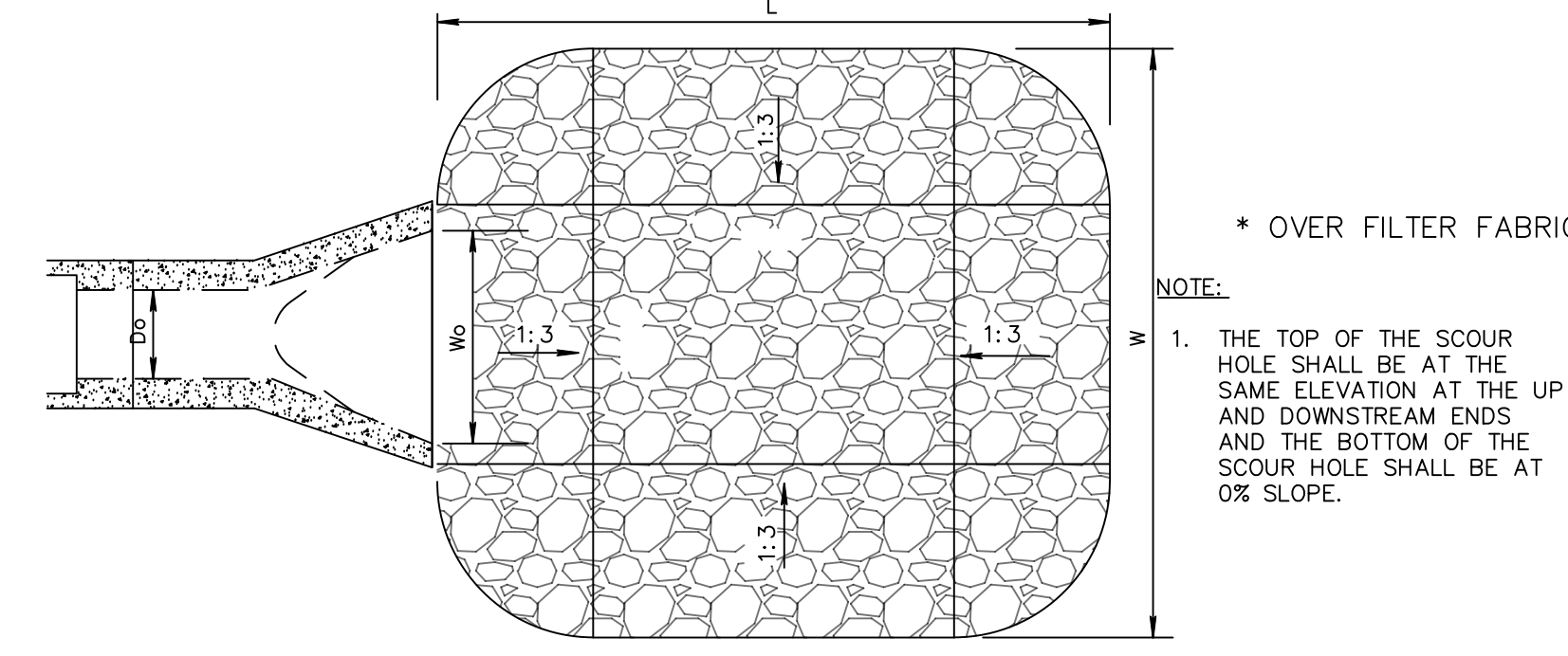
STABILIZED CONSTRUCTION ACCESS



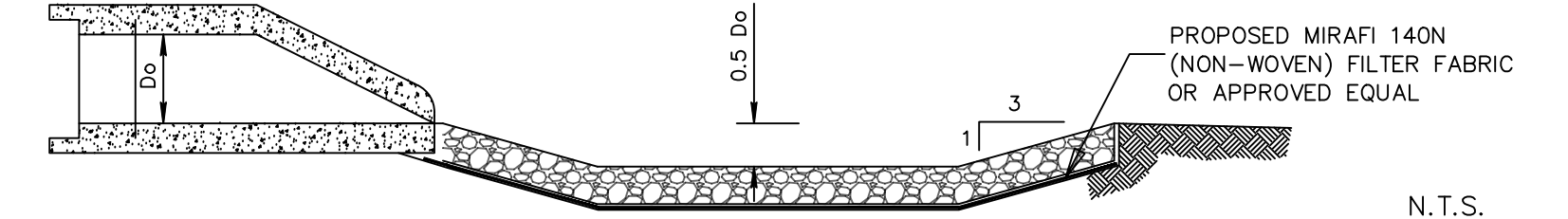
METHOD OF INSTALLATION

- CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH FILTER FABRIC PRIOR TO BACK FILL.
- EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O.C.
- ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POSTS. SECURE FABRIC TO POST WITH METAL FASTENER AND REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC.
- POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.

SILT FENCE



PLAN VIEW



SIDE VIEW

	Do	TOTAL L	TOTAL W	BOTTOM L	BOTTOM W	d50	THICKNESS
FES-101	12" HDPE	6 FT.	5 FT.	3 FT.	2 FT.	4 IN.	8 IN.*
HW-201	30" HDPE	15 FT.	12.5 FT.	7.5 FT.	5 FT.	4 IN.	8 IN.*
FES-202	12" HDPE	6 FT.	5 FT.	3 FT.	2 FT.	4 IN.	8 IN.*
FES-203	18" HDPE	9 FT.	7.5 FT.	4.5 FT.	3 FT.	4 IN.	8 IN.*
FES-301	18" HDPE	9 FT.	7.5 FT.	4.5 FT.	3 FT.	4 IN.	8 IN.*
FES-302	18" HDPE	9 FT.	7.5 FT.	4.5 FT.	3 FT.	4 IN.	8 IN.*
FES-303	12" HDPE	6 FT.	5 FT.	3 FT.	2 FT.	4 IN.	8 IN.*
FES-401	14" X 23" ELLIPTICAL	7.02 FT.	7.35 FT.	3.51 FT.	3.84 FT.	4 IN.	8 IN.*
FES-501	30" HDPE	15 FT.	12.5 FT.	7.5 FT.	5 FT.	4 IN.	8 IN.*
FES-601	30" HDPE	15 FT.	12.5 FT.	7.5 FT.	5 FT.	4 IN.	8 IN.*

SCOUR HOLE

Date	Description	No.
Revisions		
Signature: RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 246E04459300 Date: 11/29/2022		
Project: 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK NO. 202, LOT NO. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title: SOIL EROSION AND SEDIMENT CONTROL DETAILS		
Project No. 100980202		CE501
Date: 11/18/2022		
Drawn By: SLURY		
Checked By: KMR		
Sheet 11 of 22		

EROSION CONTROL BLANKET

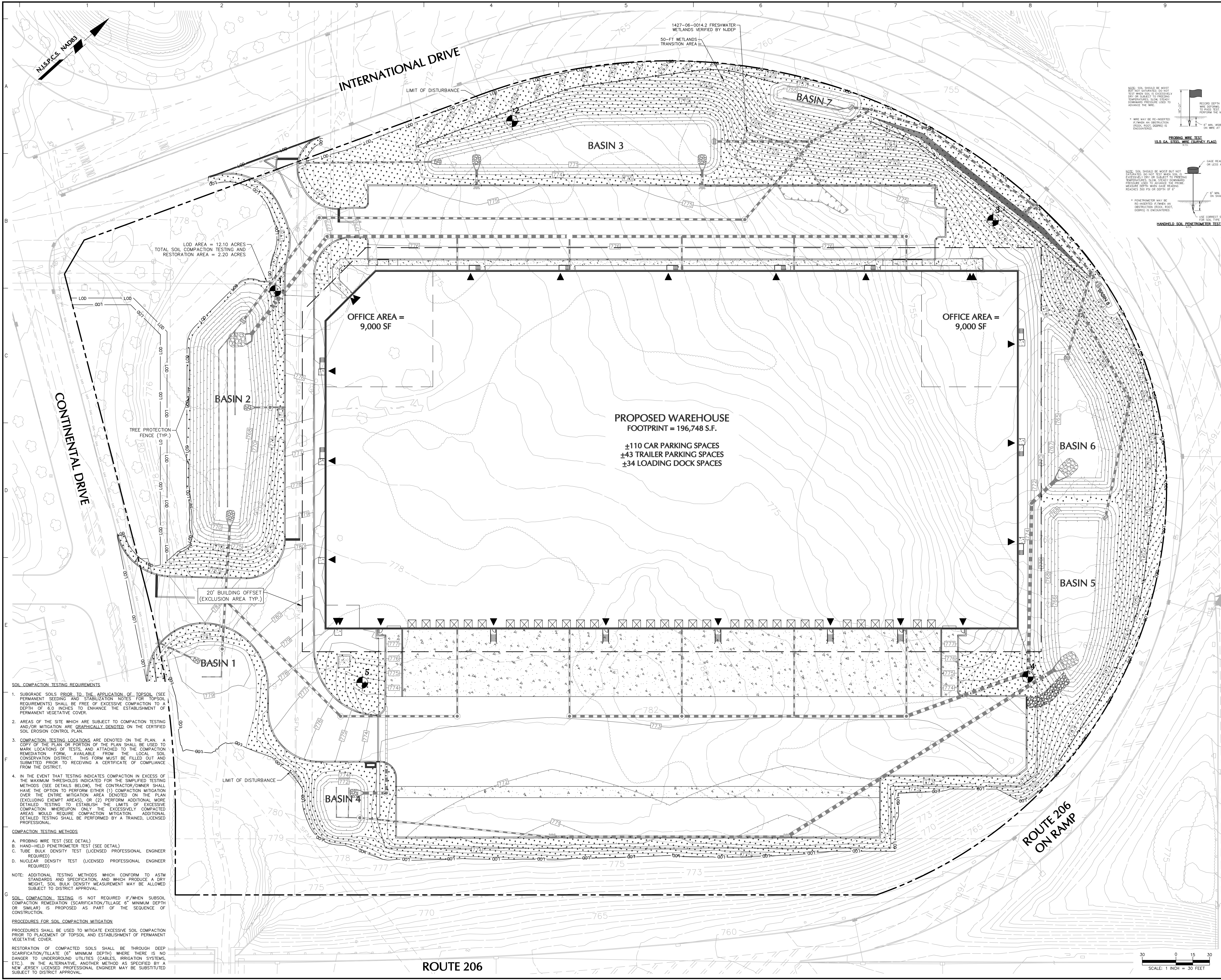
EAST COAST
erosion control

443 Bricker Road Bensenville, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Proud Member of:

IECA International Erosion Control Association
NAHB National Association of Home Builders



NOTES:

- BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NGPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 06/19/2022 PREPARED BY CHESTER, PLOUSSAS, LISOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
- ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).

SOIL SHOULD BE MOST TESTED TO A MINIMUM OF 6" TO 12" DEPTH. IF SOIL IS FOUND TO BE EXCESSIVELY COMPACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF EXCESSIVELY COMPACTED SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF EXCESSIVELY COMPACTED SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF EXCESSIVELY COMPACTED SOILS.

PROBING WIRE TEST
15.5 GA. STEEL WIRE (SURVEY FLAG)

NOTE: SOIL SHOULD BE MOST TESTED TO A MINIMUM OF 6" TO 12" DEPTH. IF SOIL IS FOUND TO BE EXCESSIVELY COMPACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF EXCESSIVELY COMPACTED SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF EXCESSIVELY COMPACTED SOILS.

TESTING NOT REQUIRED
IF WHEN AN OBSTRUCTION (ROOT, ROCK, DEBRIS) IS ENCOUNTERED

COMPACTION TEST
LOCATION (TYP.)

TESTING NOT REQUIRED
IF WHEN AN OBSTRUCTION (ROOT, ROCK, DEBRIS) IS ENCOUNTERED

MULTIFAMILY HOUSING OR OTHER NON-RESIDENTIAL BUILDING/STRUCTURE

TESTING NOT REQUIRED
IF WHEN AN OBSTRUCTION (ROOT, ROCK, DEBRIS) IS ENCOUNTERED

USE CORRECT SIZE TIP
FOR SOIL TYPE

HANDHELD SOIL PENETROMETER TEST

LEGEND

SOIL COMPACTION TESTING AND/OR RESTORATION AREAS

RECOMMENDED TESTING LOCATION (APPROXIMATELY 1 PER 0.5 ACRES) REQUIRED FOR THIS PROJECT (BASED ON 2.20 ACRES OF SOIL COMPACTION TESTING AND RESTORATION AREAS)

20' BUILDING OFFSET (EXCLUSION AREA)

Date	Description	No.
Revisions		
		
11/29/2022	Signature	RICHARD BURROW
Date		
PROFESSIONAL ENGINEER NJ Lic. No. 246E04459300		
LANGAN		
Langan Engineering and Environmental Services, Inc.		
300 Kimball Drive Parsippany, NJ 07054		
T: 973.560.4900 F: 973.560.4901 www.langan.com		
NJ CERTIFICATE OF AUTHORIZATION No. 246A2799600		
Project		
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT		
BLOCK No. 202, LOT No. 1		
TOWNSHIP OF MOUNT OLIVE		
MORRIS COUNTY NEW JERSEY		
Drawing Title		
SOIL DECOMPACTION AND RESTORATION PLAN		
Project No.		
100980202		
Drawing No.		
CE201		
Date		
11/18/2022		
Drawn By		
SLURY		
Checked By		
KMR		
Sheet 12 of 22		

SCALE: 1 INCH = 30 FEET

30 0 15 30

SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SAMPLED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATION, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

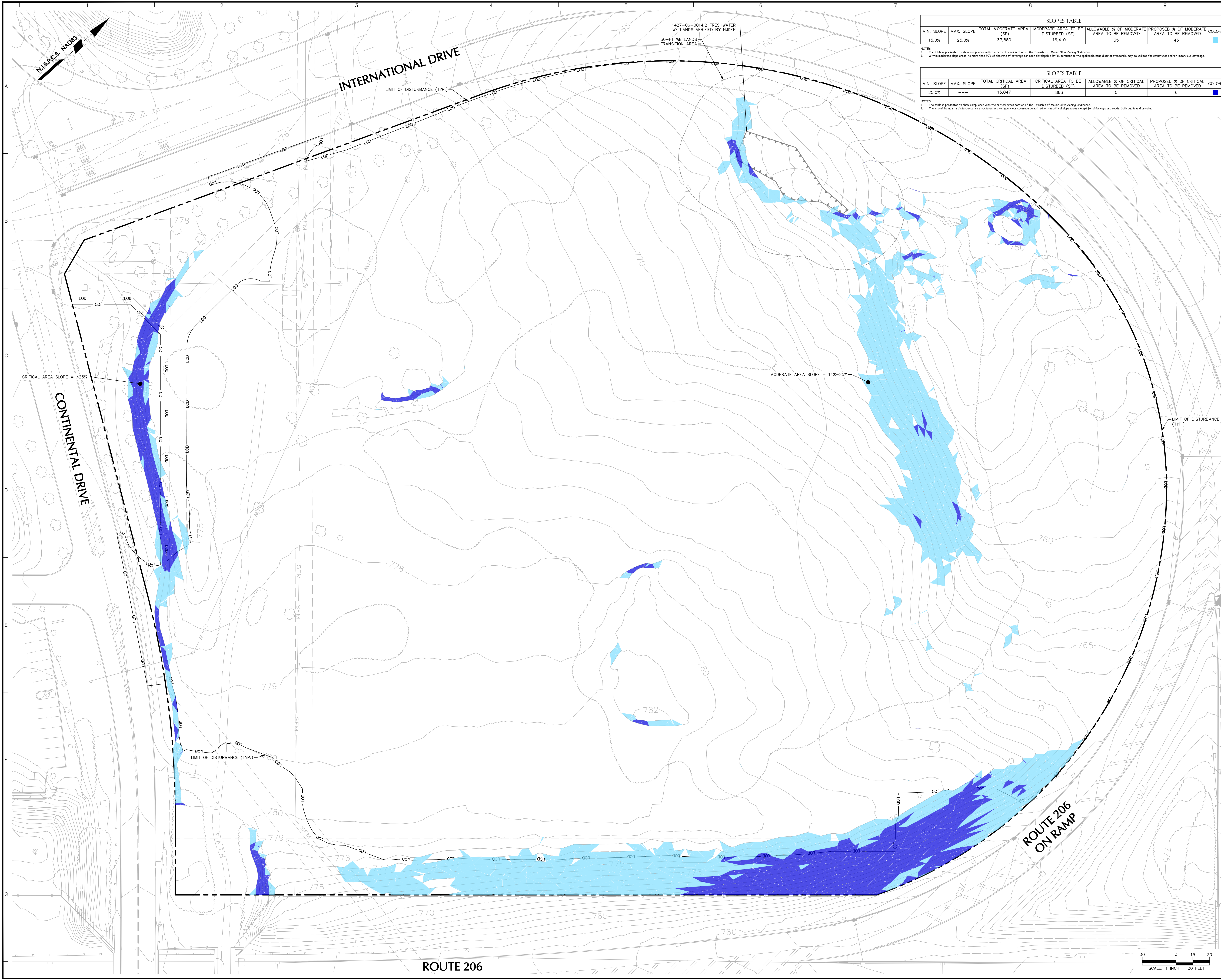
G

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE, 6" MINIMUM DEPTH OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

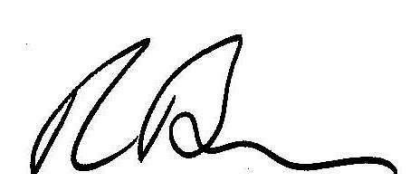
RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



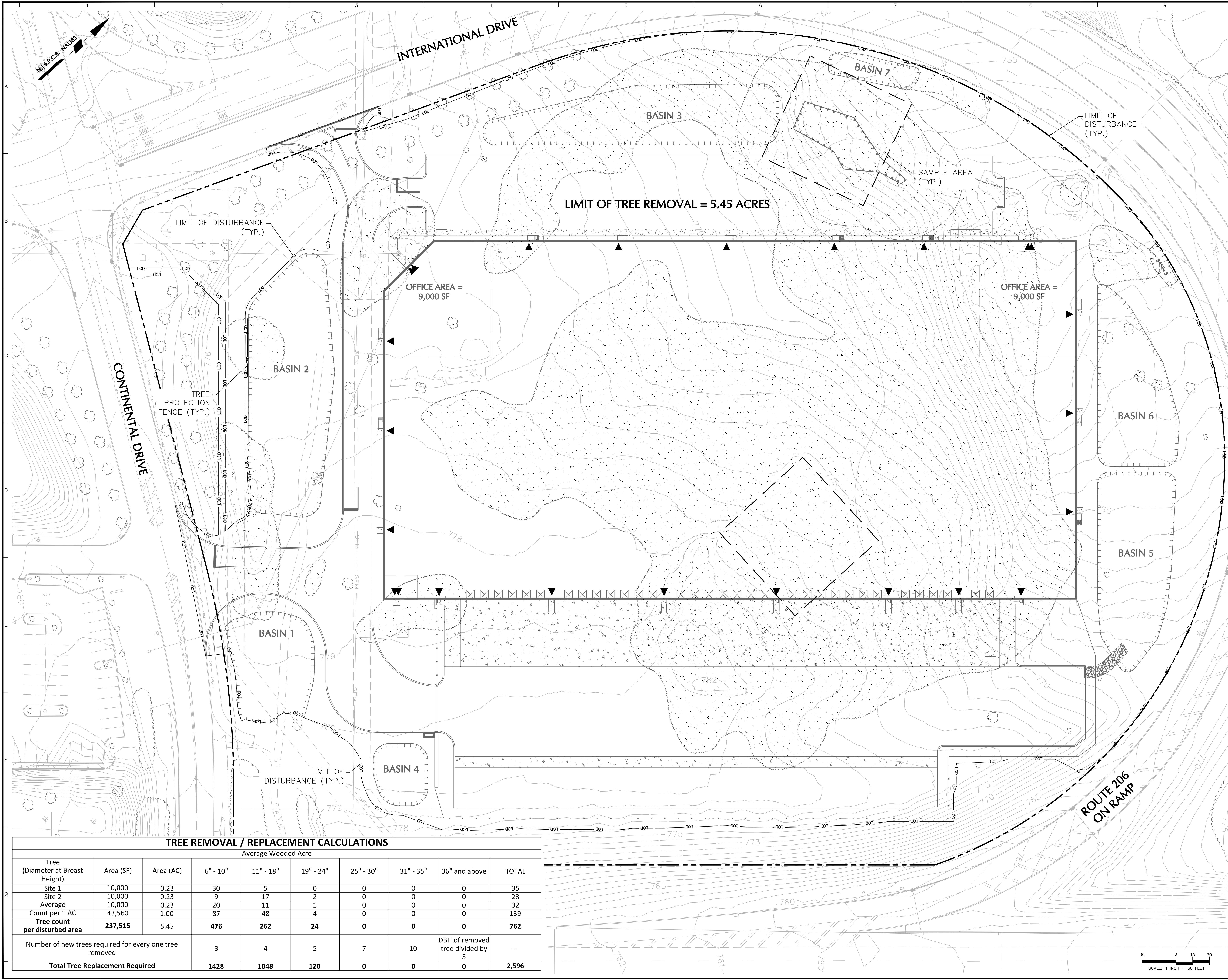
SLOPES TABLE					
MIN. SLOPE	MAX. SLOPE	TOTAL MODERATE AREA (SF)	MODERATE AREA TO BE DISTURBED (SF)	ALLOWABLE % OF MODERATE AREA TO BE REMOVED	PROPOSED % OF MODERATE AREA TO BE REMOVED
15.0%	25.0%	37,880	16,410	35	43

SLOPES TABLE					
MIN. SLOPE	MAX. SLOPE	TOTAL CRITICAL AREA (SF)	CRITICAL AREA TO BE DISTURBED (SF)	ALLOWABLE % OF CRITICAL AREA TO BE REMOVED	PROPOSED % OF CRITICAL AREA TO BE REMOVED
25.0%	---	15,047	863	0	6

NOTES:
1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 202, LOT 1 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY LOT 1 BLOCK 202" DATED 06/19/2022 PREPARED BY CHESTER, PLOUSSAS, USOWSKY PARTNERSHIP, LLC. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

Date	Description	No.
Revisions		
		
Signature	RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300	Date 11/29/2022
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400		
Project 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title STEEP SLOPES PLAN		
Project No. 100980202	Drawing No. EN100	
Date 11/18/2022		
Drawn By SLURY		
Checked By KMR	Sheet 13 of 22	

SCALE: 1 INCH = 30 FEET



- NOTES:
1. BOUNDARY INFORMATION AND EXISTING FEATURES FOR BLOCK 128.03, LOTS 47 SHOWN HEREON ARE BASED ON "ALTA/NSPS LAND TITLE SURVEY" DATED 06/24/2020 PREPARED BY LANGAN ENGINEERING. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
 2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. REFER TO TREE REMOVAL PERMIT APPLICATION FOR FULL TREE SURVEY INFORMATION.

LEGEND

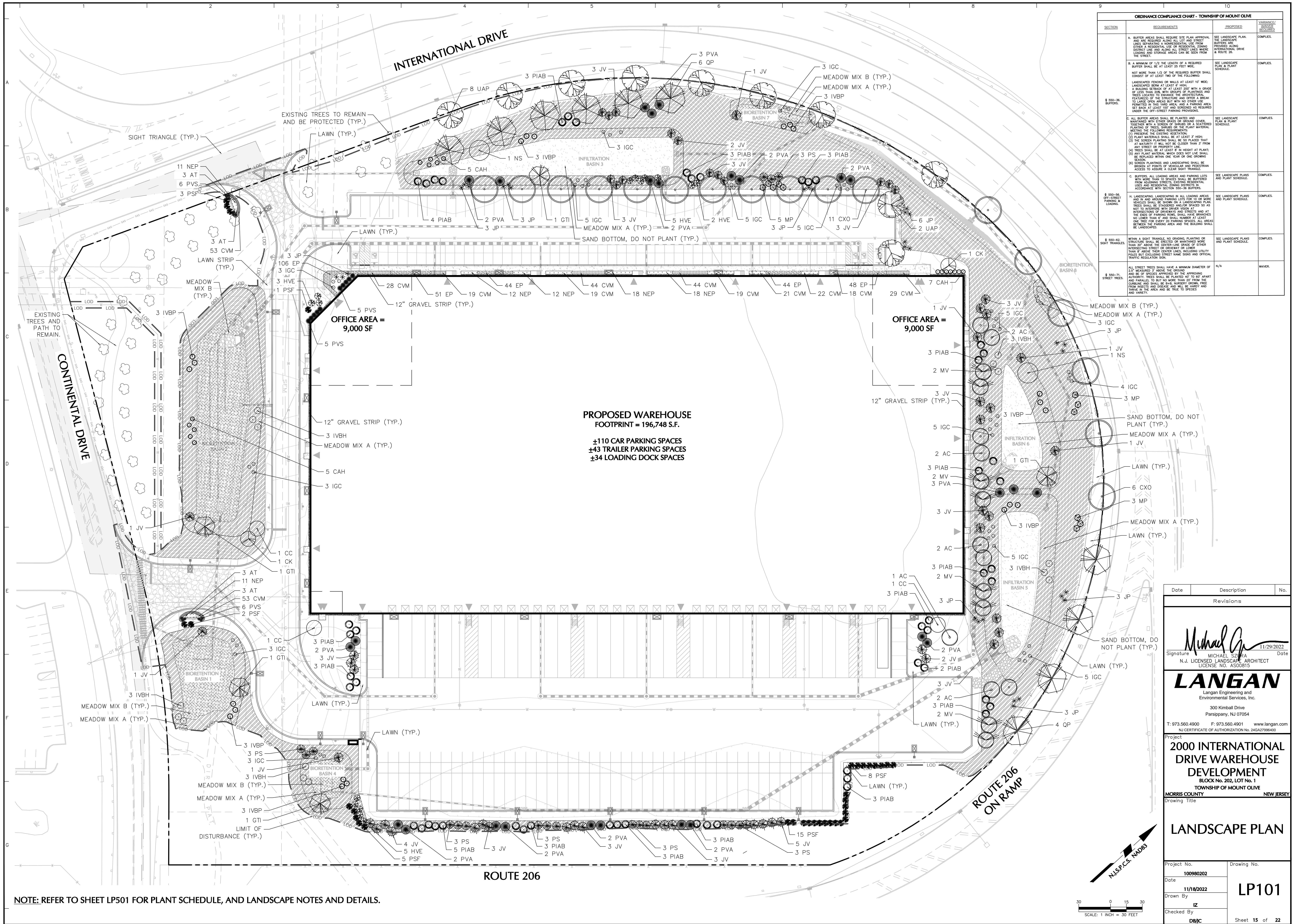
- TREES AND BRUSH TO BE REMOVED
- TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE

TREE REMOVAL / REPLACEMENT CALCULATIONS

Average Wooded Acre									
Tree (Diameter at Breast Height)	Area (SF)	Area (AC)	6" - 10"	11" - 18"	19" - 24"	25" - 30"	31" - 35"	36" and above	TOTAL
Site 1	10,000	0.23	30	5	0	0	0	0	35
Site 2	10,000	0.23	9	17	2	0	0	0	28
Average	10,000	0.23	20	11	1	0	0	0	32
Count per 1 AC	43,560	1.00	87	48	4	0	0	0	139
Tree count per disturbed area	237,515	5.45	476	262	24	0	0	0	762
Number of new trees required for every one tree removed			3	4	5	7	10	DBH of removed tree divided by 3	---
Total Tree Replacement Required			1428	1048	120	0	0	0	2,596

SCALE: 1 INCH = 30 FEET

Date	Description	No.
Revisions		
 Signature RICHARD BURROW PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300 Date 11/29/2022		
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996900		
Project 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title TREE REMOVAL PLAN		
Project No. 100980202	Drawing No. LD100	
Date 11/18/2022	Sheet 14 of 22	
Drawn By SLRY		
Checked By KMR		

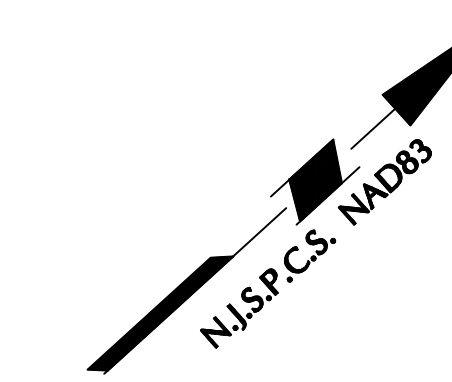


ORDINANCE COMPLIANCE CHART - TOWNSHIP OF MOUNT OLIVE			
SECTION	REQUIREMENTS	PROPOSED	VARIANCE/ WAIVER REQUIRED
§ 550-36. BUFFERS.	A. BUFFER AREAS SHALL REQUIRE SITE PLAN APPROVAL AND ARE REQUIRED ALONG ALL LOT AND STREET LINES SEPARATING A NONRESIDENTIAL USE FROM EITHER A RESIDENTIAL USE OR RESIDENTIAL ZONING DISTRICT LINE AND ALONG ALL STREET LINES WHERE CONTIGUOUS LAND STORAGE AREAS CAN BE SEEN FROM THE STREET.	SEE LANDSCAPE PLAN. THE LANDSCAPE BUFFERS ARE PROVIDED ALONG INTERNATIONAL DRIVE & ROUTE 206.	COMPLIES.
	B. A MINIMUM OF 1/2 THE LENGTH OF A REQUIRED BUFFER SHALL BE AT LEAST 20 FEET WIDE. BUFFER SHALL BE AT LEAST TWO OF THE FOLLOWING: LANDSCAPED FENCING OR WALLS AT LEAST 10' HIGH; LANDSCAPED BERRY AT LEAST 6' HIGH; WITH A DENSE BUILDING SCREEN OF PLANTINGS AND TREES LOCATED TO MINIMIZE THE ARCHITECTURAL FEATURES OF THE STRUCTURE AND OFFER A BREAK TO LARGE OPEN AREAS BUT WITH NO OTHER USE PERMITTED IN THIS YARD AREA, AND A PARKING AREA SET BACK AT LEAST 100' AND SCREENED AS REQUIRED UNDER THE OFF-STREET PARKING PROVISIONS.	SEE LANDSCAPE PLAN & PLANT SCHEDULE.	COMPLIES.
	C. ALL BUFFER AREAS SHALL BE PLANTED AND MAINTAINED WITH TREES, GRASSES OR GROUND COVER. PLANTING OF TREES, GRASSES OR GROUND COVER SHALL MEET THE FOLLOWING REQUIREMENTS: (1) PRESERVE THE EXISTING VEGETATION. (2) PLANT MATERIALS SHALL BE AT LEAST 5' HIGH. (3) THE SCREEN PLANTING SHALL BE SO PLACED THAT AT MATURE IT WILL NOT BE CLOSER THAN 7' FROM ANY STREET OR PUBLIC USE. (4) TREES SHALL BE AT LEAST 8" IN HEIGHT AT PLANTING. (5) ANY PLANT MATERIAL WHICH DOES NOT LIVE SHALL BE REPLACED WITHIN ONE YEAR OR ONE GROWING SEASON. (6) SCREEN PLANTINGS AND LANDSCAPING SHALL BE BROUGHT UP TO POINTS OF VEHICULAR AND PEDESTRIAN ACCESS TO ASSURE A CLEAR SIGHT TRIANGLE.	SEE LANDSCAPE PLAN & PLANT SCHEDULE.	COMPLIES.
§ 550-56. OFF-STREET PARKING.	H. LANDSCAPING, LANDSCAPING IN ALL LOADING AREAS, AND IN AND AROUND PARKING LOTS FOR 10 OR MORE THAN 20 VEHICLES SHALL BE GROWN ON THE LOT. TREES SHALL BE STAGGERED AND/OR SPACED 50 AS NOT TO INTERFERE WITH DRIVEWAYS, AND AT THE ENDS OF PARKING ROWS, SHALL HAVE BRANCHES NO LOWER THAN 6' AND SHALL MAINTAIN AT LEAST ONE TREE FOR EVERY 20 PARKING SPACES. ALL AREAS BETWEEN THE PARKING AREA AND THE BUILDING SHALL BE LANDSCAPED.	SEE LANDSCAPE PLAN & PLANT SCHEDULE.	COMPLIES.
§ 550-62. SIGHT TRIANGLES.	WITHIN A SIGHT TRIANGLE, NO GRASSING, PLANTING OF STRUCTURE SHALL BE ERRECTED OR MAINTAINED MORE THAN 20' ABOVE THE CENTERLINE GRADE OF EITHER INTERSECTING STREET OR DRIVEWAY OR LOWER THAN 8' ABOVE THEIR CENTER LINES, INCLUDING UTILITY POLES & EXCLUDING STREET NAME SIGNS AND OFFICIAL TRAFFIC REGULATION SIGN.	SEE LANDSCAPE PLAN & PLANT SCHEDULE.	COMPLIES.
§ 550-71. STREET TREES.	ALL STREET TREES SHALL HAVE A MINIMUM DIAMETER OF 2.5" MEASURED 3' ABOVE THE GROUND AND BE OF SPECIES APPROVED BY THE TOWNSHIP AUTHORITY. TREES SHALL BE PLANTED 4' TO 10' APART AND PARALLEL TO BUT NO MORE THAN 20' FROM THE LOT LINE. TREES SHALL BE PLANTED TO PROTECT FROM INSECTS AND DISEASE AND WILL BE HARDY AND THING IN THE AREA AND BE TRUE TO SPECIES	N/A	WAIVER.

Date	Description	No.
Revisions		
11/29/2022	Signature: <i>Michael Szura</i>	Date
MICHAEL SZURA N.J. LICENSED LANDSCAPE ARCHITECT LICENSE NO. A500815		
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parasitpany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 240A27996900		
Project 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title LANDSCAPE PLAN		
Project No. 100980202	Drawing No. LP101	
Date 11/18/2022	Drawn By IZ	
Checked By DB/JC	Sheet 15 of 22	

NOTE: REFER TO SHEET LP501 FOR PLANT SCHEDULE, AND LANDSCAPE NOTES AND DETAILS.

SCALE: 1" = 30' FEET



PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FERTILE, FERTIL, WELL-AERATED, AND FREE OF TOXIC SUBSTANCES. IT SHOULD BE OF A CONSISTENT TEXTURE, ADEQUATELY MOISTURE RETENTIVE, AND BE OF A CONSISTENTLY SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
2. PLANTING SOIL
- PLANTING SOIL STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL REUSE SURFACE SPECIFICATION THROUGH TESTING, CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOIL, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED, THE SOILS MUST BE TESTED TO VERIFY COMPLIANCE WITH THE SPECIFICATIONS. THEREFORE, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL ARE NOT AVAILABLE. IMPORTED TOPSOIL, OBTAIN SOIL DISPOSED FROM NATURE'S REPAIRING SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOMS, MARSHLANDS, OR OTHER SITES.
- AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM MEGARE DESIGN

- [illegible]

5. **SOL AMENDMENT FOR PLANT MATERIAL:**
- A. IF ORGANIC CONTENT IS INADEQUATE, SOL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, NON-TOXIC ORGANIC MATERIAL. AMENDMENT SHALL BE WELL COMPOSTED, RANGE OF 4-8% MOISTURE CONTENT, 35-50% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5% BY WEIGHT.
- B. ORGANIC MATTER AS SOL AMENDMENT: LEAF MULD WITH 60-90% ORGANIC CONTENT BY WEIGHT. SHREDED LEAF COMPOST, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
- C. SOL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHALL BE FREE OF FIBER, DRUMS, AND FUEL OIL DEBRIS, INCLUDING STONES AND TRASH.
6. **AMENDMENTS FOR RACK FILL IN TREE AND SHRUB PITS:**
- A. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED TO INCREASE pH LEVELS TO 7.0 TO 7.5.
- B. BRING PH LEVELS TO 2.5 TO MIN. OF 88% FOR NON-CERACIOUS PLANTS
- C. INCREASE PH TO 7.0 TO 7.5 FOR CERACIOUS PLANTS

6. TERRA-SORB BY PLANT HEALTH CARE 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS FOR SOLUBLE AND NON-SOLUBLE FORMULATIONS)
7. MYCOR-RIZO BY PLANT HEALTH CARE 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE TOPFILLED WITH BOTTOM LAYER OF SAND. IF AREAS ARE NOT PAVED OR GRAVEL, TOPSOIL AND PLANTING SOILS SHALL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
5. CLEAN SOIL FILL IN LANDSCAPE AREAS:
- PLANTING CONTRACTOR TO EXAMINE ALL EXISTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF NOT MORE THAN 2% AND A PH BETWEEN 5 - 7.
6. SOIL PLACEMENT:
- CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, AND THREE INCHES (3") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
7. SCARCITY AND/OR TOP COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES, THOROUGHLY MIX WITH EXISTING ELEMENTAL SILLUR OR, AT LEAST MOSS OR COPPER SULFATE MAY NOT BE USED. IF THE DEPTHS INDICATED ABOVE PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND TAMPED DOWN BEFORE PLANTING. PLANTING SOILS SHALL BE PLACED IN FROZEN OR MUDDY CONDITION.
8. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT OF PLANTING CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
9. SOIL CONDITIONING:
- A. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. EXISTING ELEMENTAL SILLUR OR, AT LEAST MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL, WILL ONLY BE USED PENDING RESULTS OF A SOIL ANALYSIS. PROCEED WITH SOIL CONDITIONING ONLY AFTER ANALYSIS HAS BEEN COMPLETED. HAVE AT LEAST 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM PASSING 100 MESH SIEVE.
- B. MIXING MATERIALS EXPOSED FROM EXCAVATION, AND CULTIVATION SHALL BE DEPOSED OF AT THE

- CONTRACTOR'S EXPENSE.
- SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**
- a. THOROUGHLY MIX ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLAINLY SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PESTS WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
- b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE GRAVEL IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
- c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- ## SEEDING NOTES
- ### LAWN AREAS
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
 3. SCD SEED MIX #14 SEEDING RATE AT 305 POUNDS PER ACRE:
 - 10% DEEPLUE KENTUCKY BLUEGRASS
 - 40% DAKOTA TALL FESCUE
 - 40% TALL TALL FESCUE
 - 10% FRONTIER PERENNIAL RYEGRASS
 4. SEEDING DATES FOR THIS MIXTURE SHALL BE BETWEEN APRIL 1ST TO JUNE 1ST OR SEPTEMBER 1ST TO NOVEMBER 1ST.
 5. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEED AREAS ON A STAND OF COURSE ESTABLISHED AND FOUNG ACCEPTABLE TO THE OWNER. (SEE LA

- COSMOS BIPINNATUS
CENTAUREA CYANUS, TALL MIXED
ECHINACEA PURPUREA
EUPHORBIA HYDRANGEA
EUPHORBIA GRANDIFLORA RUBRUM
COREOPSIS LANCEOLATA
DELPHINIUM ADONIS
RUDEBECKIA HIRTA
LUPINUS PERENNIS
GALLIOLA OFFICINALIS
LAVATERA TRIMESTRIS
LINUM PERENNIS
TRIFOLIUM INCARNATUM, VARIETY NOT STATED
ESCHOLZIA CALIFORNICA
COSMOS HELIOPSIS, PA ECOTYPE
CHRYSEYTHANUM MAXIMUM
ANTHRANTHUS LOWI
RATIBIDA COLUMARIENSIS
ACHEILLE MILLEFOLIUM
LIATRIS SPICATA
PYNETHANETHUM TENUIFOLIUM
LOBELIA LAMINA
PENSTEMON DIGITALIS
TRACESCANTIA OHENSIS, PA ECOTYPE
MONARDELLA TETRALEA, FORT INDIANTOWN PA-PA ECOTYPE
PAUPER PHEAS, RED
BAPTISIA ALBA
ASTER LAEVIS, NY ECOTYPE
ASTER DELBOGUNDUS, PA ECOTYPE
BAPTISIA ALBA, SOUTHERN NY ECOTYPE
CLARKIA NEGLECTA
SILENE ARIFERA
SOLIDAGO CLEMENS, PA ECOTYPE
- COSMOS
BACHELOR'S BUTTON TALL MIXED/CORNFLOWER
PURPLE CONFLOWER
SCARLET FLAX
LANCEAFLOR COREOPSIS
ROCKET LARKSPUR
BLACKWEED SUSAN
PERENNIAL BLUE LUPINE, COMMON COMMERCIAL
CALENDULA
TREE MALLOW
PERENNIAL BLUE FLAX
CRIMSON CLOVER, VARIETY NOT STATED
CALIFORNIA ORANGE POPPY
RED HOT SUNDOWNER, PA ECOTYPE
SHASTA DAISY
WALLOWER
RED PRARIE CONFLOWER (MEXICAN RED SPAT)
COMMON YARROW
MARSH BLAZING STAR
NARROWLEAF MOUNTAINMINT
SWEET ALYSIUM
TALL WHITE BEARDTONGUE
OHIO SPIDERWORT, NY ECOTYPE
RED BERGAMO, FORT INDIANTOWN PA-PA ECOTYPE
RED CORN POPPY, RED
BUTTERFLY MILKWORT
SMOOTH BLUE ASTER, NY ECOTYPE
AROMATIC ASTER, PA ECOTYPE
BLUE FALSE INDIGO, SOUTHERN NY ECOTYPE
CLARKIA
CATOLOGY
GRAY GOLDENROD, PA ECOTYPE

- NOTES:
1. APPLY SEED AT THE RATES RECOMMENDED BY THE SEED SUPPLIER.
 2. SEED WITH NURSE CROP(S) SPECIES AS RECOMMENDED BY THE SEED SUPPLIER FOR THE INTENDED U.S. USDA ZONE, AND SEEDING DATES.

PLAN

-
- Diagram illustrating the installation of plants in a sidewalk planter.
- Top-down view:** Shows a grid of circles representing plants. A callout indicates that plants are installed alternately.
- Cross-section view:** Shows the planter area adjacent to a sidewalk. The planter area is 6" wide. The distance between the sidewalk and the planter edge is labeled "VARIES". The planter area is filled with mulch, and the mulch layer is 2" thick. A note indicates that the mulch layer should be placed down before planting.
- Labels and Notes:**
- TYPICAL O.C. PLANTING SPACING PLANTS TO BE INSTALLED ALTERNATELY.
 - PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND GENTLY COMB OUT ROOTS
 - PLANTING SOIL AS SPECIFIED
 - 2" MULCH LAYER. MULCH TO BE PLACED DOWN BEFORE PLANTING
 - 6"
 - VARIES
 - SIDEWALK

-

- NOTES:
1. PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
 2. REFER TO PLAN AND SCHEDULE FOR SPACING OF INDIVIDUAL PLANTS.
 3. REMOVE ALL WIRE, PLASTIC TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.
- UNDISTURBED SUBGRADE
- 3. GROUND COVER/ PERENNIAL PLANTING**

- GROUND COVER PERENNIAL/REPERENNIAL

- 
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-
- Diagram illustrating the planting instructions for a tree, showing the central leader, mulch layer, root ball, and soil level.
- CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED (TOP).
 - 3" MULCH LAYER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
 - SET TOP OF ROOTBALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS.
 - 4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.
 - PLANTING SOIL AS SPECIFIED
 - REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL

A horizontal scale bar divided into 10 equal segments. The first five segments from the left are shaded gray, representing 50% of the total length. The remaining five segments are white. Arrows point from the text '50%' to the boundary between the fifth and sixth segments, and from the text '100%' to the right end of the bar.

PLANTING HOLE.
TAMP SOIL AROUND ROOT BALL BASE

- 2.5 X BALL DIA. MIN.
- FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
- 4. EVERGREEN TREE PLANTING**

-
- Diagram illustrating the components of a tree cross-section:
- MULCH/ TOPSOIL BACKFILL
 - ROOTBALL AND TRUNK
 - TREE STAKE AND GUY
 - RUBBER HOSE AT BARK

-
- (1) TP, U, S
- INCREASE VISIBILITY, AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY
- PLANTING SOIL AS SPECIFIED
- TURNBUCKLE (3), GALVANIZED OR DFP-PAINTED
- IF MULCH LAYER, DO NOT PLACE MULCH IN CONTACT WITH TRUNK
- SET TOP OF ROOTBALL FLUSH TO GRADE OR 25-30mm (1-2") HIGHER IN SLOPEY DRAINING SOILS
- CORNER OF ROOT SYSTEM TO BE AT LINE OF ORIGINAL GRADE
- SLOW DRAIN
- FLUSH

-
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL NON-BiodeGRADABLE MATERIAL.
- 100mm (4") HIGH EARTH SAUVEUR BROWN EDGE OF ROOT BALL
- WOOD STAKES (3)
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, PUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200mm (8") INTO PLANTING HOLE.
- TAMP SOIL AROUND ROOT BALL BASE FIRSTLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
- 2.5 X RAIL DIA MIN

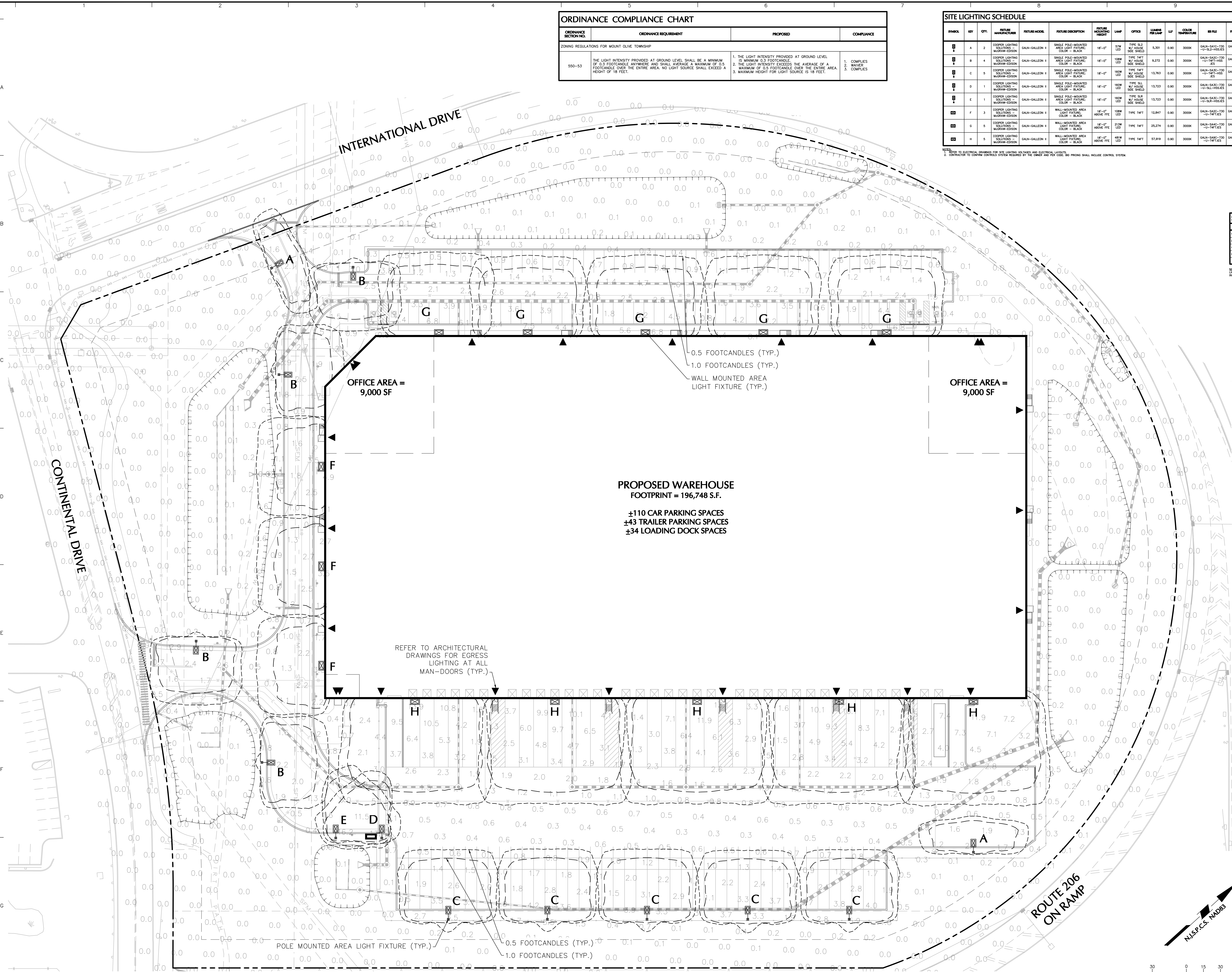
- NOTE:
TREE STAKING SHOULD BE CONSIDERED FOR TREES PLANTED ON SLOPES GREATER THAN 3:1 AND/OR ON WINDY SITES. STAKES SHOULD BE PLACED AT THE BASE OF THE TREE, 2-3' FROM THE TRUNK, OR PRESSURE TREATED STAKES TALL ENOUGH TO REACH ABOVE THE FIRST SET OF BRANCHES (3 PER TREE). STAKES SHALL BE PLACED ON EITHER SIDE OF THE TREE PERPENDICULAR TO THE SLOPE AND ARE TO BE DRIVEN AT LEAST 12 INCHES INTO THE GROUND OUTSIDE OF THE TREE CANOPY. STAKES SHOULD BE PLACED AT THE BASE OF THE TREE TO TIE USING 1/2" GALVANIZED STEEL OR LOOSELY LOOPING THE TIES AROUND TREE ABOVE THE FIRST SET OF BRANCHES AND ALLOWING ENOUGH SLACK FOR TREE MOVEMENT IN THE WIND, AND NAIL TO STAKES. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SIZES, TYPES, OR APPROVED NAIL, AT GEMPLERS 1-800-332-6744 OR GEMPLERS.COM. ALL STAKING MATERIALS SHALL BE REMOVED FOLLOWING THE PLANT GUARANTEE PERIOD.

5 EVERGREEN TREE PLANTING ON SLOPE > 3:1

- | PLANT SCHEDULE | | |
|----------------|----------------|-------------|
| PLANT ID | BOTANICAL NAME | COMMON NAME |

Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com	
NJ CERTIFICATE OF AUTHORIZATION NO. 24G42796460	
Project	
2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE	
MORRIS COUNTY	NEW JERSEY
Drawing Title	
LANDSCAPE NOTE & DETAILS	
Project No.	Drawing No.
1000000203	

11/18/2022




ORDINANCE COMPLIANCE CHART			
ORDINANCE SECTION NO.	ORDINANCE REQUIREMENT	PROPOSED	COMPLIANCE
ZONING REGULATIONS FOR MOUNT OLIVE TOWNSHIP			
550-53	THE LIGHT INTENSITY PROVIDED AT GROUND LEVEL SHALL BE A MINIMUM OF 0.5 FOOTCANDLES ANYWHERE AND SHALL AVERAGE A MAXIMUM OF 0.5 FOOTCANDLES OVER THE ENTIRE AREA. NO LIGHT SOURCE SHALL EXCEED A HEIGHT OF 18 FEET.	1. THE LIGHT INTENSITY PROVIDED AT GROUND LEVEL IS MINIMUM 0.5 FOOTCANDLES. 2. THE LIGHT INTENSITY EXCEEDS THE AVERAGE OF A MAXIMUM OF 0.5 FOOTCANDLES OVER THE ENTIRE AREA. 3. MAXIMUM HEIGHT FOR LIGHT SOURCE IS 18 FEET.	1. COMPLIES 2. WAIVER 3. COMPLIES

SITE LIGHTING SCHEDULE													
SYMBOL	KEY	QTY	FIXTURE MANUFACTURE	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS PER LAMP	LF	COLOR TEMPERATURE	IES FILE	FIXTURE CATALOGUE NO.
[Symbol]	A	2	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0"	47W LED	TYPE SLL W/ HOUSE SIDE SHIELD	5,301	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-SL2-HSS-IES	GAIN-SAL-C-730-VOLTS -U-SL2-HSS
[Symbol]	B	4	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0"	100W LED	TYPE T4FT W/ HOUSE SIDE SHIELD	8,272	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-T4FT-HSS-IES	GAIN-SAL-C-730-VOLTS -U-T4FT-HSS
[Symbol]	C	5	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0"	160W LED	TYPE T4FT W/ HOUSE SIDE SHIELD	13,763	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-T4FT-HSS-IES	GAIN-SAL-C-730-VOLTS -U-T4FT-HSS
[Symbol]	D	1	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0"	160W LED	TYPE SLL W/ HOUSE SIDE SHIELD	13,763	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-SL1-HSS-IES	GAIN-SAL-C-730-VOLTS -U-SL1-HSS
[Symbol]	E	1	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0"	160W LED	TYPE SLL W/ HOUSE SIDE SHIELD	13,763	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-SL1-HSS-IES	GAIN-SAL-C-730-VOLTS -U-SL1-HSS
[Symbol]	F	3	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	WALL-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0" ABOVE FEE	100W LED	TYPE T4FT	12,847	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-T4FT-WM-BK	N/A
[Symbol]	G	5	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	WALL-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	21'3" ABOVE FEE	213W LED	TYPE T4FT	25,274	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-T4FT-WM-BK	N/A
[Symbol]	H	5	COOPER LIGHTING SOLUTIONS - MUGRAM-EDISON	GAIN-GALLEON II	WALL-MOUNTED AREA LIGHT FIXTURE: COLOR = BLACK	18'-0" ABOVE FEE	48W LED	TYPE T4FT	57,819	0.90	3000K	GAIN-SAL-C-730-VOLTS -U-T4FT-WM-BK	N/A

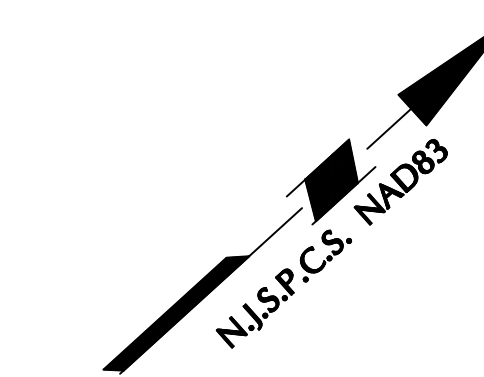
NOTE: REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES AND ELECTRICAL LOADS.
2. CONTRACTOR TO CONFORM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. NO PHOSOR SHALL INCLUDE CONTROL SYSTEM.

STATISTICS					
DESCRIPTION	AVG.	MAX.	MIN.	MAX/AVG	AVG/AVG
CAR PARKING	2.8 FC	7.4 FC	0.5 FC	14.8:1	4.8:1
DRIVE	1.2 FC	3.8 FC	0.3 FC	11.3:1	4.8:1
GUARD HOUSE	10.3 FC	16.2 FC	5.0 FC	3.2:1	2.1:1
LOADING	4.8 FC	13.8 FC	1.2 FC	11.6:1	4.8:1
TRAILER STORAGE	1.8 FC	4.2 FC	0.5 FC	8.4:1	3.8:1

NOTE: LIGHT FOOTCANDLES AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

Date	Description	No.
Revisions		
		
Signature: MICHAEL SZURA N.J. LICENSED LANDSCAPE ARCHITECT LICENSE NO. A500815		
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 240A27996900		
Project: 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title: LIGHTING PLAN		
Project No. 100980202		Drawing No. LL101
Date 11/18/2022		Sheet 17 of 22
Drawn By GR		
Checked By DB		

NOTE: REFER TO LL501 FOR LIGHTING NOTES AND DETAILS.



[illegible]

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS EFFICIENTLY AND SAFELY INSTALLED AND MAINTAINED.
6. REQUIRE ELECTRIFICATION PLAN FOR PROVIDING Adequate POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, POSTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHING AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE WITH THE CITY OF CHICAGO TO OBTAIN EXISTING LIGHTING AND DRAINAGE WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND.

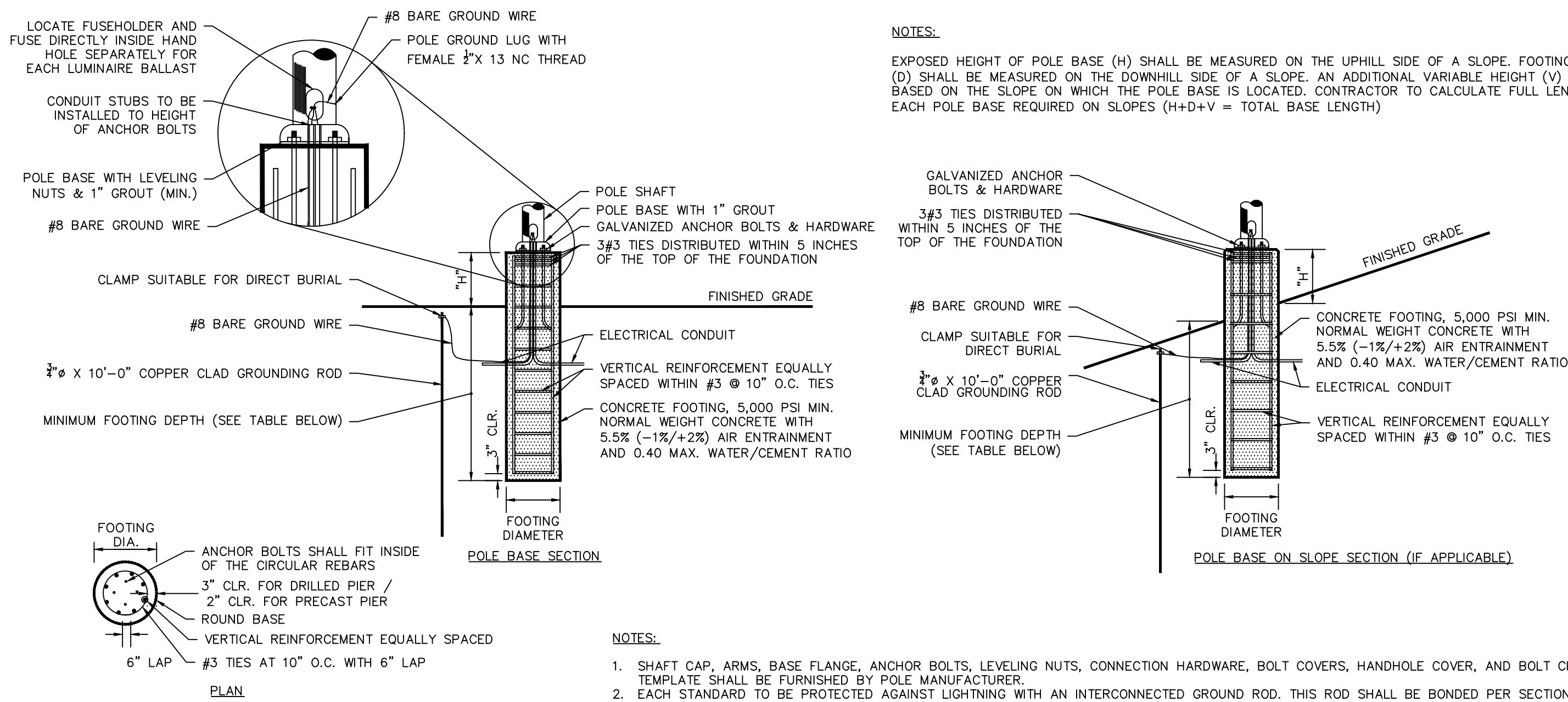
10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO THE FOUNDATION. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE WEIGHT OF THE LIGHTS, THE WEIGHT OF THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS.
11. THE CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES 25 FT. OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPERS.

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.

15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE DRAWING.

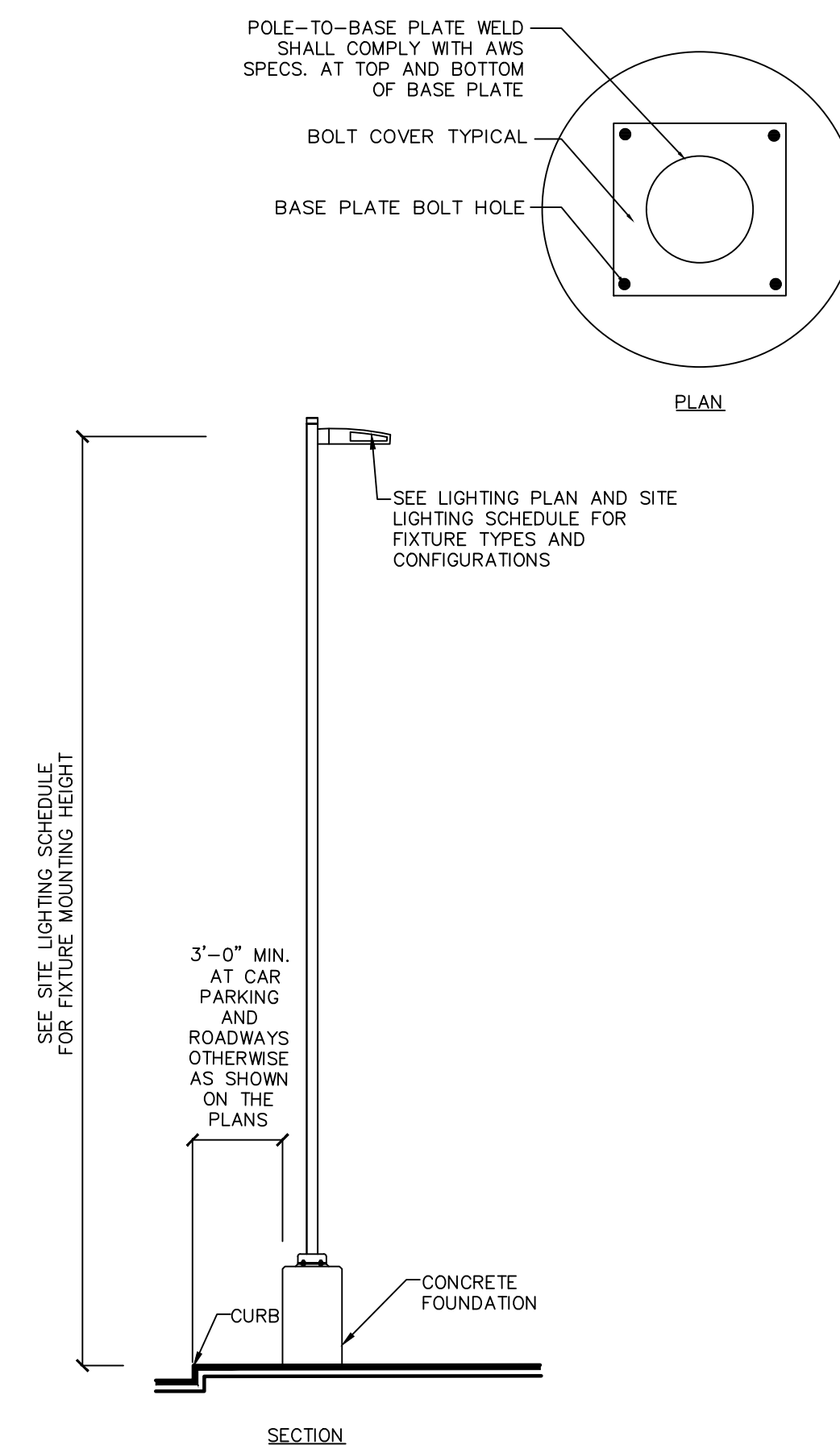
19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE THE OWNER, ARCHITECT, AND ENGINEER WITH THE OPPORTUNITY TO REVIEW AND ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
 - A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER, ARCHITECT, AND INSURANCE PROVIDER PRIOR TO THE BIDDING PROCESS. THE COST OF ANY SUBSTITUTIONS MUST BE ENTIRELY BORNE BY THE CONTRACTOR.
 - B. THE PREPARED DETAILED LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOCANDLE/CANDLE, THE SYSTEM'S PERFORMANCE.
 - C. THE CONTRACTOR SHALL PROVIDE AN INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, LIGHTING FOOT CANDLE, POINT FOOT CANDLE, LUMEN, LUMENS PER SQUARE FOOT, LUMENS PER FOOT, LUMENS PER LINEAR FOOT, UNIFORMITY RATIOS, SUMMARY, ISOXL PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY FIXTURE, LAMP, DISTRIBUTION, LAMP, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH, HOUSING DESCRIPTION, AND DIMENSIONS.
 - D. THE CONTRACTOR SHALL PROVIDE AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING USED. THESE ARE TO BE SUBMITTED WITH THE BIDDING PROCESS AND SHALL BE REVIEWED AND APPROVED ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - E. THE CONTRACTOR SHALL PROVIDE THE FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
 - F. A PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE, MOUNTED, THE COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.



MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT "H"	VERTICAL REINFORCEMENT
18'-0"	4'-6"	2'-0"	3'-0"	6#5 BARS

1. SHIRT CAP, ARMS, BASE PLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD SHALL BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 259-286, N.E.C.
3. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST-IN-PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5000 PSI AT 28-DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
4. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
5. POLE BASE IS CAST-IN-PLACE, POUR IN ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
6. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
7. CONTRACTOR TO COMPACT GROUNDING DESIGN WITH MEP.

THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.



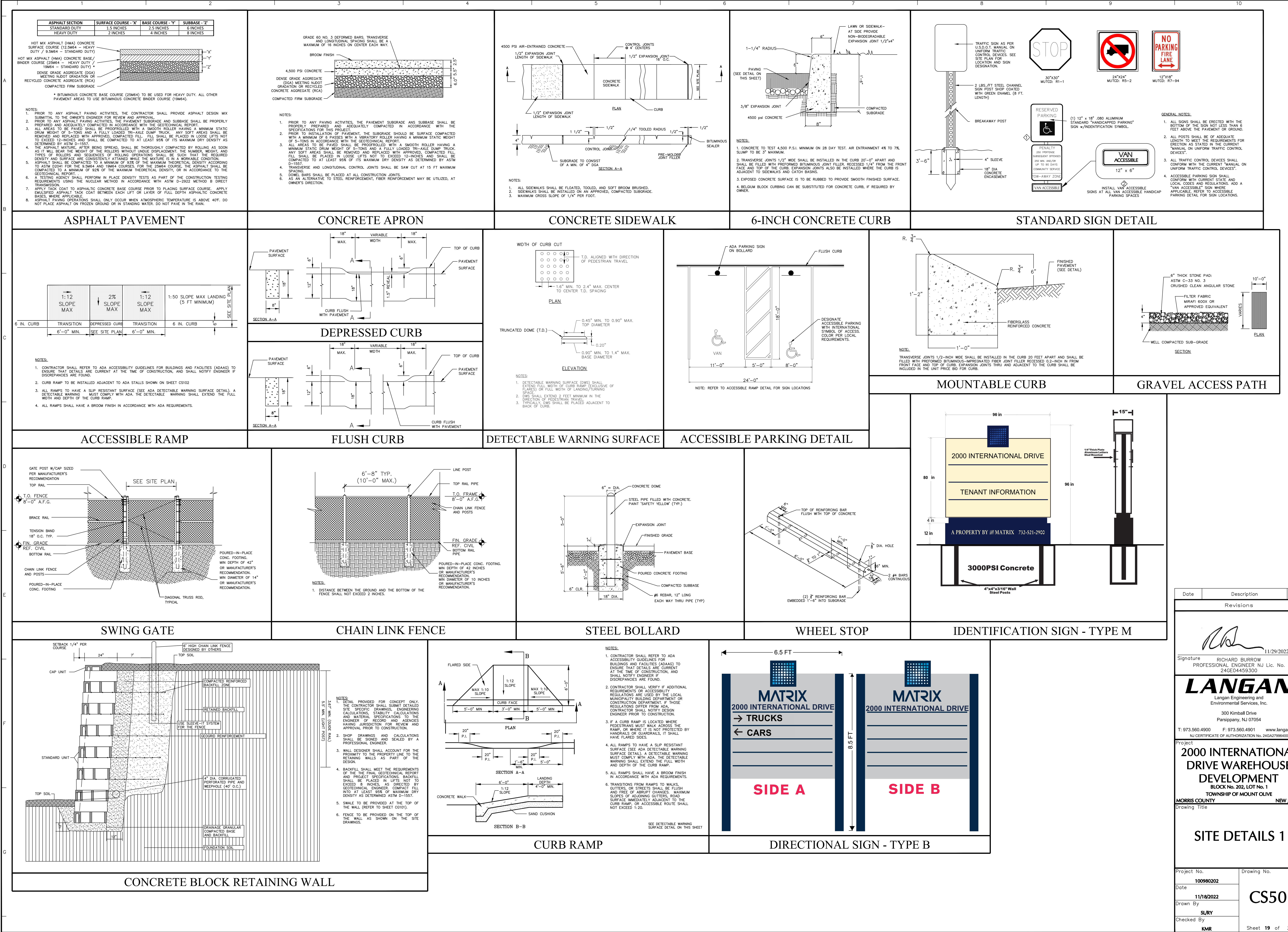
1. CURB LOCATION IS SHOWN FOR SCHEMATIC PURPOSE. LIGHT POLES SHALL BE LOCATED PER THE LIGHTING PLANS IF THERE IS A CONFLICT.

NTS

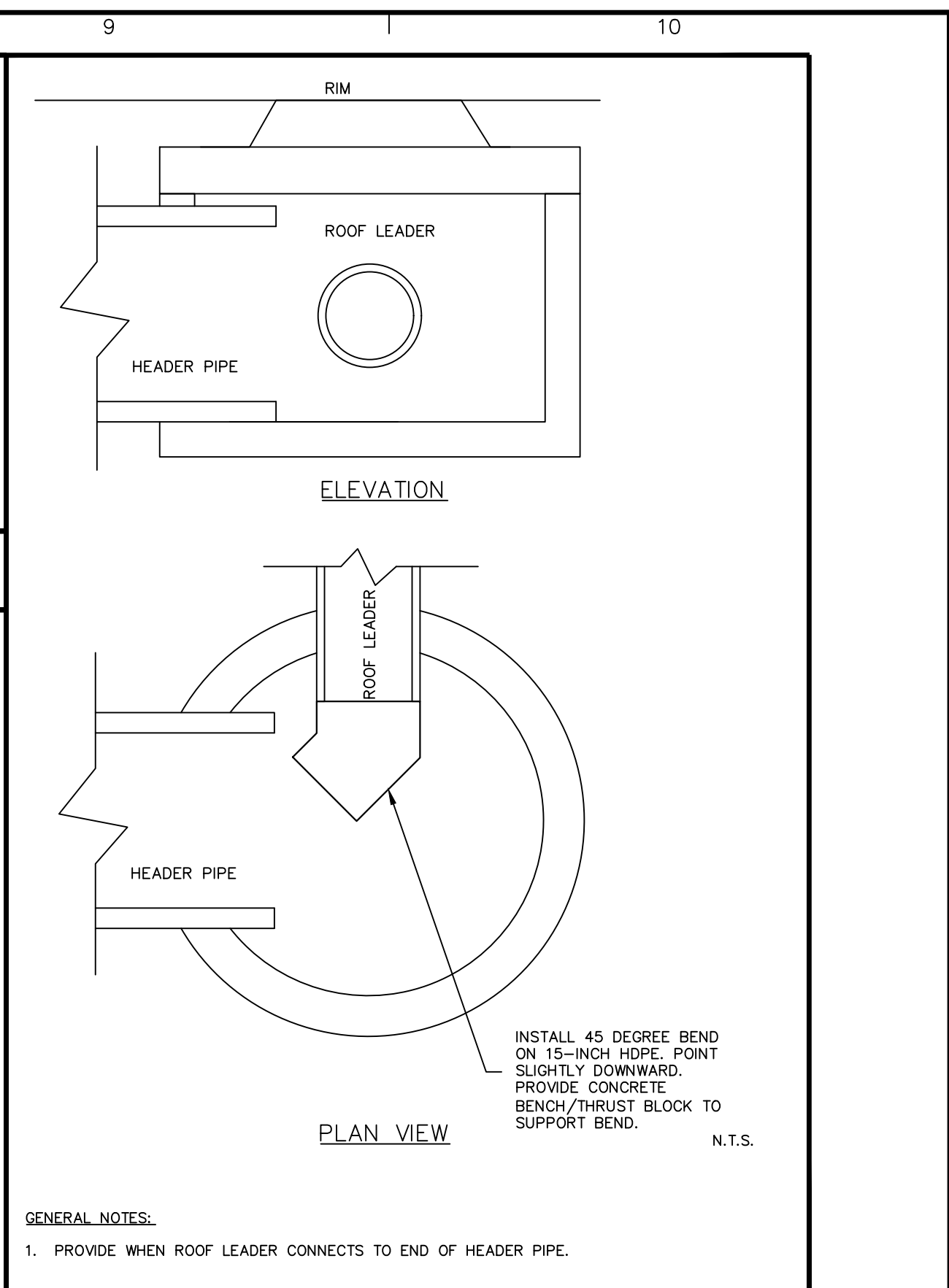
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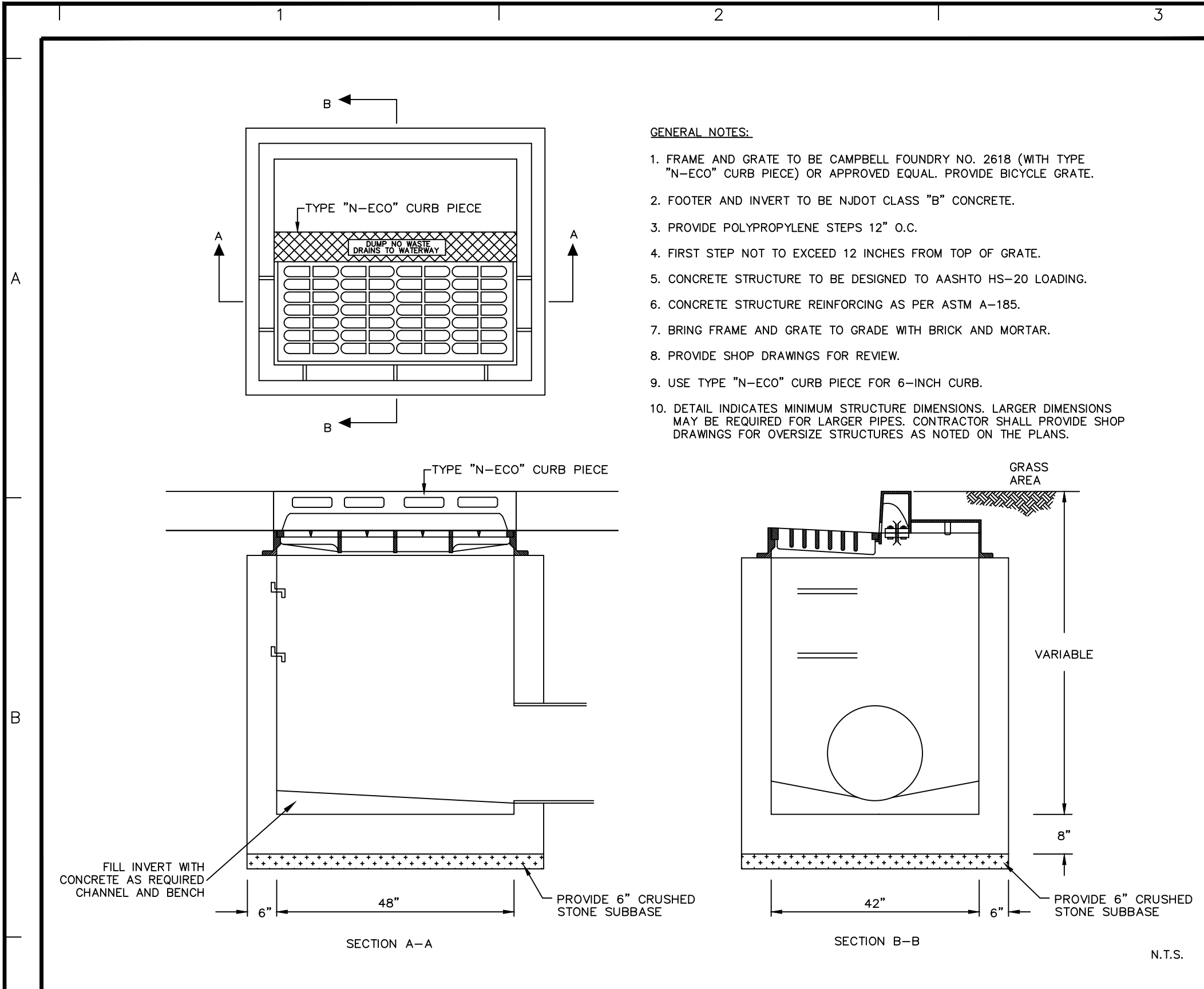
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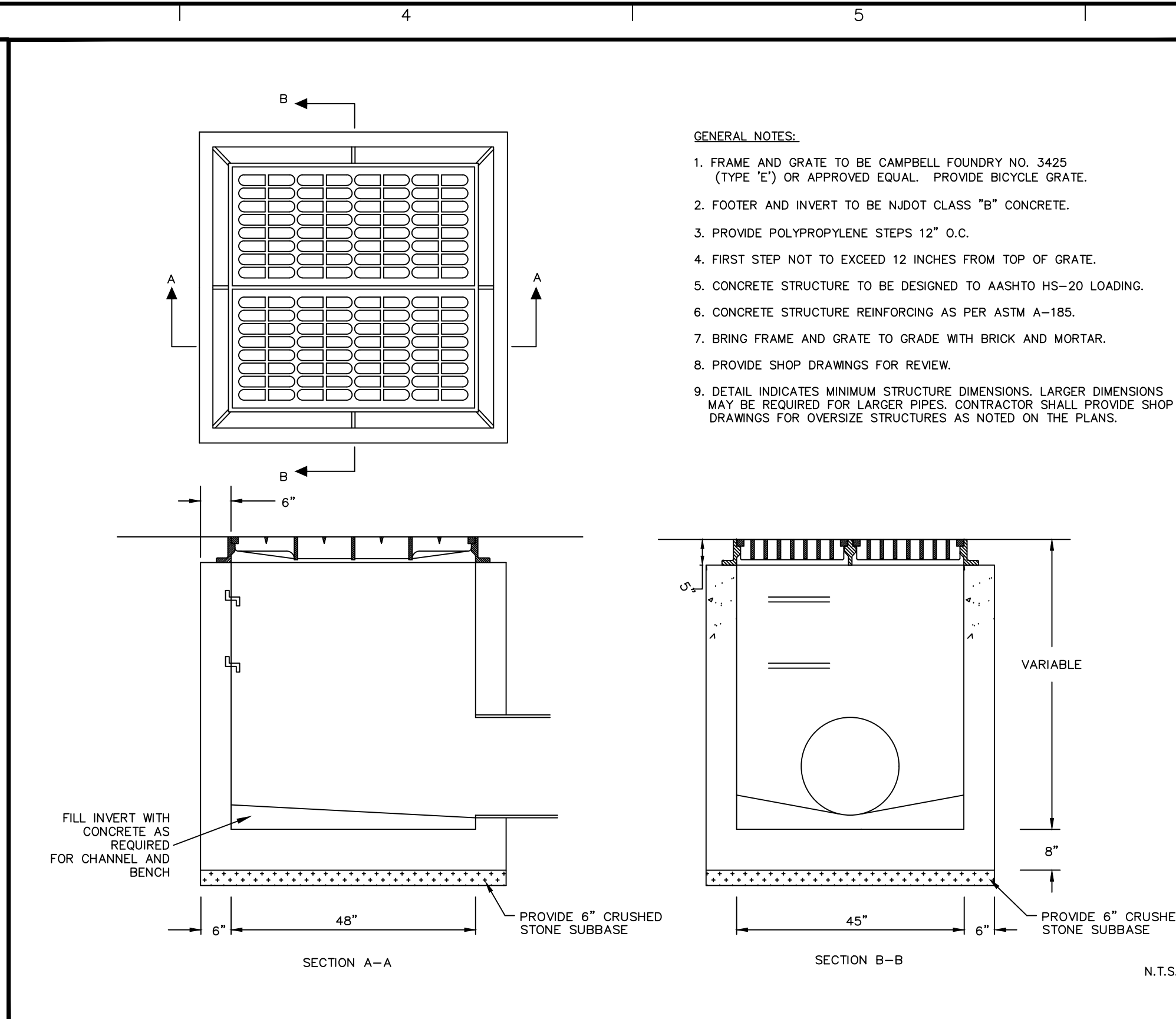
Date	Description	No.
Revisions		
Signature:  11/29/2022		
Richard Burrow PROFESSIONAL ENGINEER NJ Lic. No. 246E04459300		
LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054		
T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 246A2799600		
Project: 2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT BLOCK No. 202, LOT No. 1 TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY NEW JERSEY		
Drawing Title: SITE DETAILS 1		
Project No. 100980202	CS501	
Date 11/18/2022		
Drawn By SLRY		
Checked By KMR		
Sheet 19 of 22		Date: 11/29/2022 Time: 09:25 User: slyons Style Table: Langan.stb Layout: CS501 Document Code: 100980202-0302-CS501-0101



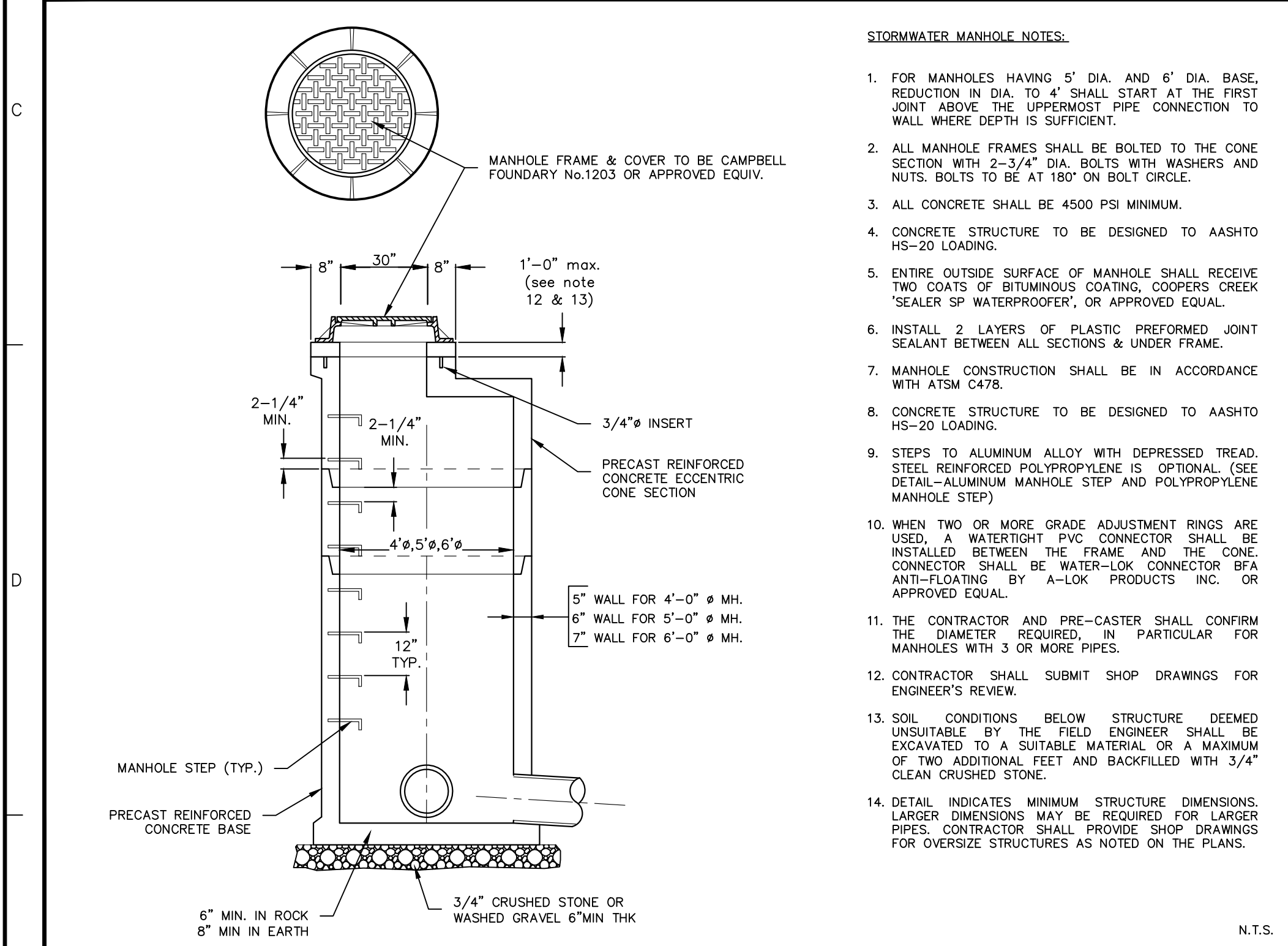
SANITARY CLEANOUT



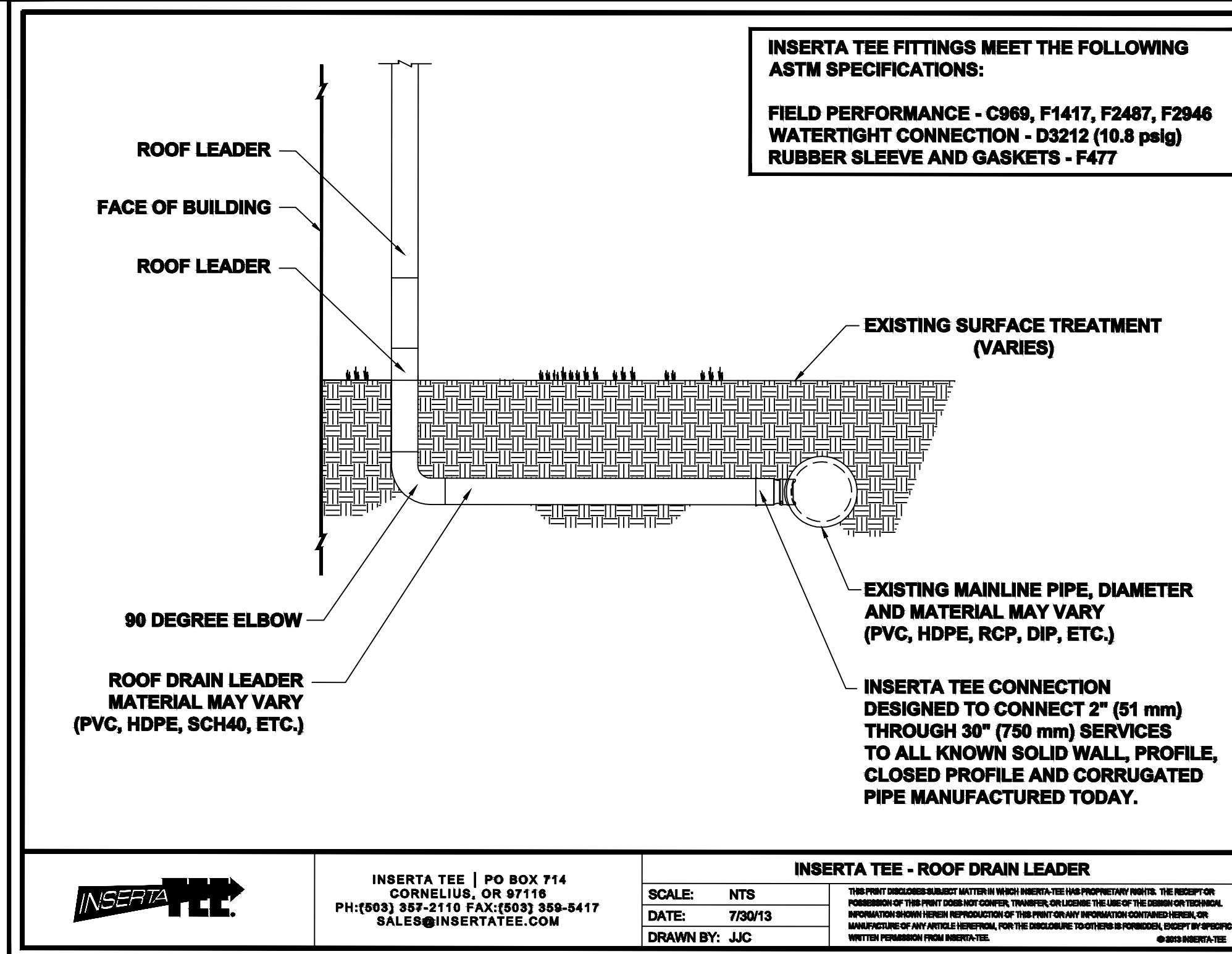
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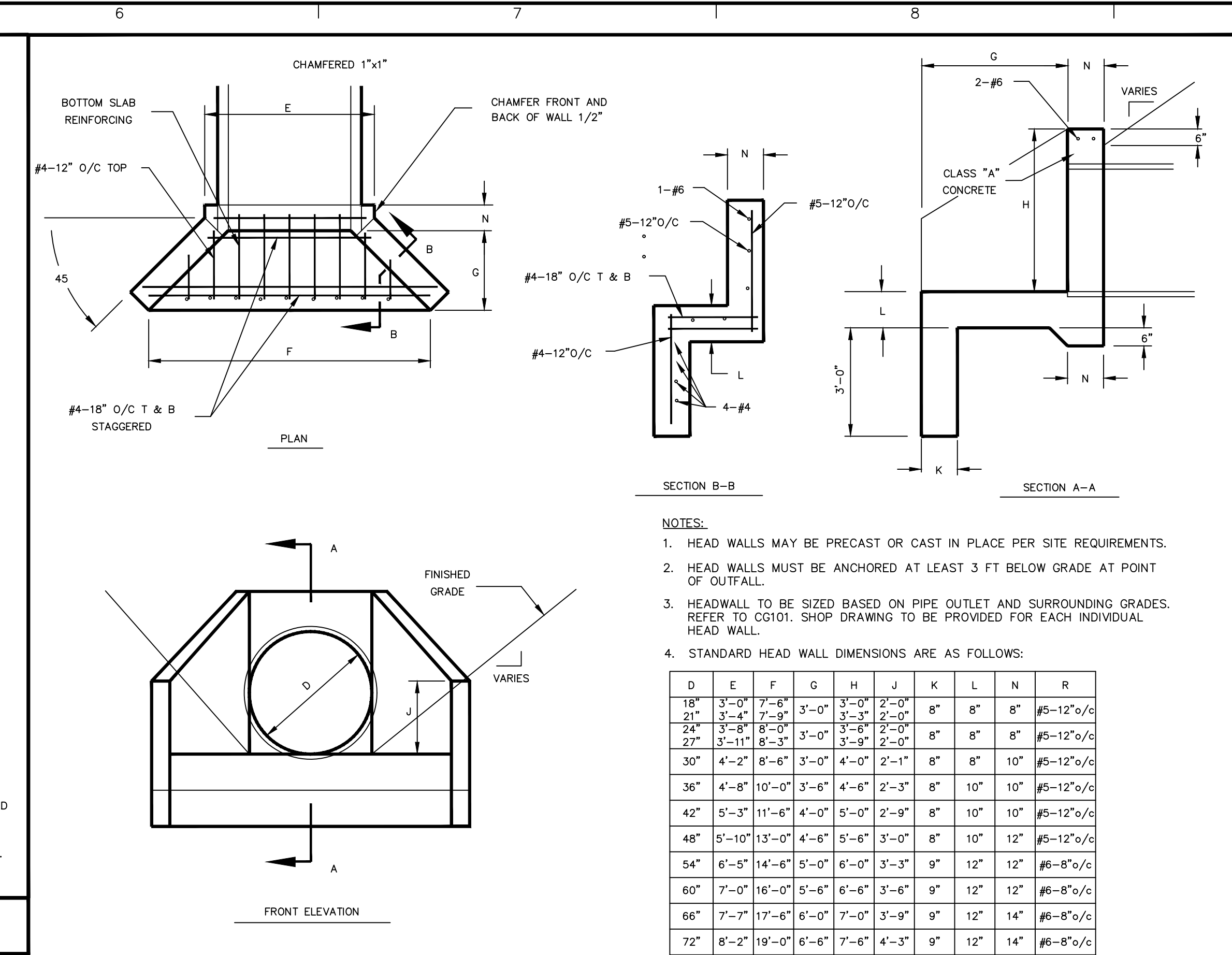
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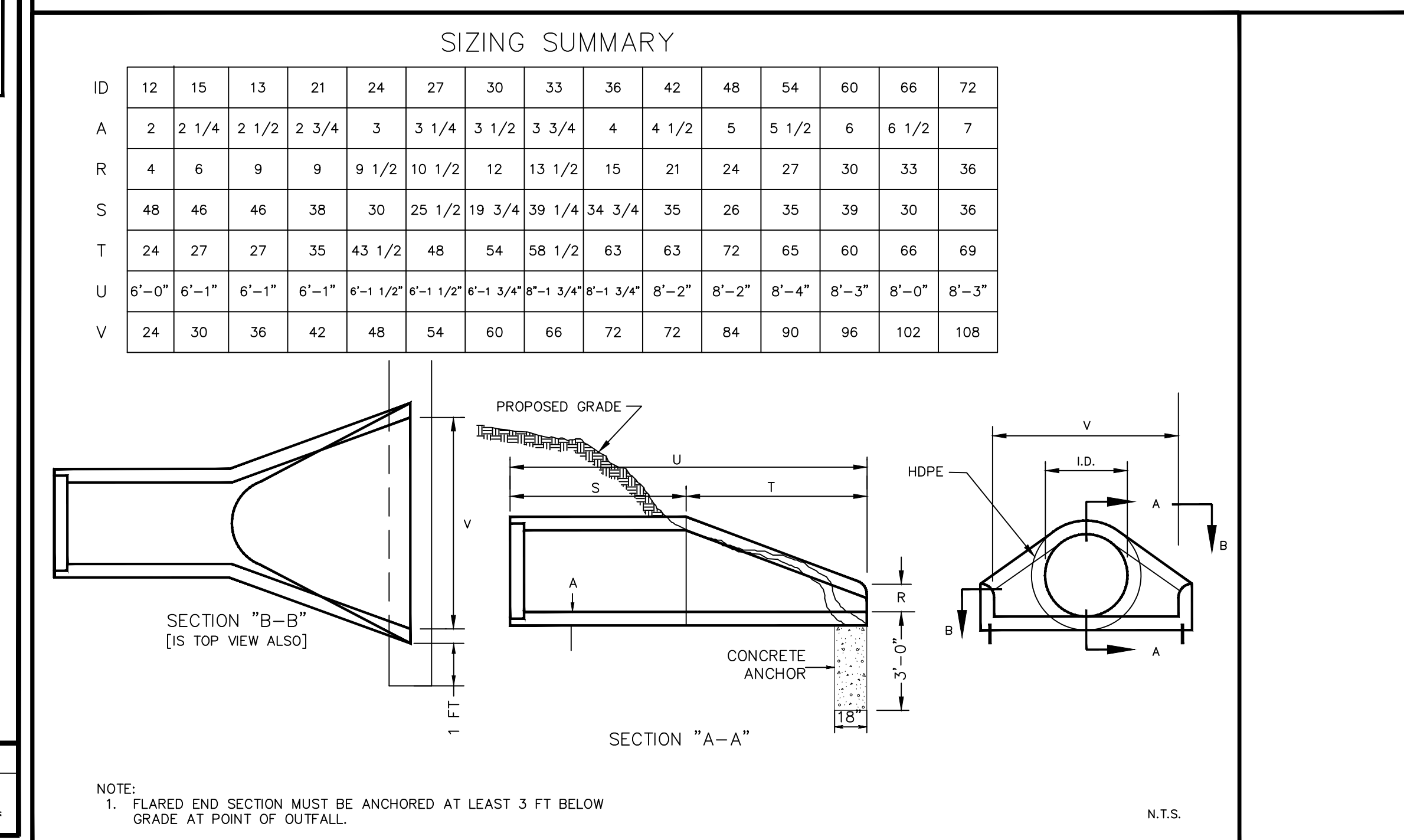
STORM MANHOLE



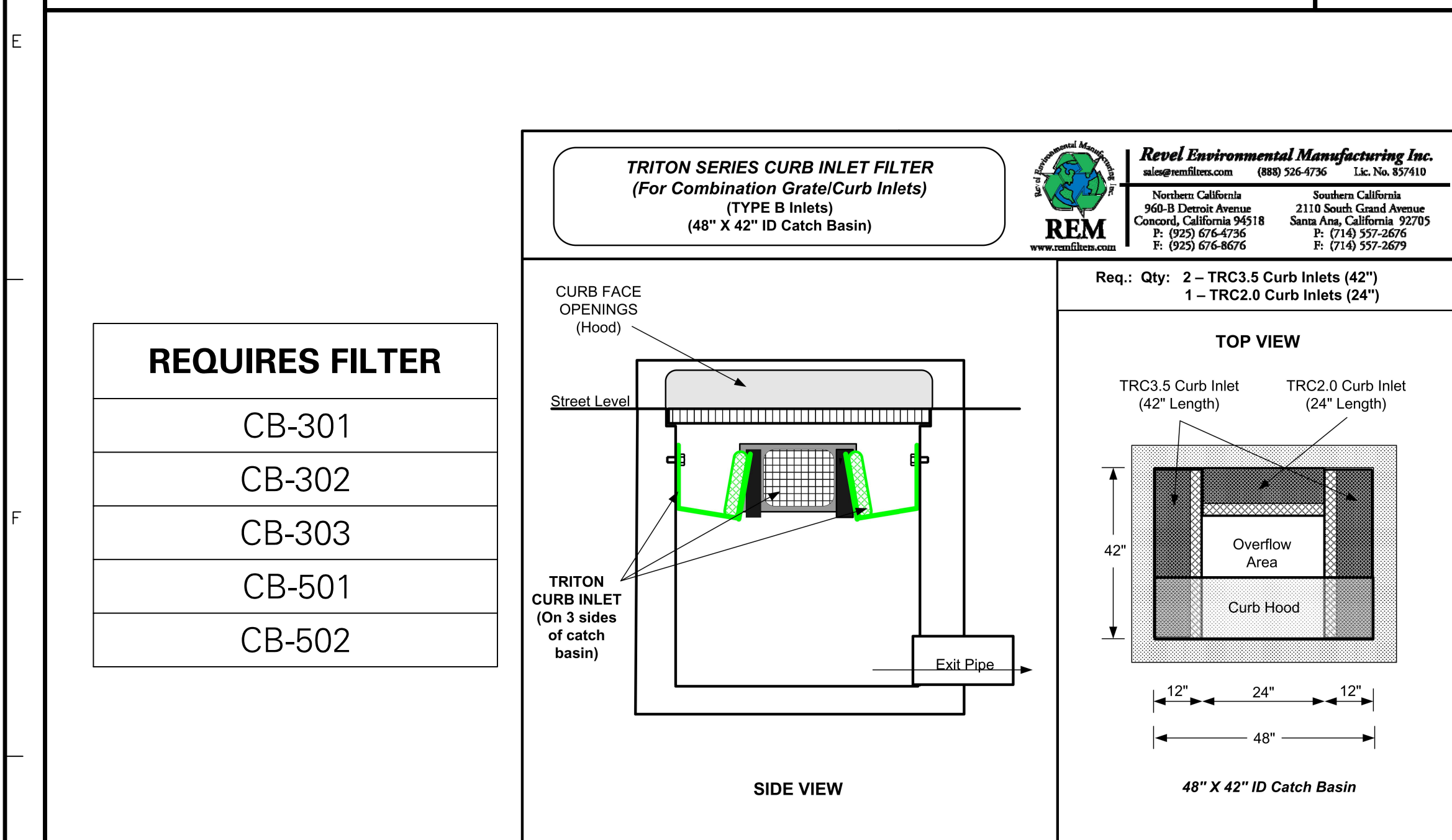
INSERT TEE CONNECTION



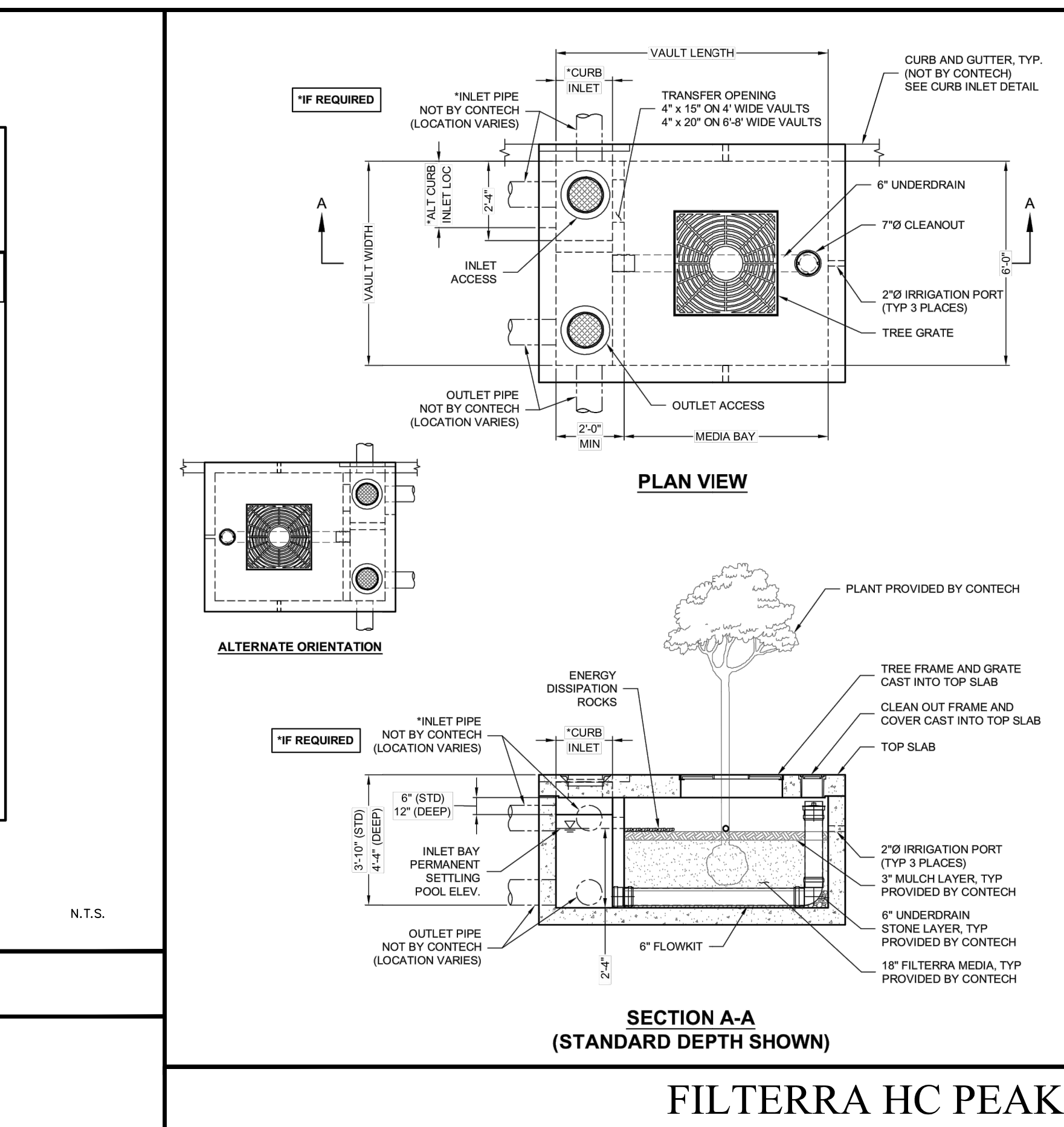
HEAD WALL



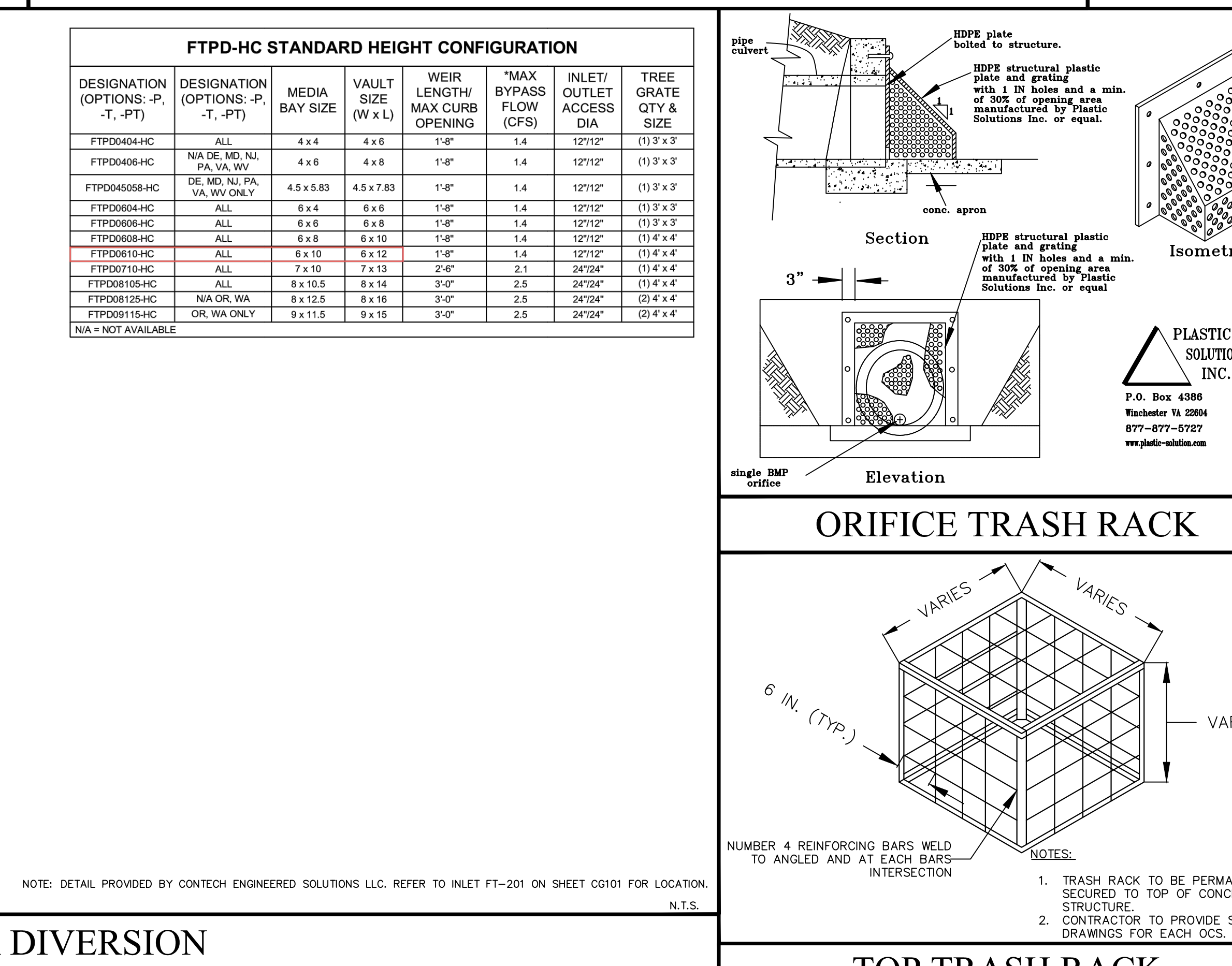
CONCRETE FLARED END SECTION



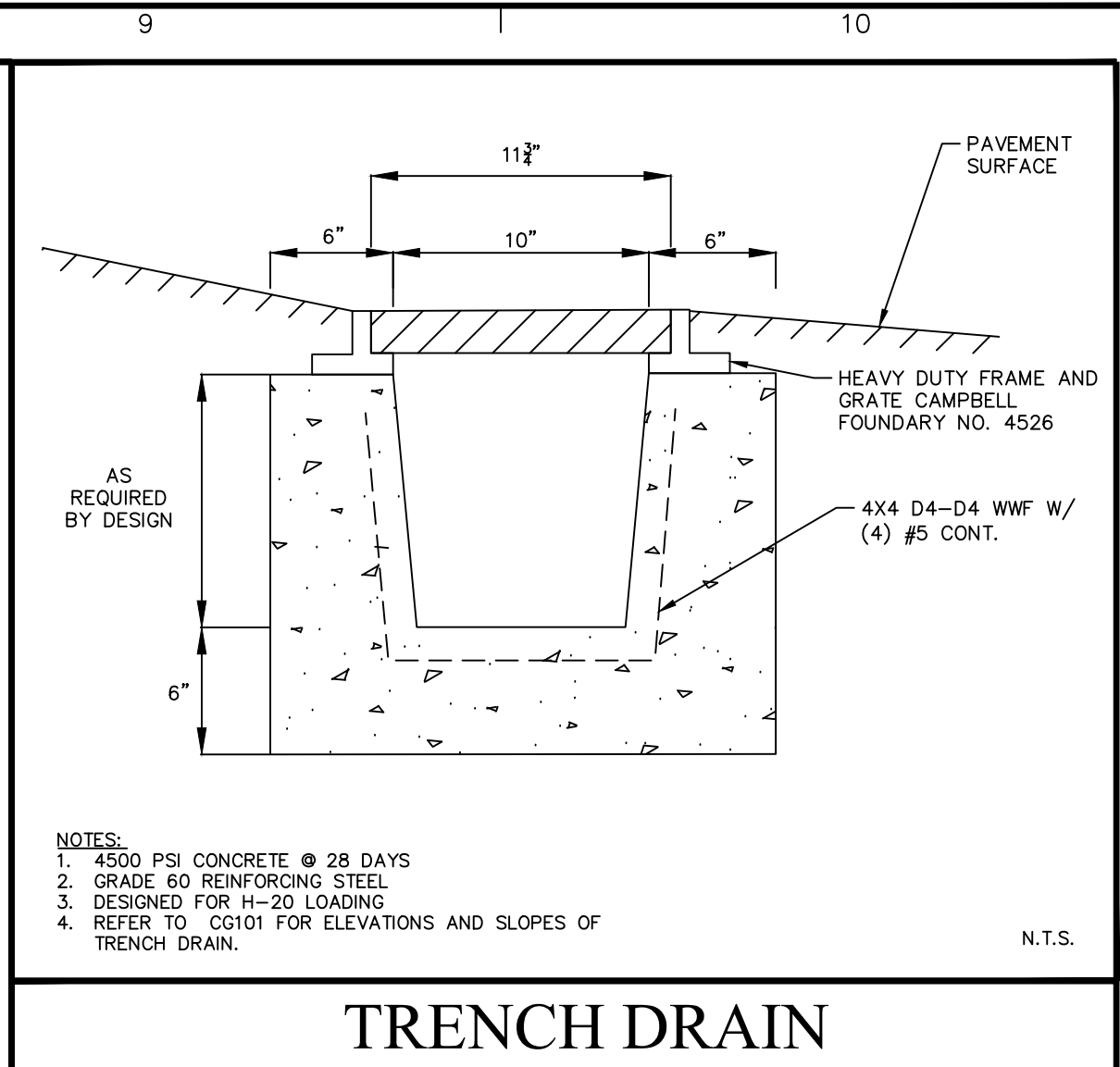
TRITON SERIES CURB INLET FILTER



FILTERERRA HC PEAK DIVERSION

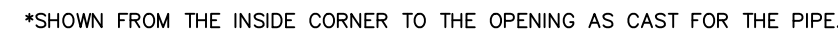


TOP TRASH RACK

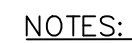


TRENCH DRAIN

Date	Description	No.
Revisions		
<div> <div>Signature</div> <div>RICHARD BURROW</div> <div>PROFESSIONAL ENGINEER NJ Lic. No. 24GE04459300</div> </div>		
<div> <div>Project</div> <div>2000 INTERNATIONAL DRIVE WAREHOUSE DEVELOPMENT</div> <div>BLOCK No. 202, LOT No. 1</div> <div>TOWNSHIP OF MOUNT OLIVE</div> <div>MORRIS COUNTY</div> <div>Drawing Title</div> </div>		
<div> <div>Project No.</div> <div>100980202</div> </div>		
<div> <div>Date</div> <div>11/18/2022</div> </div>		
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<div> <div>Checked By</div> <div>KMR</div> </div>		
<div> <div>Sheet</div> <div>21 of 22</div> </div>		



OCS DETAIL



- ## BIORETENTION BASIN CROSS SECTION



- ## INFILTRATION BASIN CROSS SECTION

Date: 11/29/2022 Time: 09:27 User: slyons Style Table: Landon.stb Layout: CS504 Document Code: 100980202-0302-CS501-010