

PRELIMINARY & FINAL SITE PLAN

PREPARED FOR

JOHN JOHNSON CHRYSLER DODGE JEEP & RAM

BLOCK 8400, LOT 1 413 ROUTE 46

MOUNT OLIVE TOWNSHIP, MORRIS COUNTY, NEW JERSEY

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PROPERTY OWNERS WITHIN 200 FEET OF BLOCK 8400, LOT 01

BLOCK	LOT	PROPERTY ADDRESS	PROPERTY OWNER
8100	37	401 ROUTE 46	G & J OF NEW JERSEY INC.
8100	38	399 ROUTE 46	PARKADE PARTNERS LP
8300	13	500 ROUTE 46	HILDEBRANT, ROY M. ETALS
8301	18	398 ROUTE 46	ROADRANGER HOLDINGS INC
8400	2	4 NAUGHRIGHT RD	HUSSEY REAL ESTATE HOLDINGS CO LIMIT
8400	3	6 NAUGHRIGHT RD	MOUNTAINTOP ASSEMBLY OF GOD CHRUCH
8400	7	417 ROUTE 46	ALI, MOHAMMAD

APPLICABLE UTILITY COMPANIES

BRUCE D. SMITH
HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY
P.O. BOX 450
HACKETTSTOWN, NJ 07840

R. ALBANESE
NEW JERSEY NATURAL GAS
1415 WYCKOFF ROAD
WALL, NJ 07719

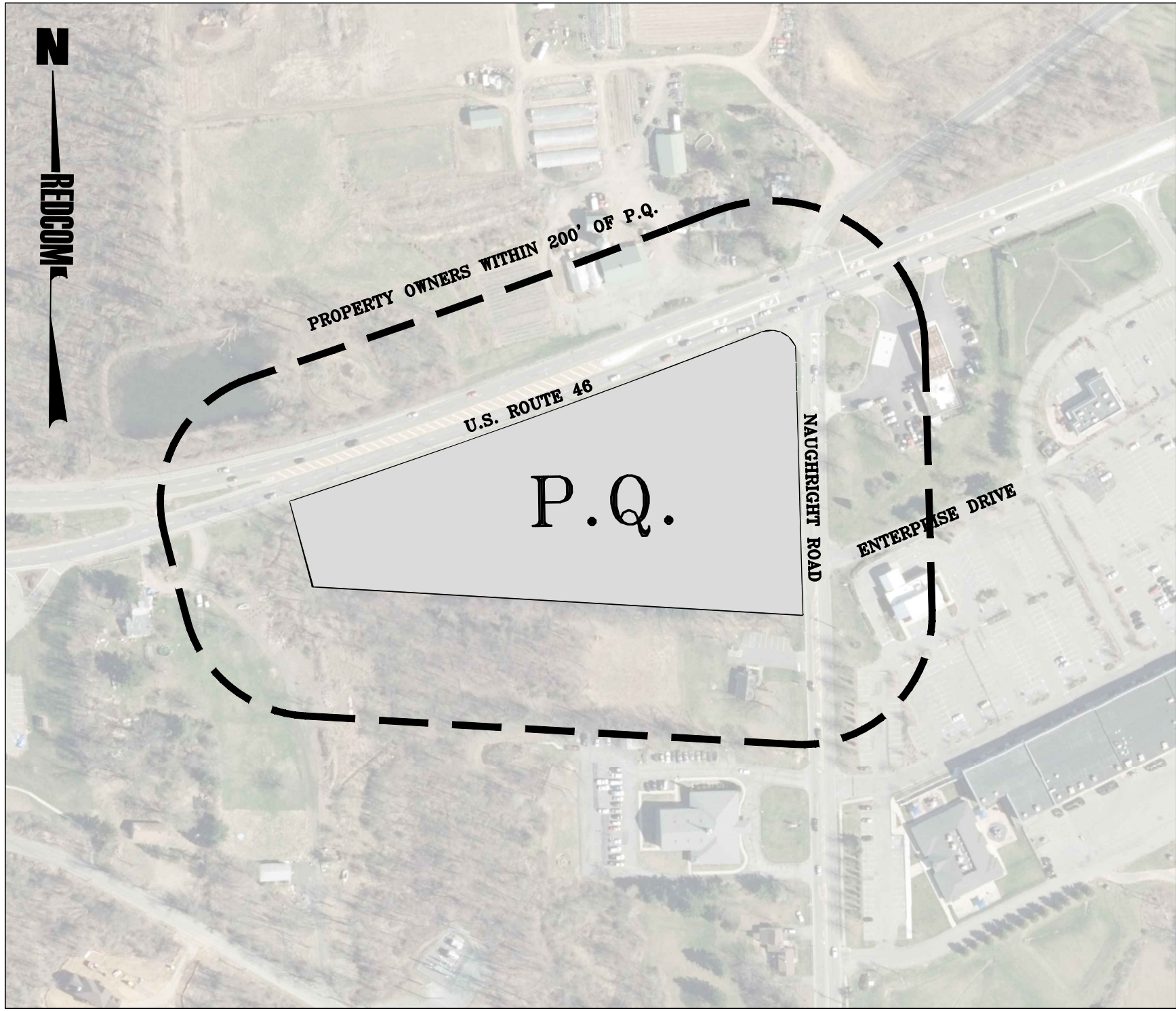
BRUCE REYNOLDS
COLUMBIA GAS TRANSMISSION CORP
1470 POORHOUSE ROAD
DOWNTOWN, PA 19335-342

MT. OLIVE TOWNSHIP, WATER & SEWER DEPARTMENT
P.O. BOX 450
204 FLANDERS-DRAKESTOWN ROAD
MT. OLIVE, NJ 07828

PUBLIC SERVICE ELECTRIC & GAS COMPANY
MANAGER - CORPORATE PROPERTIES
80 PARK PLAZA, T68
NEWARK, NJ 07102

NEW JERSEY - AMERICAN WATER CO. INC
P.O. BOX 5627
CHERRY HILL, NJ 07034

APPLIED WASTEWATER MANAGEMENT
2 CLERICO LANE,
HILLSBOROUGH, NJ 08844



VICINITY & ZONING MAP

SOURCE: HTTP://NJGIN.STATE.NJ.US; 2015 HIGH RES. ORTHOPHOTOGRAPHY & ZONING MAP: MT. OLIVE TOWNSHIP SCALE: 1"=200'

AREA AND YARD REQUIREMENTS

DESCRIPTION	REQUIRED/ALLOWED	EXISTING	PROPOSED
MIN. LOT SIZE (ACRES)	2 AC	5.07 AC.	NO CHANGE (C)
MIN. LOT WIDTH	200 FT.	±413 FT.	NO CHANGE (C)
MIN. LOT DEPTH	250 FT.	±766 FT.	NO CHANGE (C)
MIN. FRONT YARD SETBACK			
NAUGHRIGHT ROAD	90 FT.	90.7 FT.	NO CHANGE (C)
U.S. ROUTE 46	90 FT.	91.1 FT.	77.2 FT. (V)
MIN. SIDE YARD SETBACK	60 FT.	130.6 FT.	125.4 FT. (C)
MIN. REAR YARD SETBACK	50 FT.	NA	NA
MAX. BUILDING COVERAGE	20%	9.90%	13.0% (C)
MAX IMPERVIOUS COVERAGE	60%	77.43%	77.27% (ENC)
MAX. BUILDING HEIGHT	30 FT.	20 FT	28 FT (C)
MAX F.A.R.	0.30	.099	0.136

C - COMPLIES, V - VARIANCE, ENC - EXISTING NON-CONFORMITY, NS - NOT SPECIFIED

BUILDING AND IMPERVIOUS DATA

BUILDING COVERAGE:

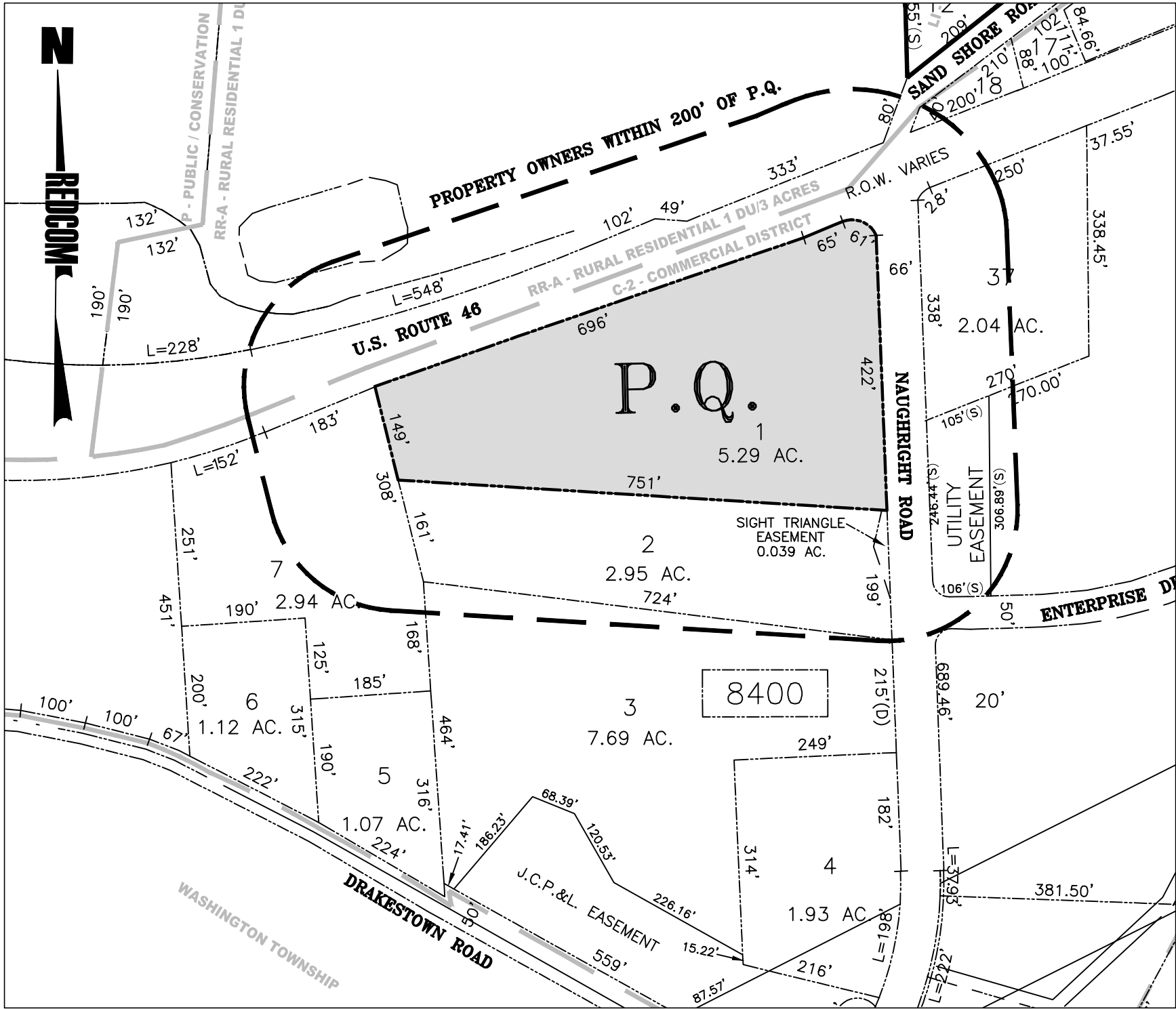
EXISTING DEALERSHIP	±21,851 SF
PROPOSED ADDITION 1:	±1,369 SF
PROPOSED ADDITION 2:	±5,495 SF
TOTAL FOOT	±28,715 SF

FLOOR AREA RATIO (FAR):

EXISTING: 21,851 SF / 220,739 = 0.099 (±9.9%)
PROPOSED: 30,030 SF / 220,739 SF = 0.136 (±13.6%)

IMPERVIOUS COVERAGE CALCULATION:

EXISTING: 170,913 SF / 220,739 SF = 0.7743 (±77.43%)
PROPOSED: 170,555 SF / 220,739 SF = 0.7727 (±77.27%)



TAX MAP & ZONING MAP

SOURCE: MOUNT OLIVE TOWNSHIP TAX MAP #84 SCALE: 1"=200'

PARKING TABULATION

PARKING REQUIREMENTS PER TOWNSHIP § 550-56J

MOTOR-VEHICLE DEALERSHIP ONE (1) PARKING SPACE PER 300 S.F. OF GROSS FLOOR AREA OF SHOWROOM AREA & SALES OFFICE.
MOTOR-VEHICLE REPAIR FOUR (4) PARKING SPACE PER BAY AND WORK AREA.

MOTOR-VEHICLE DEALERSHIP = 9,892 S.F. / 300 S.F. = 33 SPACES
MOTOR VEHICLE REPAIR = 21 BAYS @ 4/ BAY = 84 SPACES
TOTAL = 117 SPACES
PARKING SPACES REQUIRED = 117 SPACES
*PARKING SPACES PROVIDED = 117 SPACES, 121 WITH EV REGULATION (COMPLIES)

* PER P.L. 2021, C.171, SECTION D, SUBSECTION 2:
1 EV SPACE = 2 REGULAR SPACES UP TO 10% OF MAX. PARKING FOR TOTAL PARKING
COUNT, THEREFORE 2 EV SPACES = 4 ZONING SPACES
AS BUILT, 117 STANDARD PARKING + 4 EV SPACES = 121 SPACES

REQUIRED HANDICAP PARKING SPACES = 5 SPACES
PROVIDED HANDICAP PARKING SPACES = 5 SPACES (1 OF WHICH ARE VAN ACCESSIBLE)

EV PARKING TABULATION

PROPOSED SPACES 101 TO 150 REQUIRE 4 EV SPACES.

VEHICULAR PARKING SHALL COMPLY WITH ARTICLE 24 OF THE TOWN LAND USE ORDINANCE, ENTITLED ELECTRIC VEHICLE INFRASTRUCTURE REGULATIONS.

4 PRIVATELY OWNED AND PUBLICLY AVAILABLE EV SPACES WILL BE REQUIRED FOR THE SPACES TO BE CONSIDERED A PUBLIC CHARGING STATION PER THE TOWNS REGULATIONS.

4 EV SPACES ARE PROPOSED.

REQUIRED OUTSIDE APPROVALS

- MORRIS SOIL CONSERVATION DISTRICT
- MORRIS COUNTY PLANNING BOARD
- NJDEP WETLANDS LETTER OF INTERPRETATION

ZONING DISTRICTS IN PROXIMITY TO PROJECT SITE

ZONE	DESCRIPTION
C-2	COMMERCIAL
P	PUBLIC/CONSERVATION
RR-A	RURAL RESIDENTIAL 1 DU/3 ACRES
LI	LIGHT INDUSTRIAL

LIST OF VARIANCES

§550 ATTACHMENT 4: FRONT YARD SETBACK TO BE 90 FEET OR MORE.

GENERAL NOTES

- OWNER/APPLICANT: JOHN SON DODGE CHRYSLER INCORPORATED
14820 PALMWOOD RD.
PALM BEACH GARDENS, FL 33410
- LOCATION: BLOCK 8400, LOT 1
413 ROUTE 46
TAX MAP SHEET #84
MOUNT OLIVE TOWNSHIP
MORRIS COUNTY, NEW JERSEY
- AREA: 5.0675 ACRES (±220,739 S.F.)
- ZONE: C-2: COMMERCIAL DISTRICT
- EXISTING USE: AUTO DEALERSHIP
- PROPOSED USE: NO CHANGE
- ATTORNEY: MICHAEL S. SELVAGGI
LAVERY, SELVAGGI, ABROMITIS & COHEN, P.C.
1001 ROUTE 517
HACKETTSTOWN, NEW JERSEY 07840
PHONE: (908) 852-2600 FAX: (908) 852-8225
- ENGINEER: GREGORY J. REDINGTON, PE
REDCOM DESIGN & CONSTRUCTION, LLC.
PO BOX 160
WESTFIELD, NJ 07090
PHONE: (908) 233-4030 FAX: (908) 233-8837
- INFORMATION SHOWN HEREON TAKEN FROM A MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY", PREPARED BY GALLAS SURVEYING GROUP, DATED 01/22/2021.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE, THEIR ACCURACY OR COMPLETENESS ARE NOT GUARANTEED BY THE ENGINEER. MARK OUTS FROM UTILITY COMPANIES AND FIELD CONFIRMATION BY CONTRACTOR MUST BE MADE PRIOR TO CONSTRUCTION SO THAT DISTURBANCE OR DISRUPTION TO THESE UTILITIES MAY BE AVOIDED.
- ALL ELEVATIONS SHOWN ON THESE PLANS ARE REFERENCED TO NAVD 1988 DATUM.
- BY GRAPHIC PLOTTING ONLY, THE PREMISES IS LOCATED IN FIRM ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER MAP NUMBER 34035C0127E AND 34035C0131E WITH EFFECTIVE DATES SEPTEMBER 28, 2007.

PROJECT DESCRIPTION

THE PROJECT WILL INCLUDE ENCLOSING AN OVERHANG AS A SERVICE DRIVE THAT WILL BE 1,369 S.F. AND AN ADDITION TO THE SERVICE DEPARTMENT THAT WILL BE 5,495 S.F. THE PROJECT WILL ALSO INCLUDE INTERIOR RENOVATION OF THE EXISTING SHOWROOM AND SALES OFFICES. MOST OF THE EXISTING PARKING WILL BE MAINTAINED WHILE THE FRONT ENTRANCE WILL BE REDESIGNED AND RESTRIPEDED ACCORDINGLY.

WRITTEN DESCRIPTION OF OPERATIONS

THE AUTOMOBILE SALES AND SERVICE CURRENTLY HAS FIFTY TWO (52) EMPLOYEES PER SHIFT WITH ONE (1) SHIFT PER DAY, WITH A MAXIMUM OF SIXTY (60) EMPLOYEES PER SHIFT. THE PROPOSED ADDITIONS WOULD NOT INCREASE THE MAXIMUM NUMBER OF EMPLOYEES PER SHIFT.

THE EXISTING USE CURRENTLY HAS ONE (1) PARTS DELIVERY PER DAY, A MAXIMUM OF TEN (10) VARIOUS SUPPLIER DELIVERIES PER DAY, AND A MAXIMUM OF TWO (2) NEW CAR TRANSPORTS PER DAY. MAXIMUM TRUCK TRAFFIC PER DAY IS 13 TRUCKS. THE PROPOSED ADDITIONS WOULD NOT INCREASE THE AMOUNT OF TRUCK TRAFFIC.

GREGORY J. REDINGTON, P.E.
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 37543

JOHN JOHNSON
CHRYSLER DODGE
JEEP RAM
BLOCK 8400, LOT 1
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY
NEW JERSEY

413 US ROUTE 46 & NAUGHRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

COVER SHEET

REDCOM
DESIGN & CONSTRUCTION LLC.
STATE OF NEW JERSEY CERTIFICATE OF AUTHORIZATION
24GA28221900 & 21AC00094500

433 NORTH AVE EAST
WESTFIELD, NJ 07090
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413 US ROUTE 46 & NAUGHRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN



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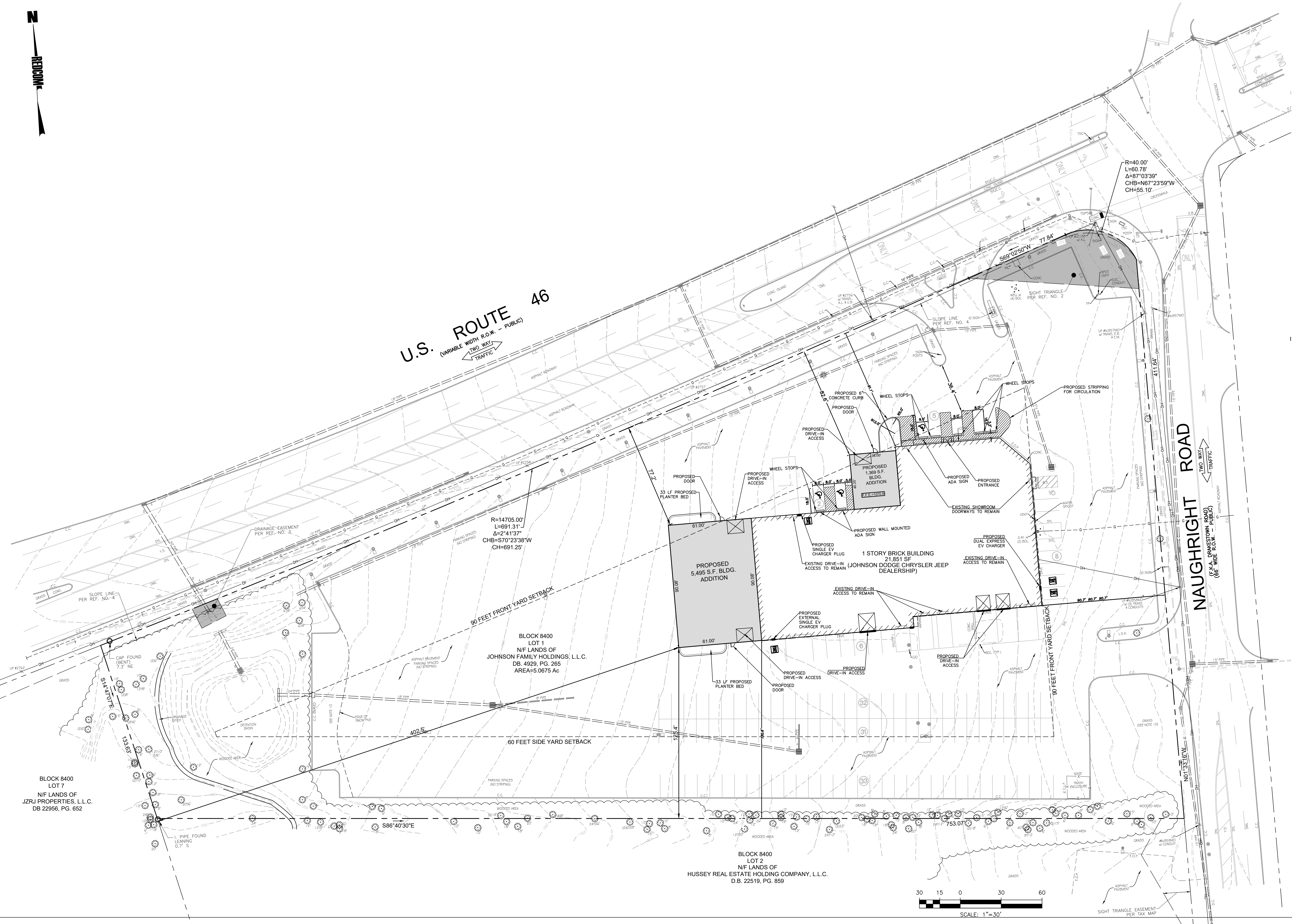
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CHRYSLER DODGE
JEEP RAM**
BLOCK 8400, LOT 1
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MORRIS COUNTY
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413 US ROUTE 46 & NAUGHTRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

LAYOUT &
DIMENSIONING PLAN

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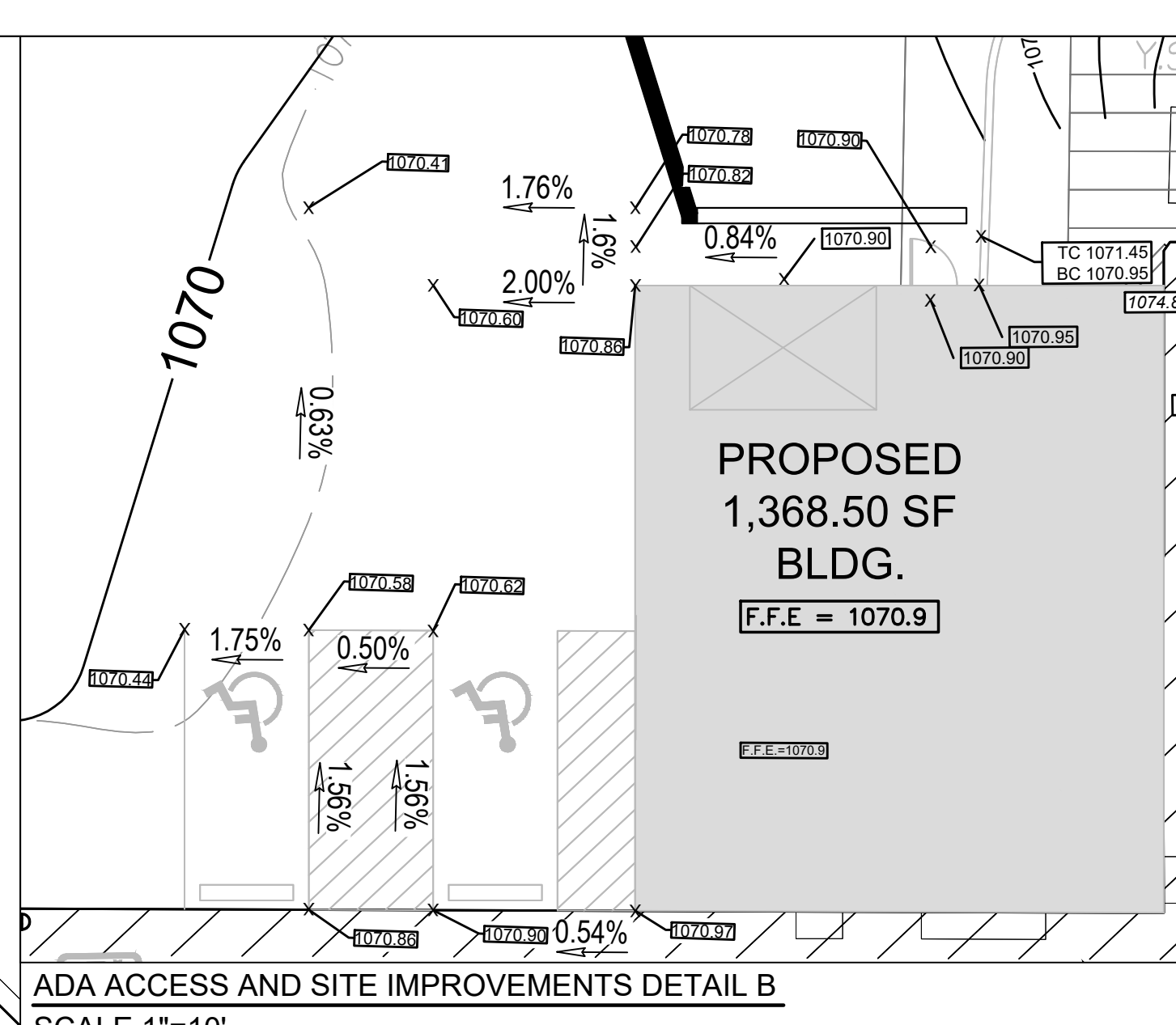
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ADA ACCESS AND SITE IMPROVEMENTS DETAIL B
SCALE 1"=10'

EXISTING CONDITIONS:
THE EXISTING SITE HAS A SLOPE FROM EAST TO WEST ON A PRIMARILY IMPERVIOUS SURFACE. THE SITE DISCHARGES INTO A STORM WATER BASIN LOCATED ON THE WEST SIDE OF THE SITE. ONSITE RUNOFF IS PICKED UP VIA INLETS AND ROOF DRAINS ON SITE AND DISCHARGES INTO THE STORMWATER BASIN.

PROPOSED CONDITIONS:
THE GENERAL SLOPE OF THE SITE REMAINS UNCHANGED. A TRENCH DRAIN IS TO BE ADDED TO COLLECT STORM WATER RUNOFF IN FRONT OF THE EASTERN ADDITION. ALL EXISTING INLETS ARE TO REMAIN AND THE NEW TRENCH DRAIN CONNECTS INTO THE EXISTING STORM WATER SYSTEM.

PER N.J.A.C. A MAJOR DEVELOPMENT IS DEFINED AS THE FOLLOWING:

1. THE DISTURBANCE OF ONE OR MORE ACRES OF LAND SINCE FEBRUARY 2, 2004;
2. THE CREATION OF ONE-QUARTER ACRE OR MORE OF "REGULATED IMPERVIOUS SURFACE" SINCE FEBRUARY 2, 2004;
3. THE CREATION OF ONE-QUARTER ACRE OR MORE OF "REGULATED IMPERVIOUS SURFACE" SINCE MARCH 2, 2021; OR
4. A COMBINATION OF 2 AND 3 ABOVE THAT TOTALS AN AREA OF ONE-QUARTER ACRE OR MORE. THE SAME SURFACE SHALL NOT BE COUNTED TWICE WHEN DETERMINING IF THE COMBINATION AREA EQUALS ONE-QUARTER ACRE OR MORE.

BECAUSE THE PROJECT IN QUESTION DOES NOT APPLY TO ITEMS 1 THROUGH 4 ABOVE, THE PROJECT IS NOT CONSIDERED A MAJOR DEVELOPMENT PER N.J.A.C. 7-8.

THEREFORE A STORMWATER REPORT IS NOT REQUIRED.



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS,
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN THE STATE.

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413 US ROUTE 46 & NAUGHRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

GRADING & UTILITY PLAN



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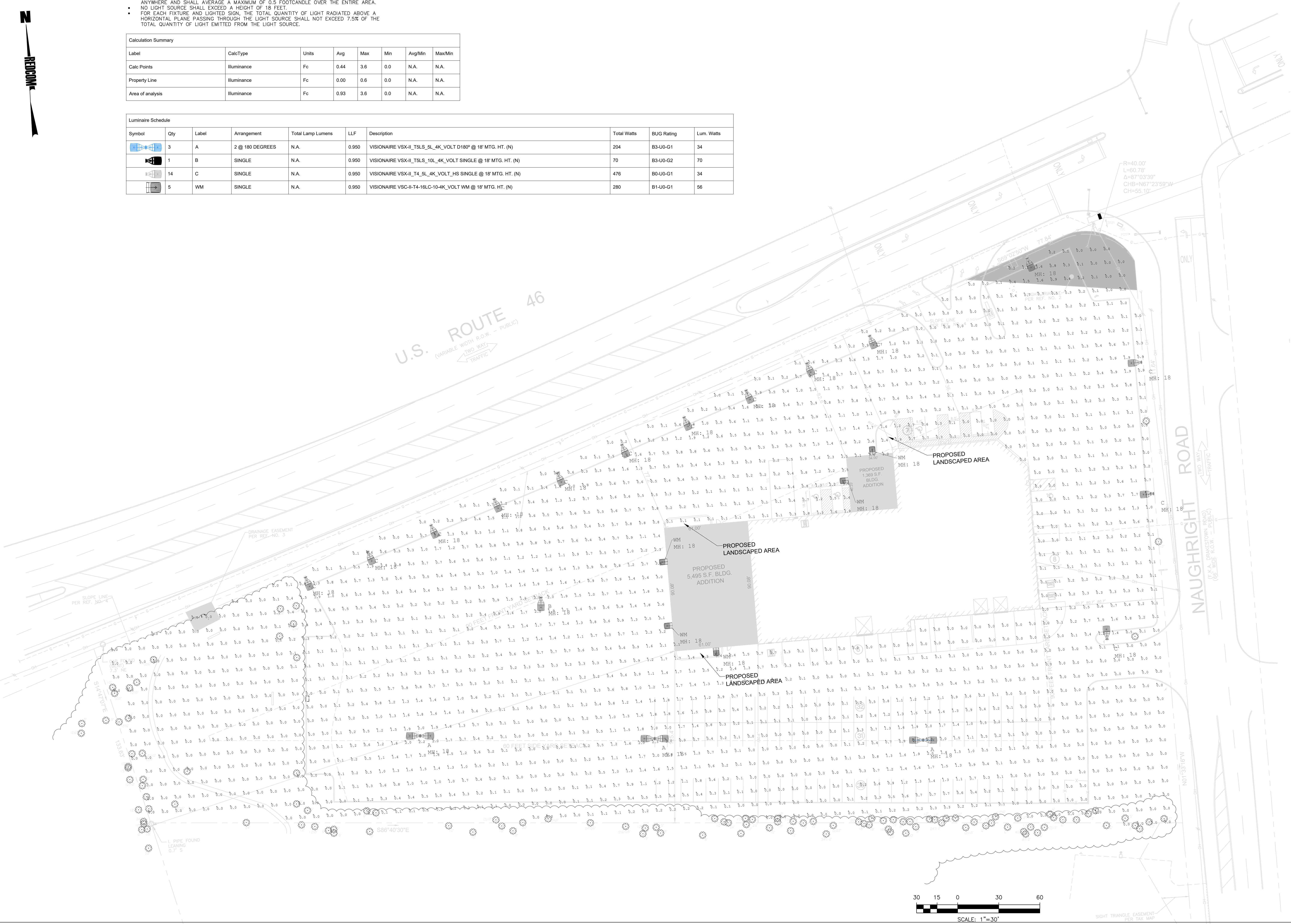
\$550-53 - LIGHTING NOTES

- THE LIGHT INTENSITY PROVIDED AT GROUND LEVEL SHALL BE A MINIMUM OF 0.3 FOOTCANDLE ANYWHERE AND SHALL AVERAGE A MAXIMUM OF 0.5 FOOTCANDLE OVER THE ENTIRE AREA.
- NO LIGHT SOURCE SHALL EXCEED A HEIGHT OF 18 FEET.
- FOR EACH FIXTURE AND LIGHTED SIGN, THE TOTAL QUANTITY OF LIGHT RADIATED ABOVE A HORIZONTAL PLANE PASSING THROUGH THE LIGHT SOURCE SHALL NOT EXCEED 7.5% OF THE TOTAL QUANTITY OF LIGHT EMITTED FROM THE LIGHT SOURCE.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.44	3.6	0.0	N.A.	N.A.
Property Line	Illuminance	Fc	0.00	0.6	0.0	N.A.	N.A.
Area of analysis	Illuminance	Fc	0.93	3.6	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Total Watts	BUG Rating	Lum. Watts
	3	A	2 @ 180 DEGREES	N.A.	0.950	VISIONAIRE VSX-II_TSL5_5L_4K_VOLT D180° @ 18' MTG. HT. (N)	204	B3-U0-G1	34
	1	B	SINGLE	N.A.	0.950	VISIONAIRE VSX-II_TSL5_10L_4K_VOLT SINGLE @ 18' MTG. HT. (N)	70	B3-U0-G2	70
	14	C	SINGLE	N.A.	0.950	VISIONAIRE VSX-II_T4_5L_4K_VOLT_HS SINGLE @ 18' MTG. HT. (N)	476	B0-U0-G1	34
	5	WM	SINGLE	N.A.	0.950	VISIONAIRE VSC-II-T4-16LC-10-4K_VOLT WM @ 18' MTG. HT. (N)	280	B1-U0-G1	56

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413 US ROUTE 46 & NAUGHTRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING &
LANDSCAPING PLAN



STATE OF NEW JERSEY CERTIFICATE OF AUTHORIZATION
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SITE SPECIFIC NOTES:

- MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING 2 DAYS PRIOR TO ANY SOIL DISTURBANCE (PHONE NUMBER: 973-285-2953)
- EXISTING SITE AREAS = 5.0675 ACRES
- AREA OF DISTURBANCE = 0.49 ACRES
- IF ANY EXCESS FILL OR ANY OTHER MATERIAL IS TO BE REMOVED FROM THE SITE, THE PROJECT OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ITS PROPER DISPOSAL AND WILL NOTIFY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AS TO THE PLANNED DISPOSAL SITE LOCATION. IF APPLICABLE, A SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO, REVIEWED AND CERTIFIED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY MATERIAL REMOVAL FROM THE SITE.

SOIL EROSION & SEDIMENT CONTROL LEGEND

- PROPOSED SILT FENCE (TYP.)
- PROPOSED LIMIT OF DISTURBANCE (TYP.)
- PROPOSED INLET PROTECTION (TYP.)
- PROPOSED TRACKING PAD LOCATION (XXft x XXft)
- PROPOSED TEMPORARY TOPSOIL STOCKPILE

GENERAL NOTES

- ALL SOIL MOVEMENT AND REMOVAL SHALL COMPLY WITH THE TOWNSHIP SOIL REMOVAL POLICY AS STATED IN ARTICLE IX: SOIL AND SOIL REMOVAL.
- INFILTRATION TESTING AND TEST PITS WERE CONDUCTED BY AND ANALYZED BY GEO-TECHNOLOGY ASSOCIATES, INC. FOR FURTHER DETAILS PLEASE SEE "PRELIMINARY GEOTECHNICAL ENGINEERING REPORT", DATED JANUARY 21, 2021 AS AUTHORED BY JOHN C. CAPOZZOLO, P.E. & DENNIS C. LOH, P.E.
- DEVELOPER SHALL PROVIDE ALL POST CONSTRUCTION INSPECTION AND TESTING OF ALL CONNECTIONS AND INSTALLATIONS UNDER THIS PROJECT.

EXISTING SOIL LEGEND

AnoB	Annapdale gravelly loam, 3 to 8 percent slopes
CakBb	Califon loam, 0 to 8 percent slopes, very stony
CakC	Califon loam, 8 to 15 percent slopes
CoaBc	Cokesbury loam, 0 to 8 percent slopes, extremely stony

SEQUENCE OF CONSTRUCTION:

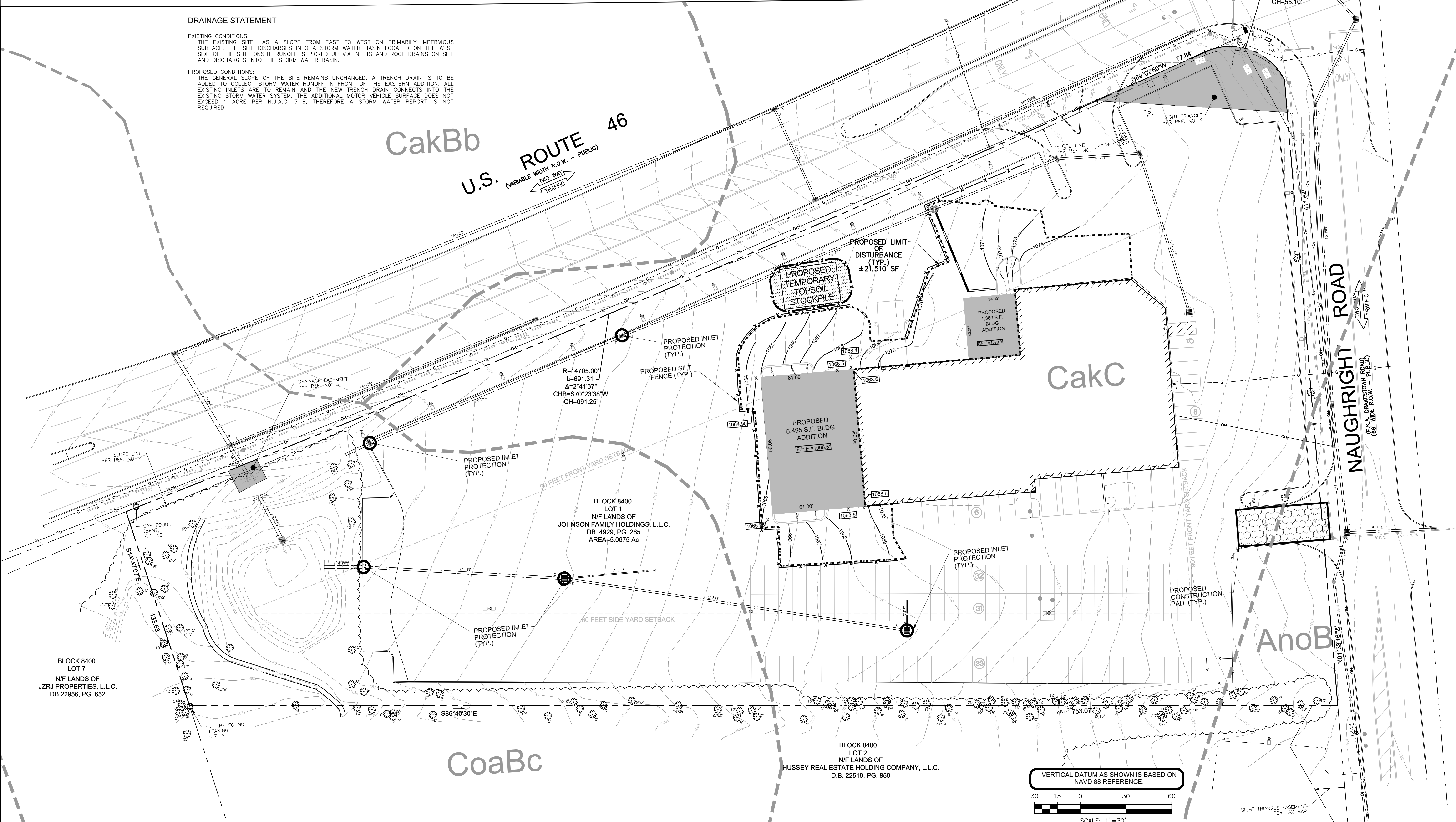
- NOTIFY THE SOIL CONSERVATION DISTRICT WITH WRITTEN NOTIFICATION 48 HOURS PRIOR TO ANY LAND DISTURBANCE AND CONDUCT PRE-CONSTRUCTION MEETING.
- INSTALL SILT FENCE AS SHOWN ON THE SITE PLAN.
- CLEAR SITE AND STRIP TOPSOIL AND STORE FOR FUTURE USE.
- ROUGH GRADE/DRAINAGE
- INSTALL UNDERGROUND STORM WATER STRUCTURES
- STABILIZE ALL CRITICAL AREAS SUBJECT TO EROSION.
- INSTALL ALL REMAINING STORM PIPING AND STORM STRUCTURES
- ROUGH GRADE AREAS FOR PROPOSED BUILDING, LOADING AREA, ACCESS WAY, AND PARKING LOT.
- CONSTRUCT BUILDING ADDITION, REMAINING UTILITIES, CURBING AND PAVEMENT BASE COURSE.
- FINE GRADE, PLACE TOPSOIL INSTALL LANDSCAPE PLANTINGS, SEED AND MULCH IN ACCORDANCE WITH PERMANENT SEEDING AND MULCHING STANDARDS.
- AFTER LANDSCAPE STABILIZATION, REMOVE ALL SILT FENCING
- FINAL PAVE ALL DRIVEWAY, LOADING, AND PARKING AREAS.

TOTAL DURATION: ±14 MONTHS

DRAINAGE STATEMENT

EXISTING CONDITIONS:
THE EXISTING SITE HAS A SLOPE FROM EAST TO WEST ON PRIMARILY IMPERVIOUS SURFACE. THE SITE DISCHARGES INTO A STORM WATER BASIN LOCATED ON THE WEST SIDE OF THE SITE. ONSITE RUNOFF IS PICKED UP VIA INLETS AND ROOF DRAINS ON SITE AND DISCHARGES INTO THE STORM WATER BASIN.

PROPOSED CONDITIONS:
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THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

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413 US ROUTE 46 & NAUGHTRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION &
SEDIMENT CONTROL
PLAN

REDCOM
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STATE OF NEW JERSEY CERTIFICATE OF AUTHORIZATION
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SOIL EROSION AND SEDIMENT CONTROL NOTES

MORRIS COUNTY SOIL CONSERVATION DISTRICT

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 22 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 23 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 22 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUB BASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES FOLLOWING THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
 - PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT.
 - MULCH DISTURBED SOIL WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
 - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS. PER 1000 SQ. FT.
 - APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LBS. PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS. PER 1000 SQ. FT.
 - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS. PER 1000 SQ. FT.
 - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

*NOTE: 48 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE IN WRITING, SHALL BE GIVEN TO THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.

DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)
- VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD CPG. 6-1)
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

TABLE 16-1 : DUST CONTROL MATERIALS

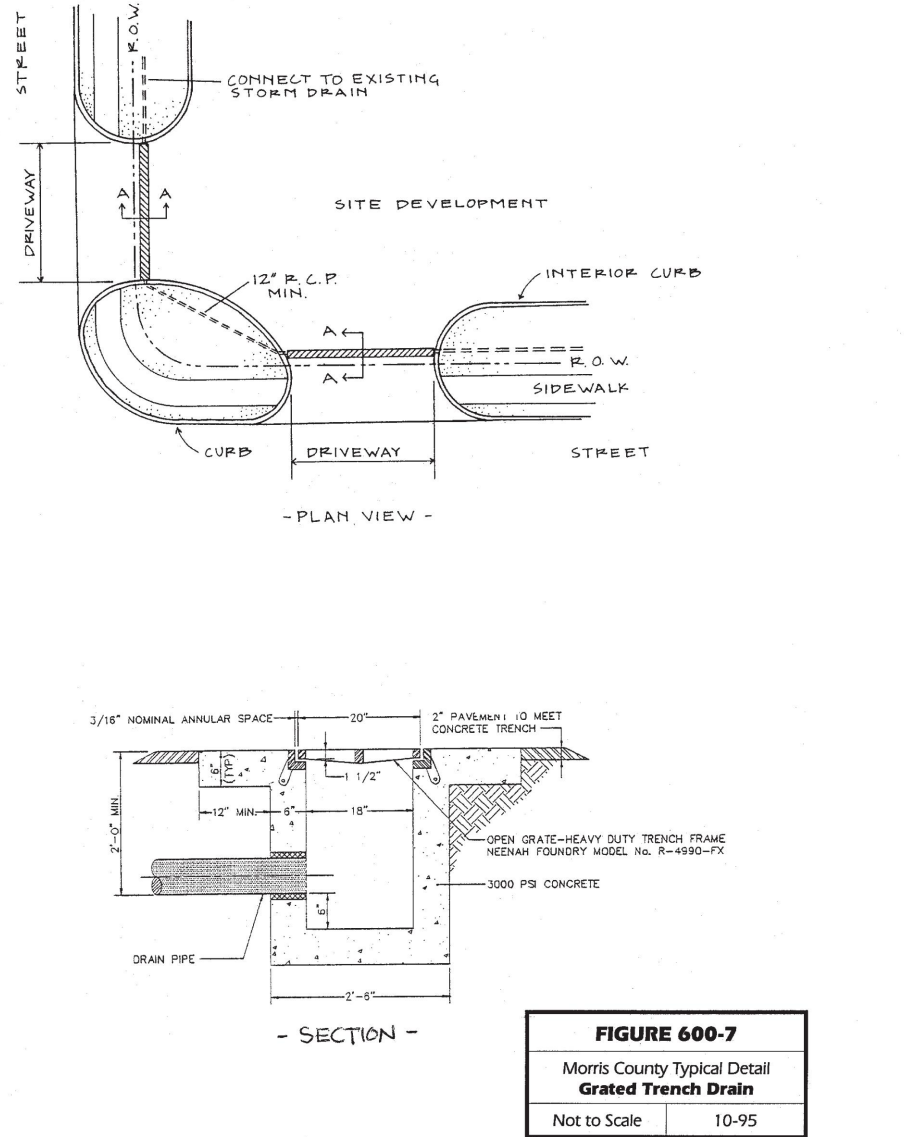
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM)-SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)		
POLYACRYLAMIDE (PAM)-DRY SPRAY			
ACDULATE SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

- TILAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AN SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

* CONSTRUCTION DETAILS

** SOIL EROSION AND SEDIMENT CONTROL DETAILS

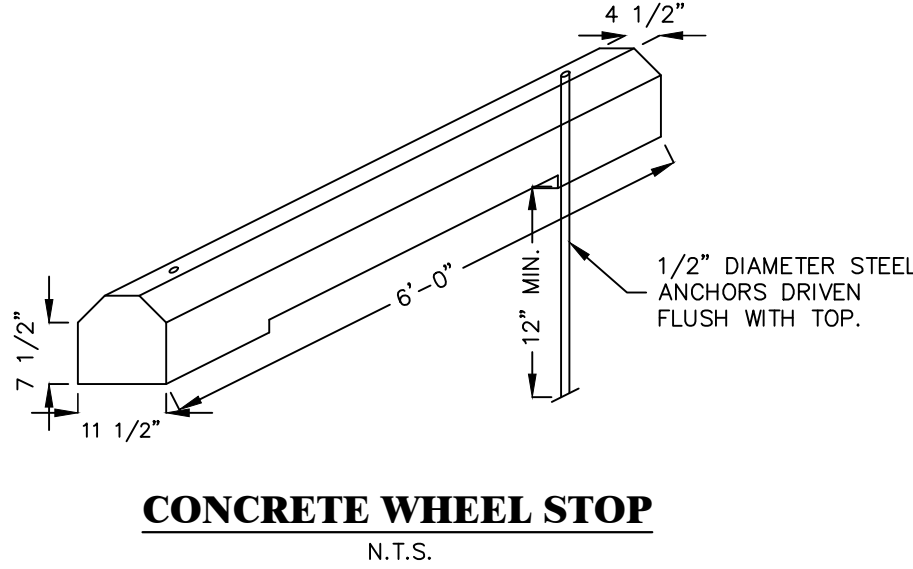
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COUNTY STANDARD GRATED TRENCH DRAIN

NTS

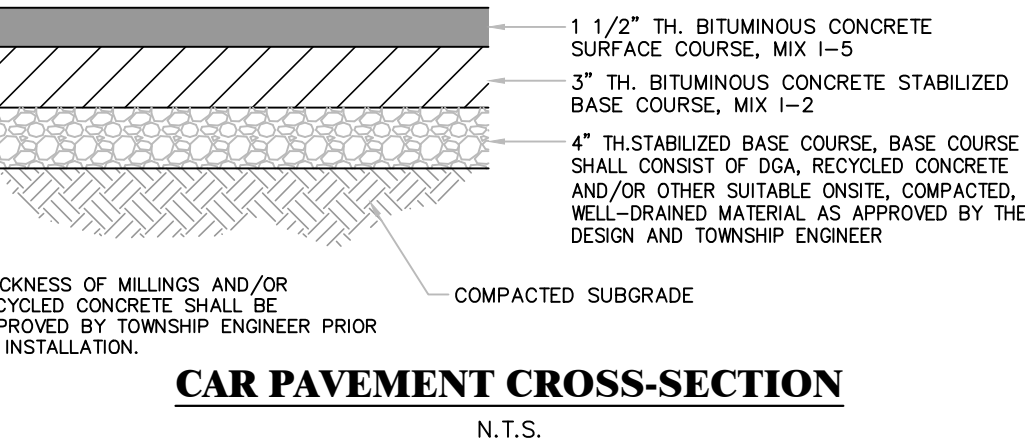
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CONCRETE WHEEL STOP

N.T.S.

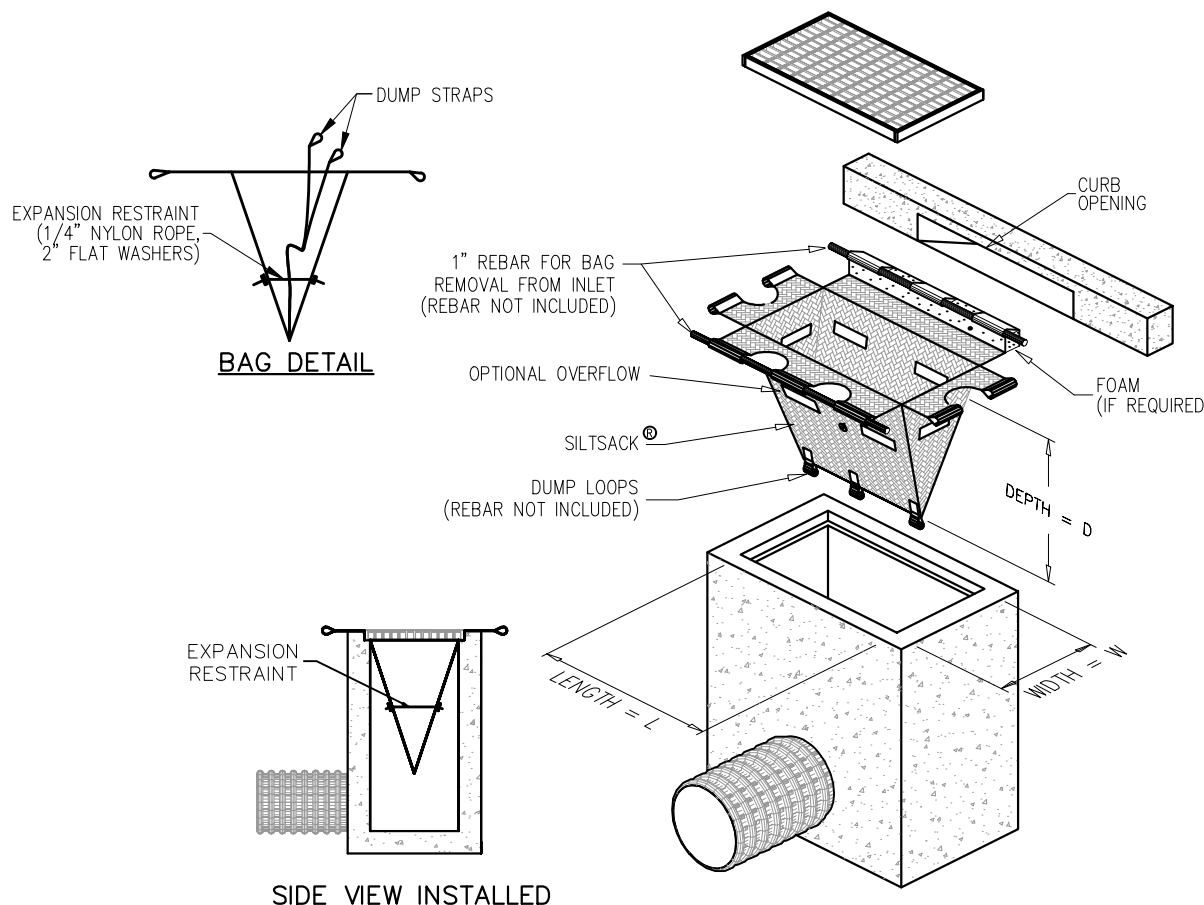
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CAR PAVEMENT CROSS-SECTION

N.T.S.

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SILTSAK®

NOTE: THE SILTSAK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

REGULAR FLOW SILTSAK® (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF) PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MILLEN BURST	ASTM D-3396	800 PS
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 H
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US SEVE
FLOW RATE	ASTM D-4941	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4941	0.55 SEC -1

OIL-ABSORBANT SILTSAK® (FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS) DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSAK® CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSAK®, WITH A WOVEN PILLW INSERT.

STORM SEWER INLET PROTECTION DETAIL

N.T.S.



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

GREGORY J. REDINGTON, P.E.
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 37543

JOHN JOHNSON
CHRYSLER DODGE
JEEP RAM
BLOCK 8400, LOT 1
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY
NEW JERSEY

413 US ROUTE 46 & NAUGHTRIGHT ROAD
PRELIMINARY & FINAL MAJOR SITE PLAN

SESC &
CONSTRUCTION
DETAILS

REDCOM
DESIGN & CONSTRUCTION LLC

STATE OF NEW JERSEY CERTIFICATE OF AUTHORIZATION
24GA28221900 & 21AC00094500

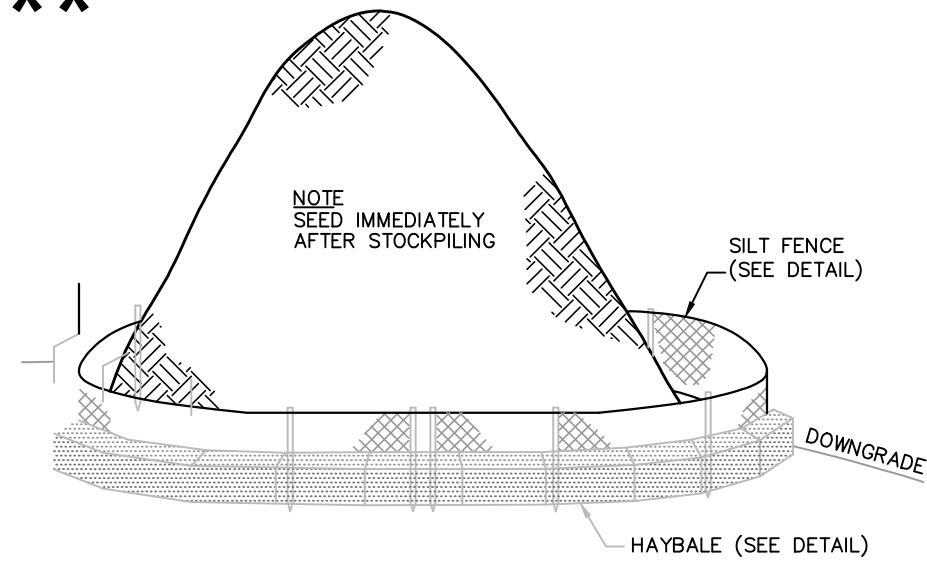
433 NORTH AVE EAST
WESTFIELD, NJ 07090
T. 908.233.4030
F. 908.233.8837

DRAWN: PFB
CHECKED: JAT
DATE: 11.09.2022
SCALE: NTS

WWW.REDCOMLLC.COM

7

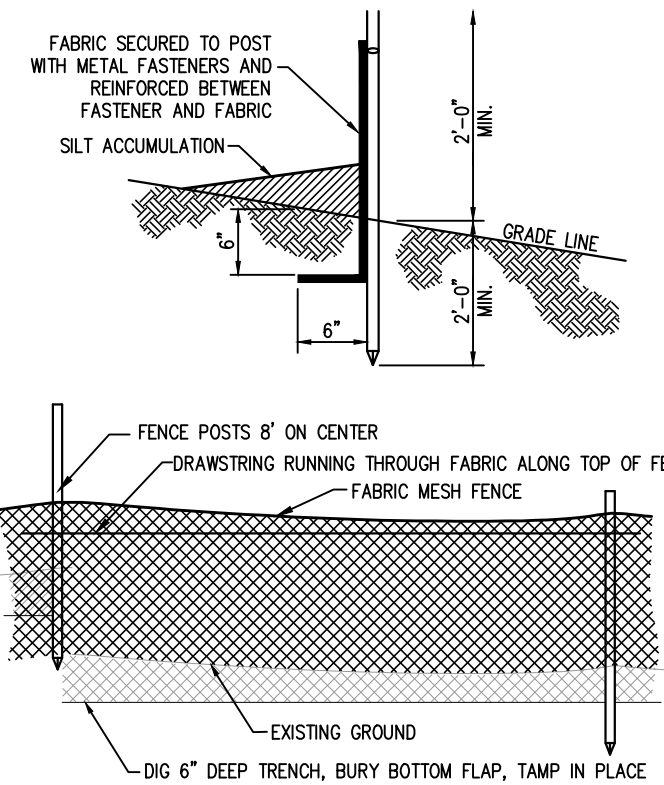
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TOPSOIL STOCKPILE DETAIL

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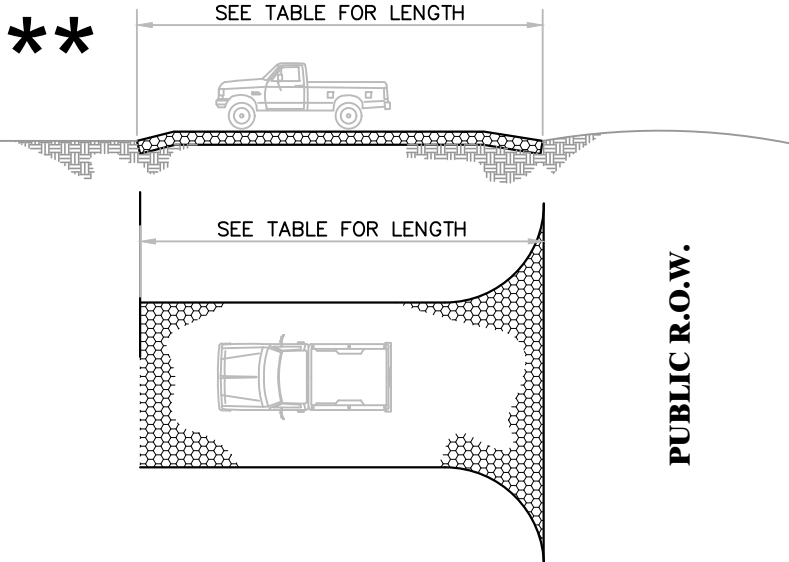
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SILTATION FENCE DETAIL

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LENGTHS OF CONSTRUCTION EXITS

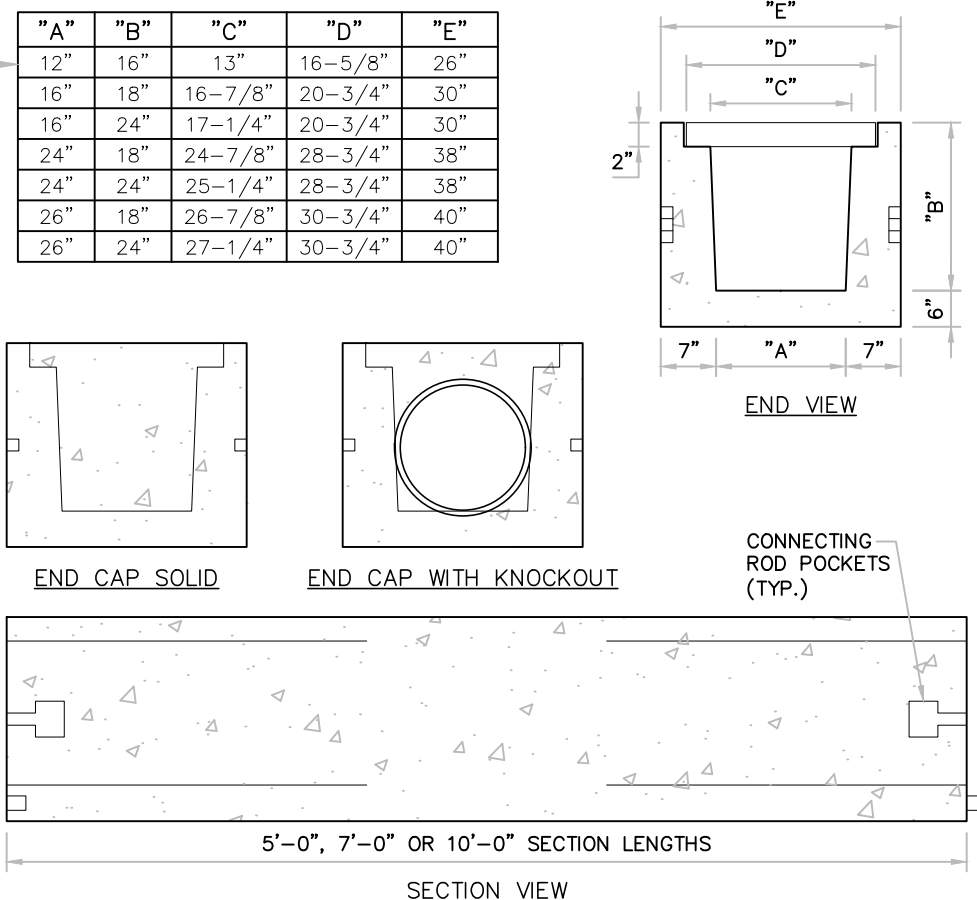
PERCENT OF ROADWAY SLOPE	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FAB BASE COURSE	

NOTE: CONSTRUCTION ENTRANCE SHALL CONSIST OF 1/2" - 2" DIAMETER STONES, AS A MEANS OF CONTROLLING SOIL TRACKED OFFSITE. ALL VEHICLES WILL LEAVE AT CONSTRUCTION ENTRANCE POINTS. THIS ITEM WILL BE THE FIRST ITEM IN THE CONSTRUCTION SEQUENCE, AND SHALL REMAIN IN PLACE UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT. REMOVAL SHALL BE APPROVED BY THE TOWNSHIP ENGINEER.

CONSTRUCTION ENTRANCE PAD DETAIL

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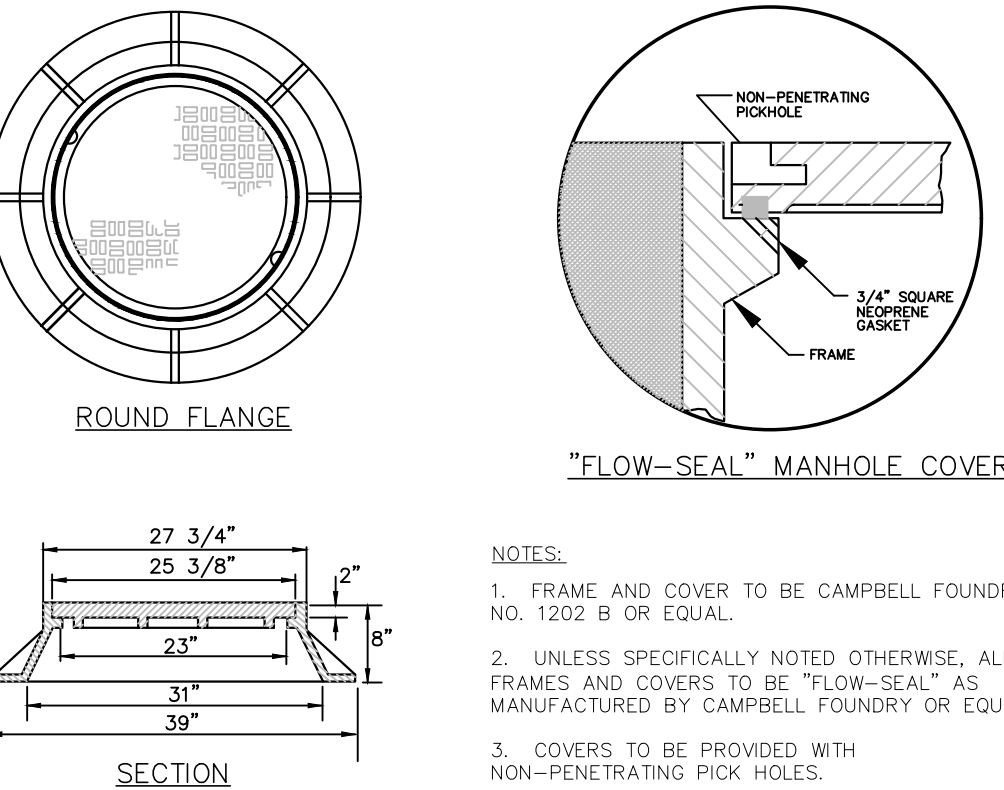
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PRECAST 20" TRENCH DRAIN DETAIL

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TYPICAL STORM SEWER MANHOLE FRAME & COVER

N.T.S.

NOTES:

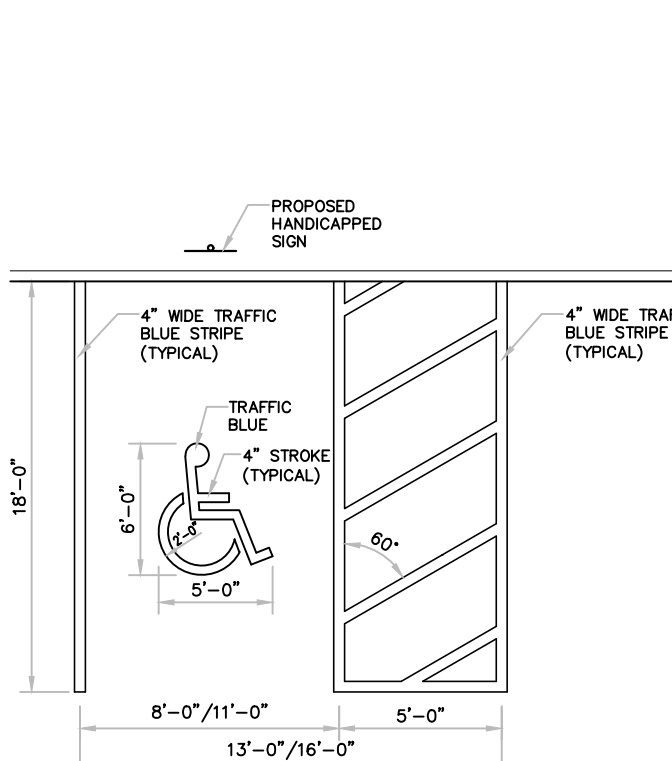
- FRAME AND COVER TO BE CAMPBELL FOUNDRY NO. 1202 B OR EQUAL.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL FRAMES AND COVERS TO BE "FLOW-SEAL" AS MANUFACTURED BY CAMPBELL FOUNDRY OR EQUAL.
- COVERS TO BE PROVIDED WITH NON-PENETRATING PICK HOLES.

*



HANDICAPPED PARKING SIGN (R7-8) DETAIL

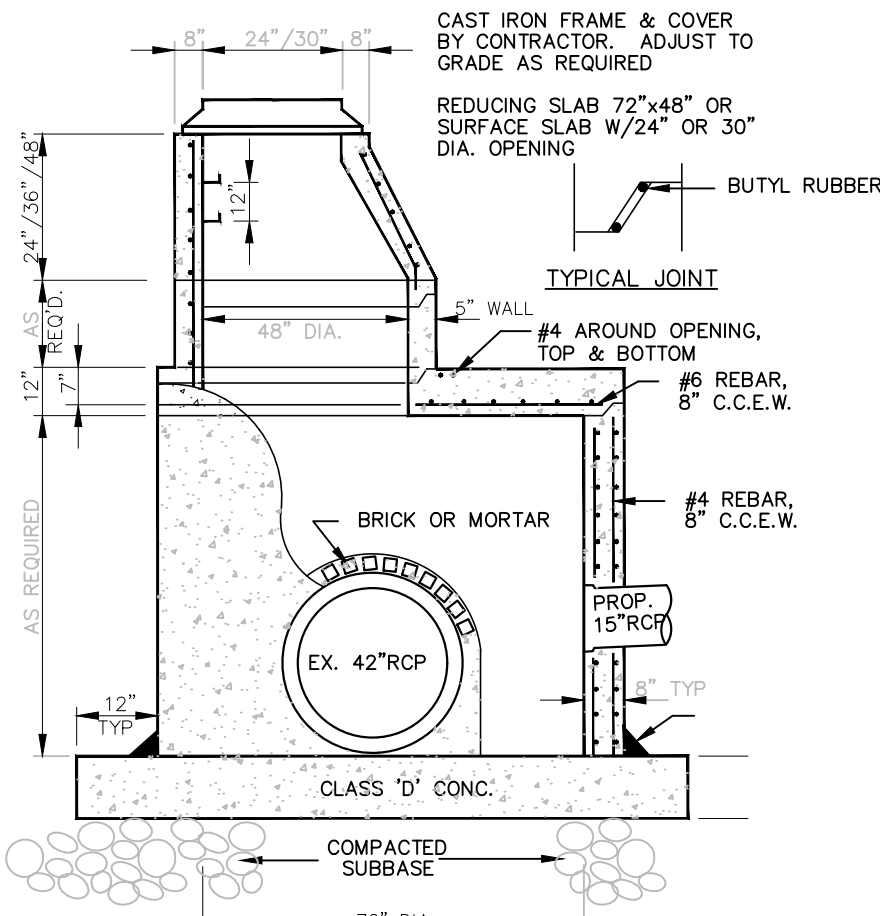
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BARRIER FREE PARKING SPACE LAYOUT DESIGN

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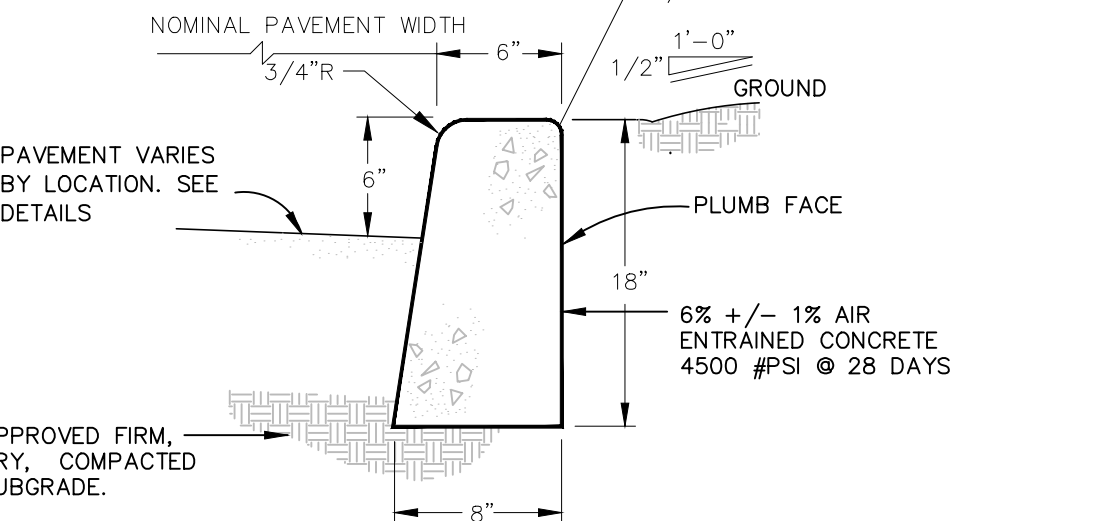
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DOGHOUSE MANHOLE

N.T.S.

*



STANDARD 6" x 18" CONCRETE CURB

N.T.S.