

NUCC 5:23-6.17 BASIC REQUIREMENTS GROUP B:

ITEM	REQUIREMENT	COMPLIANCE	ITEM	REQUIREMENT	COMPLIANCE
EXITS	PER STORY 2 EXITS (1-500 OCCUPANTS)	VERIFIED	1017.2	EXIT ACCESS TRAVEL DISTANCE 200'	VERIFIED
EGRESS DOORWAYS	2 REQUIRED OCCUPANT LOAD > 50 TRAVEL GREATER THAN 100 FEET	VERIFIED	1020.2	CORRIDOR WIDTH 36" WHEN OCCUPANT CAPACITY IS < 50 44" WHEN OCCUPANT CAPACITY IS > 50	VERIFIED
EGRESS CAPACITY	N.J.A.C. 5:23-6.11(b) GROUP B	VERIFIED	1006.2.1	OCCUPANT LOAD – 1 – 500 = 2 REQUIRED EXITS	VERIFIED
DOORS	150 OCCUPANT PER UNIT (22")	VERIFIED			
MEANS OF EGRESS LIGHTING	NFPA 70 SPACES WITH TWO (2) EXITS OR EXIT ACCESS PATHS	VERIFIED			
EXIT SIGNS	NFPA 70 SPACES WITH TWO (2) EXITS OR EXIT ACCESS PATHS	VERIFIED			

TABLE 1004.1.2
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	LOAD FACTOR	SQ. FT.	CALCULATED OCCUPANTS	ACTUAL OCCUPANTS	DESIGNED OCCUPANTS
BUSINESS	150 GROSS	9,642 SF	65	65	65
TOTAL DESIGN OCCUPANT LOAD			65	65	65

MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD (SECTION 1005)	
OCCUPANT LOAD (persons per story) 1 – 500	MINIMUM NUMBER OF EXITS (per story) 2
FIRST FLOOR EXITS REQUIRED 2	PROVIDED 5
TOTAL EXIT CAPACITY PROVIDED ON FIRST FLOOR	
EXIT #1 DOOR = 3'-0" / 0.2	165
EXIT #2 DOOR = 3'-0" / 0.2	165
EXIT #3 DOOR = 3'-0" / 0.2	165
EXIT #4 DOOR = 3'-0" / 0.2	165
EXIT #5 DOOR = 3'-0" / 0.2	165
TOTAL EXIT CAPACITY PROVIDED	330
TOTAL EXIT CAPACITY REQUIRED	65

EGRESS ANALYSIS

N.T.S.

1

PROPOSED IMPROVEMENTS:

NEW COMMERCIAL AUTO SALES BUILDING

WRIGHT PROPERTIES, LLC
193 ROUTE 206
FLANDERS, NJ 07836
BLOCK: 5401 LOT: 29

DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS ARE PROVIDED TO INDICATE DESIGN INTENT ONLY. LARGE-SCALE DETAILS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.

THE GENERAL CONTRACTOR SHALL:

- COORDINATE THE WORK OF ALL TRADES AND THE OWNER'S REQUIREMENTS FOR ALL WORK INDICATED IN THESE CONTRACT DOCUMENTS AND ASSUME FINAL RESPONSIBILITY FOR ALL CONSTRUCTION COORDINATION.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC. AT THE SITE. REPORT ANY DISCREPANCIES TO THE OWNER IN WRITING PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ALSO COORDINATE WORK WITH THE WORK OF OTHER TRADES.
- BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED FOR COMPLETION OF THE PROJECT. REMOVE ALL DEMOLISHED MATERIALS, NOT DESIGNED FOR REUSE, FROM THE PREMISES. EXISTING CONDITIONS DISTURBED BY ALTERATION WORK SHALL BE PATCHED, REPAIRED, OR REPLACED TO MATCH EXISTING CONDITIONS AND FINISHES TO A LIKE NEW CONDITION. REMOVE ALL DEBRIS FROM THE SITE AND LEAVE THE PREMISES CLEAN, NEAT, AND ORDERLY AT THE COMPLETION OF THE PROJECT.
- CAP AND IDENTIFY ALL EXISTING UTILITIES PRIOR TO DEMOLITION IN AREAS INCLUDING FLOORS, CEILINGS, AND PARTITIONS, ETC. COORDINATE WITH OWNER'S VENDORS.
- PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, MATERIALS, EQUIPMENT, AND FIXTURES WHICH ARE LIKELY TO BE DAMAGED DURING CONSTRUCTION. TEMPORARY PARTITIONS TO SEPARATE WORK AREAS FROM OCCUPIED AREAS SHALL BE PROVIDED TO PREVENT THE SPREAD OF DUST, MOISTURE, AND OTHER CONSTRUCTION DEBRIS.
- BE RESPONSIBLE FOR MAINTAINING THE SECURITY OF THE BUILDING THROUGHOUT THE PROJECT TO FINAL COMPLETION AND OWNER'S ACCEPTANCE. COOPERATE WITH BUILDING MANAGEMENT ON SECURITY PROCEDURES.
- VERIFY REQUIREMENTS FOR FIRE EXTINGUISHER LOCATIONS AND INSTALLATION PER REQUIREMENTS OF THE LOCAL FIRE MARSHALL.
- PERFORM ALL WORK SHOWN ON THESE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL TRADES INCLUDING THOSE NOT DIRECTLY IN THEIR EMPLOY. THESE WILL INCLUDE BUT NOT BE LIMITED TO: HVAC, PLUMBING, ELECTRICAL, FURNITURE, SECURITY, DATA/TELCO CABLING, ETC.
- (IF APPLICABLE:) COORDINATE THE WORK OF THE CONSTRUCTION PHASE WITH OWNERS' MOVING COMPANY, TELEPHONE VENDOR, I.T. DEPARTMENT, OWNERS' SECURITY SYSTEM VENDOR, AND BUILDING MANAGER.
- OBTAIN ALL INSPECTIONS AND CERTIFICATES NECESSARY FOR OCCUPANCY BY TENANT U.N.O. TEMPORARY CERTIFICATE OF OCCUPANCY (T.C.O.) OR C. OF O. IS A PREREQUISITE TO FINAL PAYMENT FOR THE WORK INDICATED IN THESE CONTRACT DOCUMENTS, AT THE COMPLETION OF THE PROJECT.
- CONTRACTOR TO PREPARE COORDINATION DRAWINGS OF ALL TRADES PRIOR TO ORDERING ANY AND/OR ALL MATERIALS INCLUDING LONG-LEAD ITEMS.
- ALL NEW MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND CODE REQUIREMENTS.
- NO CHANGE ORDERS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE OWNER IN ADVANCE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL ITEMS, MATERIAL SAMPLES / AND EQUIPMENT CUT-SHEETS. SHOP DRAWINGS SHALL INCLUDE DETAILED FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGRAMMATIC DRAWINGS AND MATERIAL. ALL ITEMS SHALL BE CLEARLY INDICATED. FABRICATION SHALL BEGIN ONLY AFTER RECEIVING APPROVED SHOP DRAWINGS. ALL MATERIALS TO BE PROVIDED TO OWNER FOR APPROVAL AND/OR DISTRIBUTION OF APPROVALS.
- PROVIDE MINIMUM OF (2) TWO-YEAR WARRANTY OF ALL WORKMANSHIP.

17. PERMIT REQUIREMENTS:
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FILLING OUT REQUIRED PERMIT JACKETS, PAYING FOR PERMIT FEES, AND SCHEDULING INSPECTIONS. ALL FEES WILL BE PAID BY THE OWNER, BY REIMBURSEMENT TO CONTRACTOR, UPON FURNISHING THE OWNER WITH RECEIPT OF FEES. ADDITIONALLY, THE CONTRACTOR SHALL PRINT DRAWINGS REQUIRED FOR PERMIT AND SUPPLY THE ARCHITECT WITH DRAWINGS FOR FINAL SIGNATURE AND SEAL.

GENERAL PROJECT NOTES

N.T.S.

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NUJCC: NEW JERSEY UNIFORM CONSTRUCTION CODE, NUJCC SUBCHAPTER 6
INTERNATIONAL BUILDING CODE 2018 NJ ED.

REHABILITATION SUBCODE SUBCHAPTER 6:
5:23-6.9 NEW BUILDING ELEMENTS

USE GROUP 2018 IBC-NJ:
SECTION 304.1 BUSINESS GROUP 'B'

TYPE OF CONSTRUCTION:
SB NON-SPRINKLED

AREA OF WORK (TOTAL): ±9,955 S.F.
VOLUME OF WORK: ±159,280 C.F.

BARRIER-FREE SUBCODE NOTE:
THE NEW JERSEY UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23-7 HAS ADOPTED THE ICC/ANSI A117.1-2017 AS THE TECHNICAL DESIGN STANDARD FOR ACCESSIBLE CONSTRUCTION, WITH MODIFICATIONS AS LISTED IN SECTION 5:23-7.2(b). THIS PROJECT HAS BEEN VERIFIED AND IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THIS SECTION.

CODE & REGULATION NOTES:
ALL WORK SHALL CONFORM TO ALL RULES AND REGULATIONS OF THE STATE OF NEW JERSEY, MORRIS COUNTY, AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION. THIS INCLUDES, BUT IS NOT LIMITED TO: FIRE CODES, BUILDING AND CONSTRUCTION CODES, CONTROLLED INSPECTIONS, MATERIAL TESTING, LABOR LAW, AND ZONING AND HEALTH REGULATIONS. ANY WORK WHICH DEVIATES FROM SUCH STANDARDS SHALL BE RECTIFIED TO THE SATISFACTION OF THE GOVERNING AUTHORITY. THE REQUIREMENTS OF GOVERNING AUTHORITIES SHALL SUPERSEDE THE DRAWINGS AND SPECIFICATIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED BY WRITTEN CHANGE ORDER BEFORE SUCH WORK IS STARTED. NON-FAMILIARITY WITH GOVERNING RULES AND REGULATIONS SHALL NOT BE CAUSE FOR AN EXTRA CHARGE IN THE EVENT THAT WORK MUST BE REPLACED FOR NONCOMPLIANCE.

LISTED BELOW ARE THE CURRENT ADOPTED SUBCODES UNDER NEW JERSEY STATE UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23-3):

INTERNATIONAL BUILDING CODE (I.B.C.): 2021 NEW JERSEY EDITION (NJIBC)	ENERGY SUBCODE: ASHRAE STANDARD –90.1: 2019
THE NATIONAL STANDARD PLUMBING CODE (N.S.P.C.): 2021 EDITION	INTERNATIONAL MECHANICAL CODE (I.M.C.): 2021 NEW JERSEY EDITION (NJIMC)
THE NATIONAL ELECTRICAL CODE (N.E.C.): 2020 EDITION (NFPA 70)	INTERNATIONAL FUEL GAS CODE (I.F.G.C.): 2021 NEW JERSEY EDITION (NJIFGC)

BUILDING CODE ANALYSIS

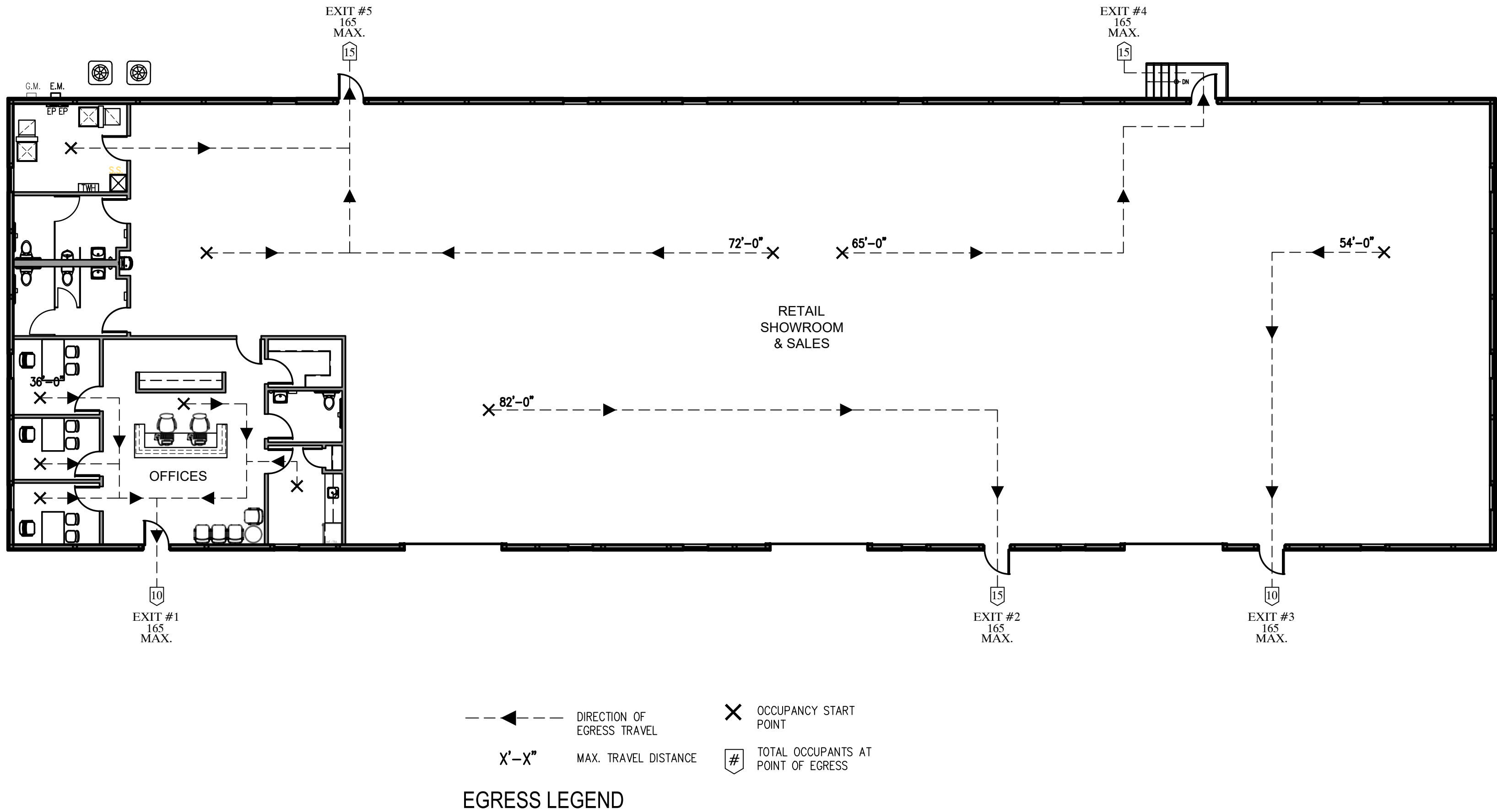
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CHAPTER 7. PLUMBING FIXTURES
NOTE: PLUMBING FIXTURE CALCULATION WERE PROVIDED BASED ON MOST RESTRICTIVE APPROACH UTILIZING THE B-USE REQUIREMENTS TO ESTABLISH THE MINIMUM FIXTURE REQUIREMENTS.

PLUMBING CODE REFERENCE
7.21.1 OCCUPANT LOAD
PLUMBING FIXTURE CALCULATIONS ARE BASED ON ANTICIPATED OCCUPANCY OF TENANT UNDER NORMAL USE CONDITIONS. ANTICIPATED OCCUPANCY IS 50% MALE AND 50% FEMALE.
TOTAL ANTICIPATED DESIGN OCCUPANCY
USE GROUP B – 65 OCCUPANTS
65 (2/3) = 44 OCCUPANTS
44 (1/2) = 22 MEN, 22 WOMEN

TABLE 7.21: MINIMUM NUMBER OF REQUIRED FIXTURES											
CLASSIFICATION	USE GROUP	# OF PERSONS OF EACH SEX	WATER			LAVATORIES			DRINKING WATER FACILITIES	OTHER	
			M	F	UNI	M	F	UNI			
BUSINESS, EMPLOYEE	B	1 – 15	1	1	–	1	1	–	1 PER 100 PEOPLE	1 SERVICE SINK PER FLOOR	
		16 – 50	1	1	–	–	–	–			
		51 – 100	–	–	–	–	–	–			
REQUIRED TOTAL:			2	2	–	1	1	–			
ACTUAL TOTAL:			2	2	1	1	1	1			



← DIRECTION OF EGRESS TRAVEL
X'–X" MAX. TRAVEL DISTANCE
X OCCUPANCY START POINT
TOTAL OCCUPANTS AT POINT OF EGRESS

EGRESS LEGEND

EGRESS PLAN

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PLUMBING FIXTURE ANALYSIS

N.T.S.

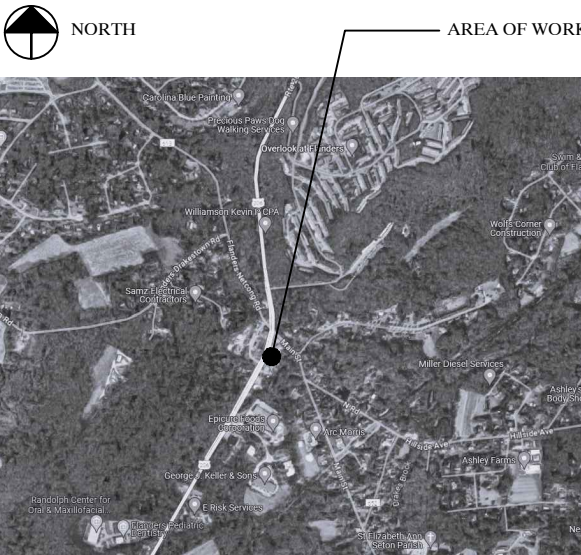
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ARCHITECTS

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NJ License No.: 21A02091700
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Email: DREWMONARQUEAIA@GMAIL.COM
Phone: 603.277.0155

PROPOSED IMPROVEMENTS:
**NEW COMMERCIAL
AUTO SALES BUILDING**

Client Name:
WRIGHT PROPERTIES, LLC
Project Location:
193 ROUTE 206
FLANDERS, NJ 07836
BLOCK: 5401 LOT: 29



KEY PLAN:

LIST OF DRAWINGS:

- | | |
|-----|---------------------------|
| A-1 | COVER SHEET & CODE REVIEW |
| A-2 | PROPOSED FLOOR PLAN |
| A-3 | PROPOSED ELEVATIONS |

02/02/24 ZONING / PLANNING
BOARD SUBMISSION

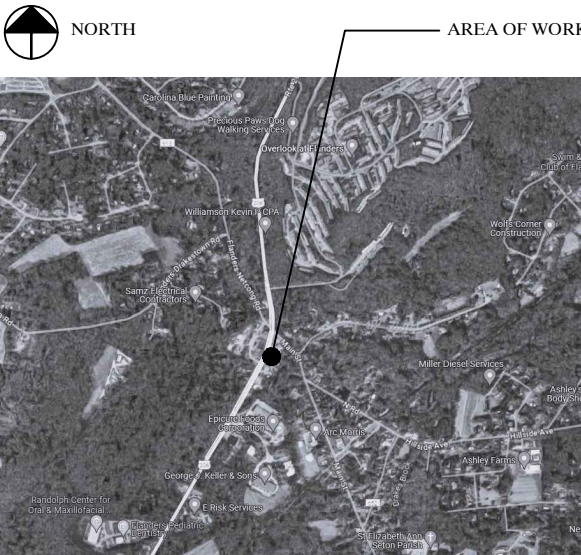
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SIGNATURE
☐ Drew Monarque, A.I.A.
New Jersey Architect 20917

THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY VALID IF THE DRAWING IS 24" x 36". DRAWINGS WHICH ARE NOT PLOTTED AT THE SPECIFIED SHEET SIZE ARE NOT TO SCALE.

SHEET NUMBER
A-1
COVER SHEET &
CODE REVIEW

02 FEBRUARY 2024
RELEASE DATE © COPYRIGHT 2024

PROPOSED IMPROVEMENTS:
NEW COMMERCIAL
AUTO SALES BUILDINGClient Name:
WRIGHT PROPERTIES, LLC
Project Location:
193 ROUTE 206
FLANDERS, NJ 07836
BLOCK: 5401 LOT: 29

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REV	DATE	REMARK
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SIGNATURE

Drew Monarque, A.I.A.
New Jersey Architect

20917

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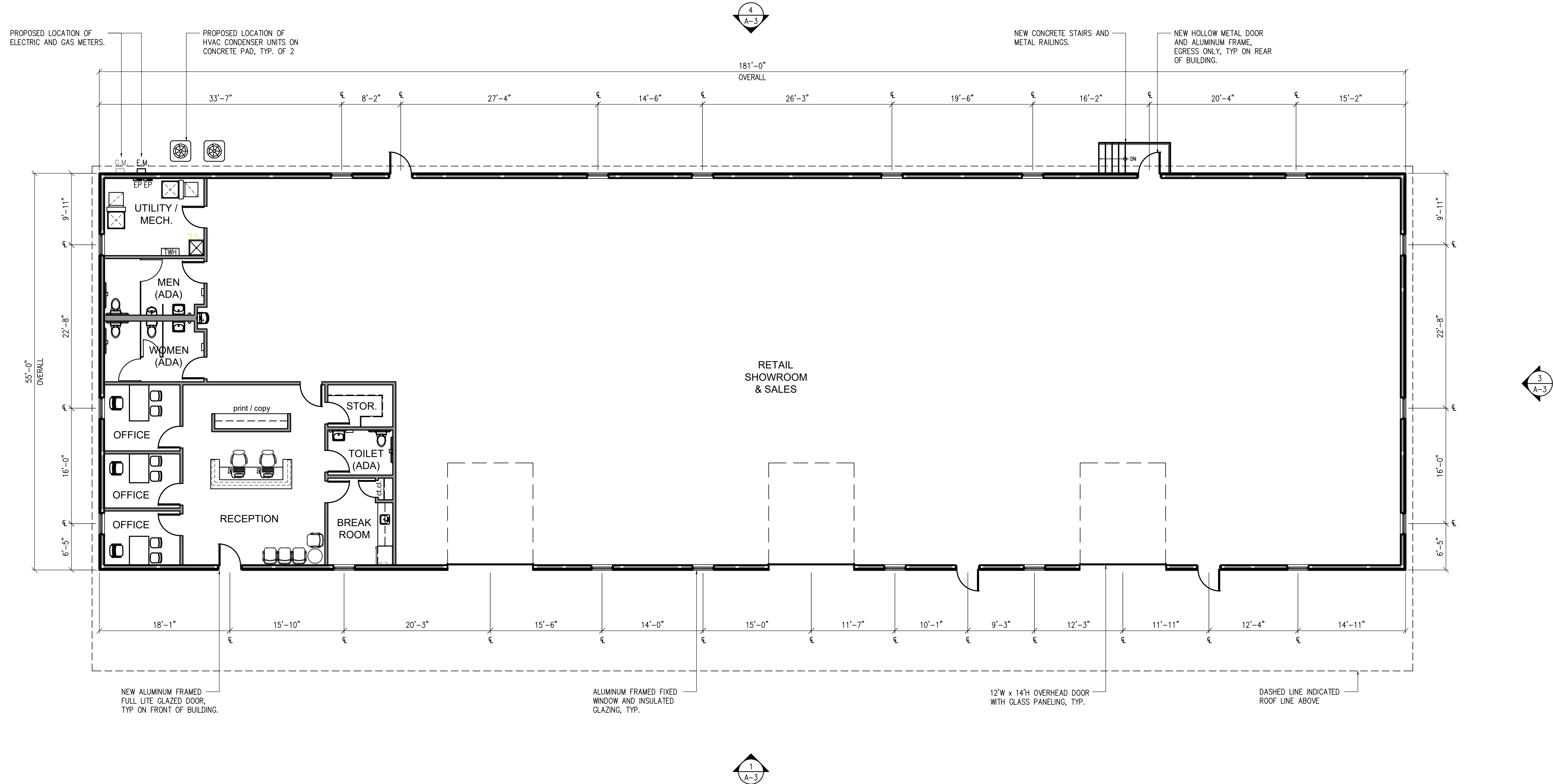
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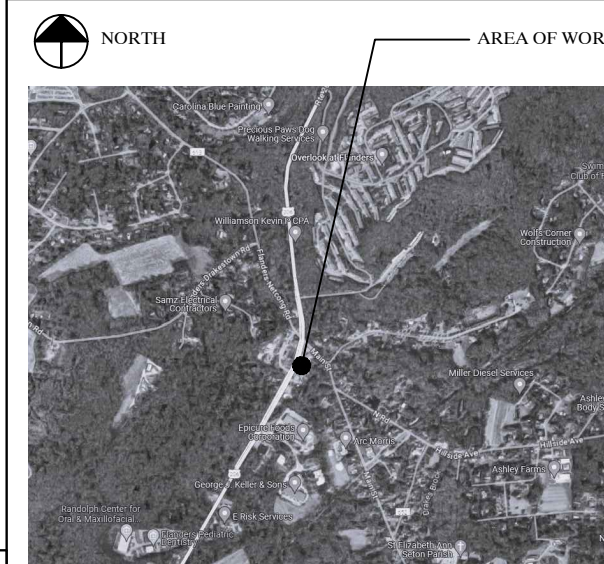
A-2
PROPOSED
FLOOR PLAN

UTILITY NOTE:

PROPOSED LOCATIONS OF SERVICE, DEVICES,
AND EQUIPMENT ARE SHOWN FOR INTENT.
ACTUAL LOCATIONS TO BE DETERMINED
DURING CONSTRUCTION DOCUMENTS.

PLAN LAYOUT NOTE:

PROPOSED LAYOUT IS PROVIDED FOR INTENT OF THE
INTENDED PROGRAMMING WITHIN THE BUILDING
FOOTPRINT. ACTUAL LAYOUT MAY VARY AND TO BE
DETERMINED DURING CONSTRUCTION DOCUMENTS.



KEY PLAN:

LIST OF DRAWINGS:

- | | |
|-----|---------------------------|
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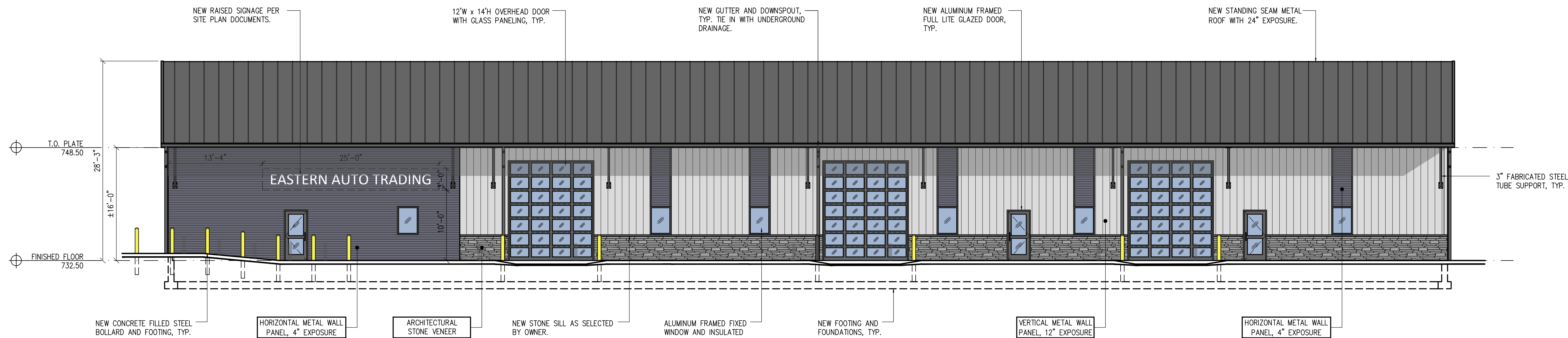
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SHEET NUMBER

A-3

PROPOSED
ELEVATIONS

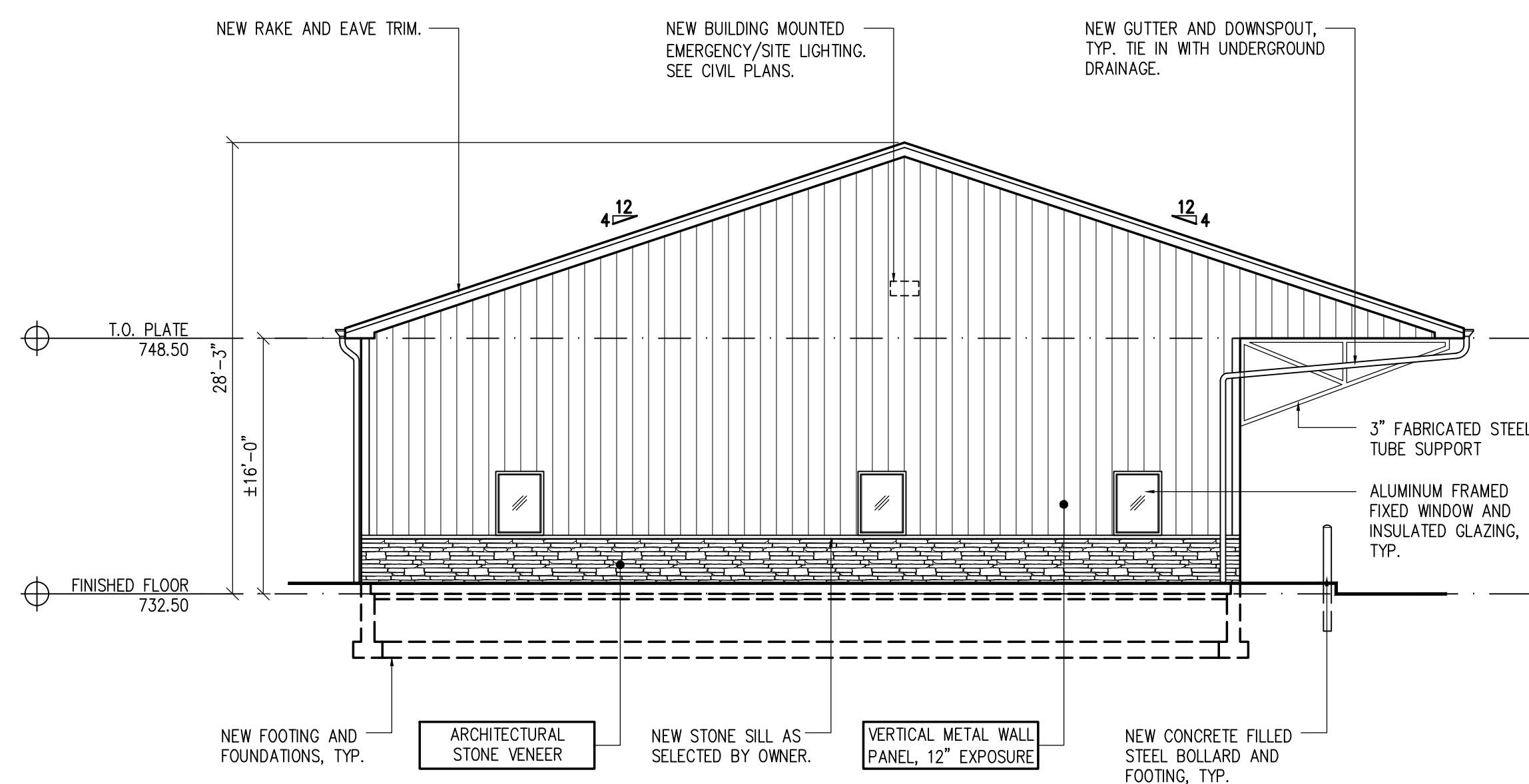
02 FEBRUARY 2024
RELEASE DATE: © COPYRIGHT 2024



BUILDING ELEVATION - FRONT

SCALE : 1/8" = 1'-0"

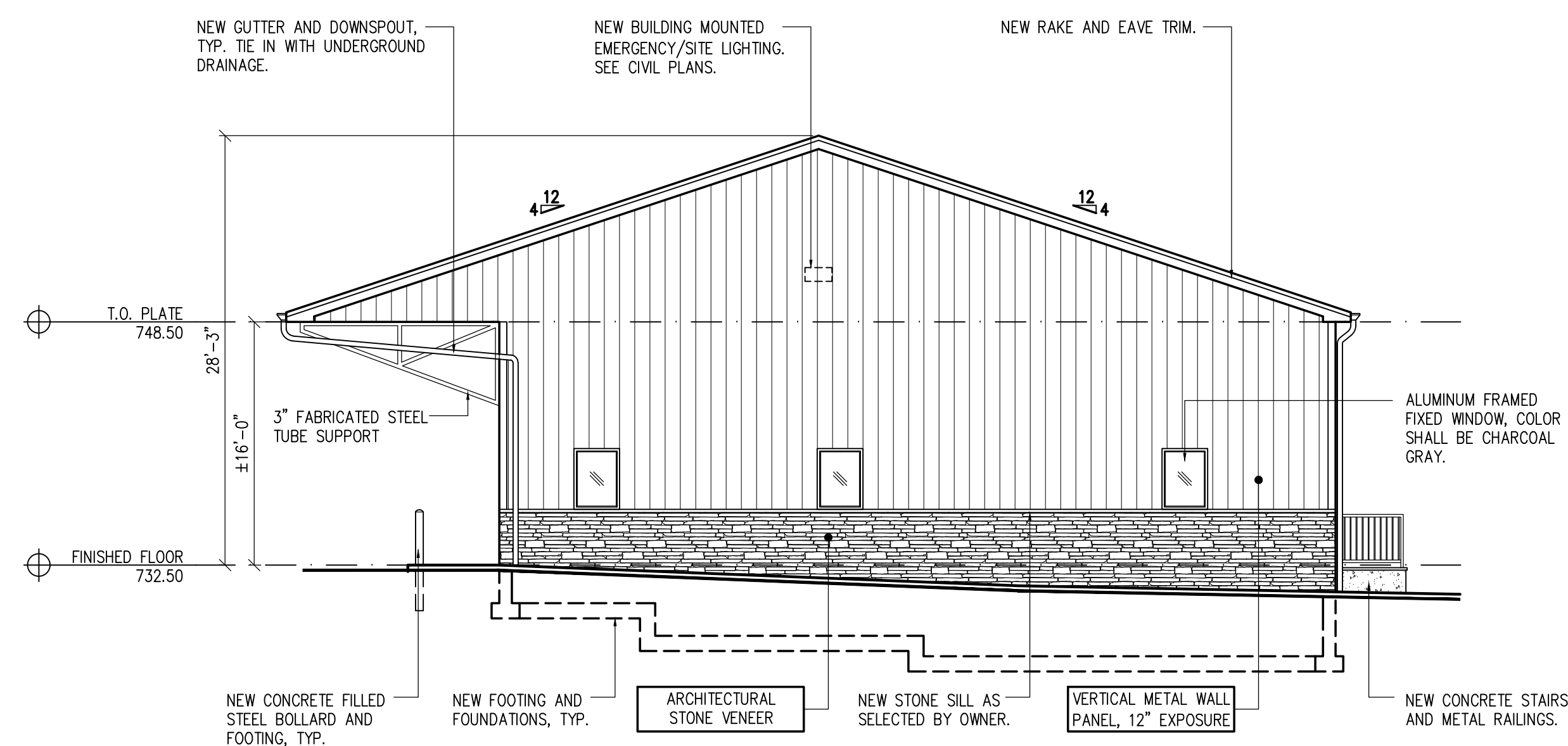
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BUILDING ELEVATION - LEFT SIDE

SCALE : 1/8" = 1'-0"

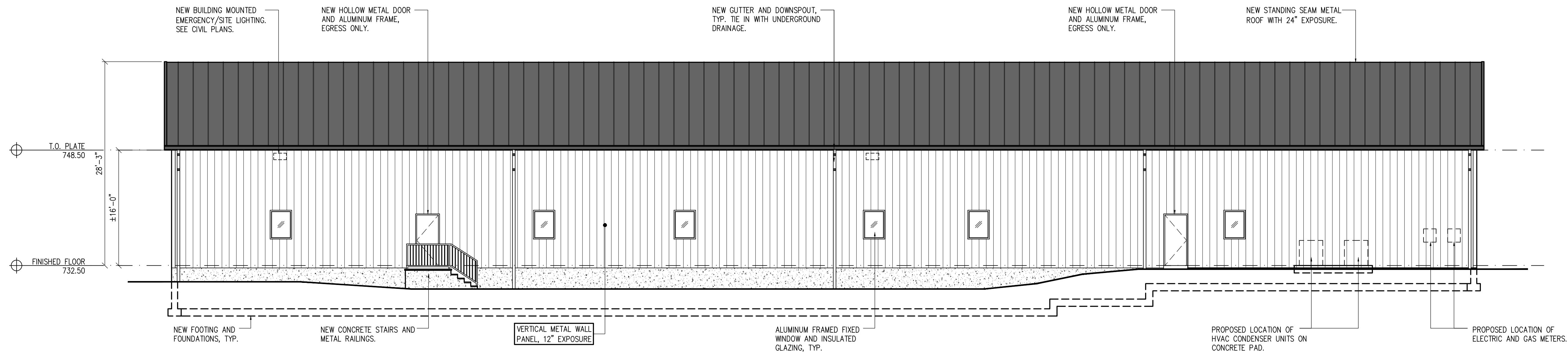
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BUILDING ELEVATION - RIGHT SIDE

SCALE : 1/8" = 1'-0"

3



BUILDING ELEVATION - REAR

SCALE : 1/8" = 1'-0"

4