

MINOR SUBDIVISION

FOR:

LOT 7 BLOCK 8200

"412 ROUTE 46" - "MOTION CHEVROLET"

LOT 8 BLOCK 8200

"1 HARRIS LANE"

LOT 9 BLOCK 8200

"1 HARRIS LANE"

LOT 10 BLOCK 8200

"3 HARRIS LANE"

PRELIMINARY & FINAL SITE PLANS

FOR:

NEW LOT 10 BLOCK 8200

"3 HARRIS LANE"

SITUATED IN :

**THE TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY**

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF LOTS 7, 8, 9 & 10 BLOCK 8200

BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
900	1	CURRENT OWNER 69 STEPHENS PARK RD HACKETTSTOWN, NJ 07840	8200	7	CURRENT OWNER 412 ROUTE 46 HACKETTSTOWN, NJ 07840
900	2	CURRENT OWNER 419 CRAWFORD TER UNION, NJ 07063	8200	9	CURRENT OWNER 412 ROUTE 46 HACKETTSTOWN, NJ 07840
900	3	CURRENT OWNER 416 SANDSHORE RD HACKETTSTOWN, NJ 07840	8200	10	CURRENT OWNER 379 ROUTE 46 HACKETTSTOWN, NJ 07840
8100	10	CURRENT OWNER 200 CENTRAL AVE MOUNTAINSIDE, NJ 07092	8200	11	CURRENT OWNER 5 HARRIS LANE HACKETTSTOWN, NJ 07840
8100	45	CURRENT OWNER 200 CENTRAL AVE MOUNTAINSIDE, NJ 07092	8200	12	CURRENT OWNER 7 HARRIS LANE HACKETTSTOWN, NJ 07840
8100	46	CURRENT OWNER 375 ROUTE 46 EAST HACKETTSTOWN, NJ 07840	8200	13	CURRENT OWNER 417 SANDSHORE RD HACKETTSTOWN, NJ 07840
8100	47	CURRENT OWNER 373 ROUTE 46 HACKETTSTOWN, NJ 07840	8300	5	CURRENT OWNER 112 EAST AVENUE, UNIT #1 HACKETTSTOWN, NJ 07840
8100	48	CURRENT OWNER 39 ABBOTT RD TOWACO, NJ 07082	8300	5.01	CURRENT OWNER 5 DAVENPORT RD GREEN POND, NJ 07435
8100	49	CURRENT OWNER 455 ROUTE 46 (EZ STORAGE) HACKETTSTOWN, NJ 07840	8300	5.02	CURRENT OWNER 424 SAND SHORE RD HACKETTSTOWN, NJ 07840
8100	50	CURRENT OWNER 455 ROUTE 46 (EZ STORAGE) HACKETTSTOWN, NJ 07840	8301	1	CURRENT OWNER 423 SANDSHORE RD HACKETTSTOWN, NJ 07840
8200	6	CURRENT OWNER 701 RTS 202/208 BRIDGEWATER, NJ 08807	8301	2	CURRENT OWNER 28 HARRIS LANE HACKETTSTOWN, NJ 07840
8200	6.02	CURRENT OWNER 2 NOA CT HACKETTSTOWN, NJ 07840	8301	3	CURRENT OWNER 8 HARRIS LANE HACKETTSTOWN, NJ 07840
8200	6.03	CURRENT OWNER 4 NOA CT HACKETTSTOWN, NJ 07840	8301	4	CURRENT OWNER 6 HARRIS LANE HACKETTSTOWN, NJ 07840
8200	6.04	CURRENT OWNER 6 NOA CT HACKETTSTOWN, NJ 07840	8301	5	CURRENT OWNER 476 ROUTE 46 HACKETTSTOWN, NJ 07840
8200	6.05	CURRENT OWNER 8 NOA CT HACKETTSTOWN, NJ 07840			

UTILITIES

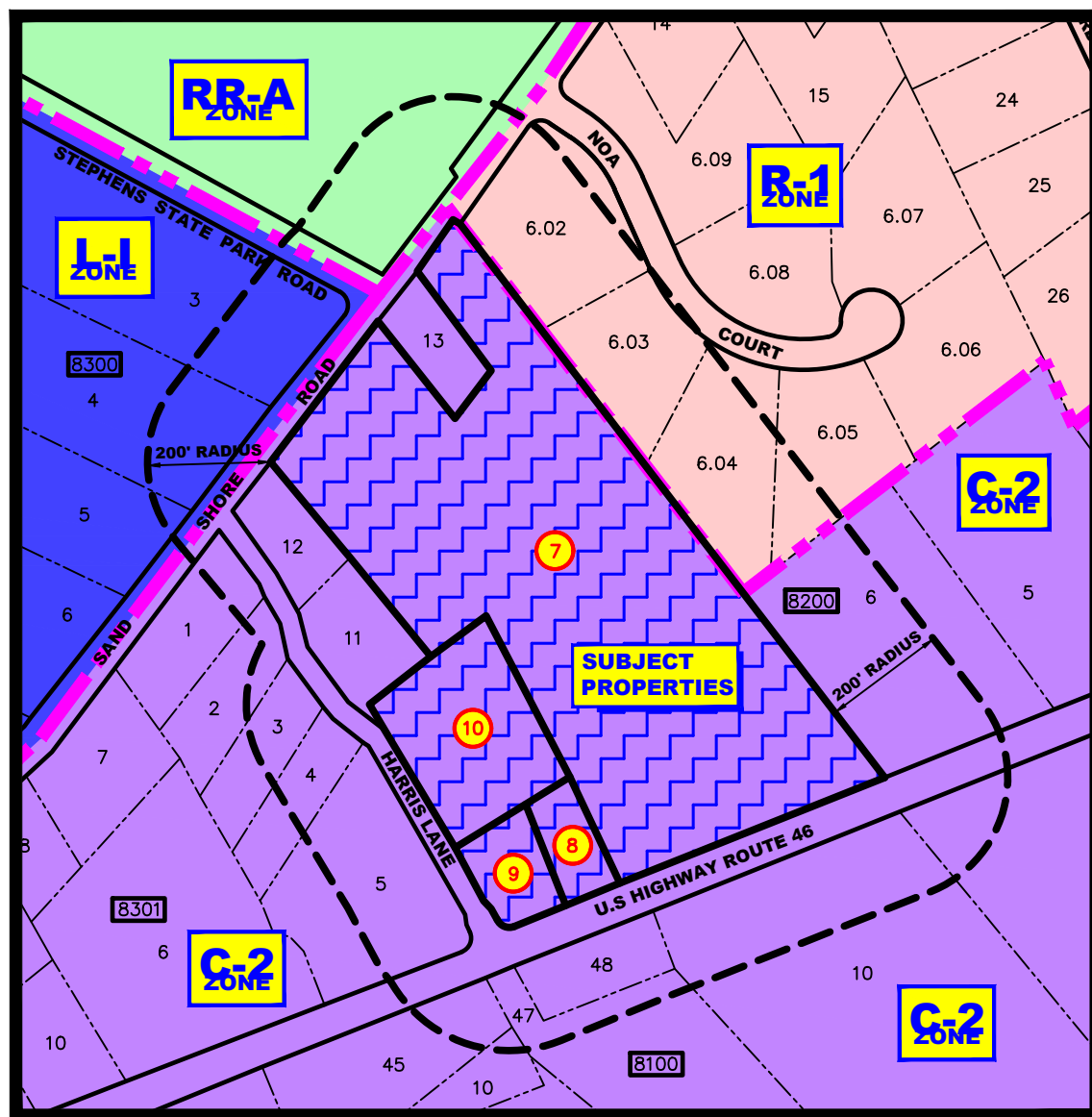
BRUCE D. SMITH HACKETTSTOWN MUNICIPAL UTILITIES AUTHORITY PO BOX 450 HACKETTSTOWN, NJ 07840	N.J. DEPT OF TRANSPORTATION 1035 PARKWAY DR, CN 600 TRENTON, NJ 08625
R. ALBANESE NEW JERSEY NATURAL GAS 1415 WYCKOFF ROAD WALL, NJ 07719	PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 07102
BRUCE REYNOLDS COLUMBIA GAS TRANSMISSION CORP 1470 POORHOUSE ROAD DOWNTOWN, PA 19335-342	NEW JERSEY-AMERICAN WATER CO. INC PO BOX 5627 CHERRY HILL, NJ 08034
MT. OLIVE TWP, WATER & SEWER DEPT PO BOX 450 204 FLANDERS-DRAKESTOWN ROAD MT. OLIVE, NJ 07828	APPLIED WASTEWATER MGMT 2 CLERICO LN HILLSBOROUGH, NJ 08844

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BOARD APPROVAL BLOCK

CHAIRMAN	DATE
SECRETARY	DATE
TOWNSHIP ENGINEER	DATE



KEY MAP

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

PREPARED BY :

CIVIL ENGINEERING INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716

GENERAL NOTES

- APPLICANT: BEN DELLAMO
123 LEDGEWOOD AVE.
NETCONG, NJ 07857
973-332-1464
OWNER: SEE BELOW
- THE SUBJECT PROPERTIES ARE KNOWN AS LOTS 7, 8, 9, AND 10 BLOCK 8200 AS SHOWN ON SHEET 82 OF THE TOWNSHIP OF MOUNT OLIVE TAX MAPS. LOT DIMENSIONS (METES AND BOUNDS) FOR LOT 7 BLOCK 8200 PER SURVEY PREPARED BY CIVIL ENGINEERING, INC., ROBERT H. JORDAN JR., N.J.P.L.S. No. 34485, DATED 6/16/23. LOT DIMENSIONS FOR LOTS 8 & 9 BLOCK 8200 PER SURVEY PREPARED BY CIVIL ENGINEERING, INC., ROBERT H. JORDAN JR., N.J.P.L.S. No. 34485, DATED 6/16/23. LOT DIMENSIONS FOR LOT 10 BLOCK 8200 PER SURVEY PREPARED BY CIVIL ENGINEERING, INC., ROBERT H. JORDAN JR., N.J.P.L.S. No. 34485, DATED 6/16/23.
- TOPOGRAPHIC INFORMATION FOR LOTS 7, 8, AND 9 PER MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY LOTS 7, 8 & 9 BLOCK 8200" PREPARED BY CAREAGA ENGINEERING, INC., CHARLES WORTHINGTON, N.J.P.L.S. No. 34026, DATED 6/23/11. VERTICAL DATUM LISTED AS SCALED NAVD 88. TOPOGRAPHIC INFORMATION FOR LOT 10 BLOCK 8200 PERFORMED BY CIVIL ENGINEERING, INC., ROBERT H. JORDAN JR., N.J.P.L.S. #34485 ON 5/17/23 & 6/15/23.
- WATER IS SUPPLIED TO LOT 7 BLOCK 8200 BY AN EXISTING ON SITE WELL. NO CHANGES ARE PROPOSED TO THIS SYSTEM. LOT 9 BLOCK 8200 WAS PREVIOUSLY THE SITE OF A RESIDENTIAL DWELLING WITH AN EXISTING ON SITE WELL. THE DWELLING HAS BEEN REMOVED AND THE EXISTING WELL WILL BE ABANDONED PER NJDEP AND LOCAL REGULATIONS. WATER IS SUPPLIED TO LOT 10 BLOCK 8200 BY AN EXISTING ON SITE SHALLOW WELL. THIS WELL WILL BE ABANDONED PER NJDEP AND LOCAL REGULATIONS AND A PROPOSED NEW ON SITE WELL WILL BE DRILLED.
- SANITARY SEWERAGE FOR LOT 7 BLOCK 8200 IS PROVIDED BY AN EXISTING ON SITE SEPTIC DISPOSAL SYSTEM, CONSISTING OF TWO (2) - 2,000 GAL CONCRETE SEPTIC TANKS AND AN APPROX. 40' X 56' INCREASE IN SEWERAGE FLOWS ARE PROPOSED FOR THIS SYSTEM. THE LOCATION AND SIZE OF THE SEPTIC COMPONENTS ON PLAN PER "SITE PLAN SEWAGE DISPOSAL SYSTEM, KEVIN CHEVROLET & OLDSMOBILE INC." BY RICHARD N. HARRISON, N.J.P.E. #09779, DATED SEPT. 1985. SANITARY SEWERAGE FOR LOT 9 BLOCK 8200 WAS PREVIOUSLY PROVIDED BY AN EXISTING ON SITE SEPTIC SYSTEM CONSISTING OF TWO SEPTIC TANKS AND A SEPTIC DISPOSAL AREA. THIS SYSTEM HAS BEEN ABANDONED IN PLACE. LOCATION OF EXISTING SEPTIC SYSTEM ON ADJACENT LOT 11 BLOCK 8200 PER SURVEY BY LAKELAND SURVEYING, MARC J. CIFONE, N.J.P.L.S. #41329, DATED 9/20/12.
- ELECTRICAL, TELEPHONE & CABLE SERVICE IS PROVIDED TO LOT 7 BLOCK 8200 BY EXISTING OVERHEAD CONNECTIONS TO EXISTING UTILITY POLES ON THE PROPERTY AND CONNECTED UNDERGROUND FROM A POLE WITHIN THE PROPERTY ALONG THE ACCESS DRIVE. ELECTRICAL, TELEPHONE & CABLE SERVICE TO BE PROVIDED TO LOT 10 BLOCK 8200 BY A PROPOSED UNDERGROUND CONNECTION TO AN EXISTING UTILITY POLES IN THE HARRIS LANE RIGHT OF WAY.
- GAS SERVICE IS PROVIDED TO LOT 7 BLOCK 8200 BY AN EXISTING UNDERGROUND SERVICE LINE ALONG THE ENTRANCE DRIVE, CONNECTED TO AN EXISTING GAS MAIN WITHIN THE ROUTE 46 RIGHT OF WAY.
- REFUSE PICKUP FOR LOT 7 BLOCK 8200 IS CONTRACTED WITH A PRIVATE HAULER. PROPOSED NEW LOT 10 BLOCK 8200 IS PROPOSED TO ALSO BE SERVICED BY A PRIVATE HAULER FOR REFUSE PICKUP.
- DETAILS AND STRUCTURAL CALCULATIONS FOR PROPOSED RETAINING WALL #1 TO BE PROVIDED BY OTHERS, SIGNED AND SEALED WALL PLANS (FROM A PROFESSIONAL ENGINEER) TO BE SUBMITTED TO TOWNSHIP BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
- PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #3403530006B, PANEL 6 OF 11, DATED MAY 15, 1985, THE SUBJECT PROPERTY IS NOT WITHIN ANY KNOWN FLOOD ZONES.
- NO SOIL SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL FROM THE MORRIS COUNTY SOIL CONSERVATION DISTRICT AND THE TOWNSHIP ENGINEER.
- ALL SOIL EROSION AND SEDIMENT CONTROL PROCEDURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION.
- CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY TYPICAL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING SAFETY; "CONSTRUCTION SAFETY CODE", AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION" AND "BUILDING CODE".
- ALL SOIL TESTING FOR STRUCTURAL COMPONENTS TO BE DONE BY OTHERS. THIS INCLUDES BUT IS NOT LIMITED TO STRUCTURAL STABILITY, FOOTING DESIGN, PRESENCE OR ABSENCE OF BURIED OR UNSUITABLE MATERIAL AND DEPTH TO ROCK. SITE DESIGN ENGINEER ACCEPTS NO LIABILITY FOR LOSS TIME OR ADDITIONAL EXPENSE DUE TO CHANGES OCCURRING FROM AFORESAID CONDITION.
- BUILDER/OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE ACCEPTS RESPONSIBILITY FOR BUILDING ELEVATIONS SHOWN ON APPROVED ENGINEERING DESIGN PLANS. IF CHANGES ARE REQUESTED ONCE EXCAVATION HAS BEGUN, THE SITE DESIGN ENGINEER MUST BE NOTIFIED IMMEDIATELY. THE ENGINEER ACCEPTS NO LIABILITY FOR ANY LOSS TIME OR ADDITIONAL EXPENSE DUE TO ELEVATION CHANGES OCCURRING FROM FIELD MODIFICATIONS.

PROPOSAL

THE SUBJECT PROPERTIES ARE ADJACENT LOTS IN THE C-2 COMMERCIAL ZONE AT THE INTERSECTION OF HARRIS LANE AND ROUTE 46. LOTS 7 & 8 BLOCK 8200 ARE CURRENTLY THE SITE OF MOTION CHEVROLET, A COMMERCIAL NEW AND USED AUTO SALES AND SERVICE DEALER. THE SITE CONTAINS A 16,871 S.F. ONE STORY PRINCIPAL STRUCTURE, TWO ACCESSORY SHEDS, AND BOTH PAVED AND GRAVEL PARKING AREAS FOR CUSTOMERS AND DISPLAY. LOT 9 BLOCK 8200 WAS PREVIOUSLY DEVELOPED AS A SINGLE FAMILY DWELLING (WHICH WAS NON-CONFORMING IN THE C-2 ZONE), WITH AN ASSOCIATED DRIVEWAY AND SHED. ALL STRUCTURES HAVE BEEN REMOVED FROM THE LOT AND THE SITE IS CURRENTLY VACANT. LOT 10 BLOCK 8200 IS ALSO CURRENTLY VACANT AND WAS THE FORMER SITE OF A LAWN & GARDEN CENTER BUSINESS. THE SITE CONSISTED OF A RESIDENTIAL DWELLING, AN ACCESSORY BARN, AND TWO EGRESS POINTS TO HARRIS LANE, WITH A GRAVEL/STONE DRIVEWAY & PARKING LOT CONNECTING THEM. THE EXISTING DWELLING WAS PREVIOUSLY REMOVED LEAVING ONLY AN EXISTING CONCRETE SLAB (775 S.F.) AND GRAVEL PARKING LOT. THE ACCESSORY BARN (1,175 S.F.) HAD PARTIALLY COLLAPSED AND HAS RECENTLY ALSO BEEN REMOVED.

THE OWNER/APPLICANT WISHES TO COMBINE LOTS 8, 9 & 10, ALONG WITH A PORTION OF LOT 7, TO CREATE A SITE FOR THE NEW LOCATION OF A COMMERCIAL AUTO SALES DEALERSHIP & SERVICE FACILITY BUSINESS, "MOTION KIA". ANY EXISTING STRUCTURES AND GRAVEL ON THE COMBINED LOTS WOULD BE REMOVED AND A NEW, SALES & SERVICE FACILITY (19,103 S.F. FOOTPRINT) IS PROPOSED. THE FIRST FLOOR (19,103 G.F.A.) WOULD CONTAIN SALES, SHOWROOM & OFFICE AREAS. THE SECOND FLOOR WOULD CONTAIN A SMALL MEZANINE AREA (200 G.F.A.) WITH ADDITIONAL OFFICE SPACE. THE EXISTING GRAVEL PARKING LOT WOULD BE REDESIGNED AND REPLACED WITH A PAVED ASPHALT PARKING/DISPLAY AREA WITH BELGIAN BLOCK CURBING. A NEW PROPOSED ON SITE WELL AND SUBSURFACE SEPTIC DISPOSAL SYSTEM ARE ALSO PROPOSED. A NEW STORMWATER MANAGEMENT SYSTEM WOULD BE INSTALLED WITHIN THE LOT TO COLLECT AND DIRECT RUNOFF TO BOTH AN UNDERGROUND STORAGE SYSTEM (FOR THE ROOF AREA) AND AN INFILTRATION BASIN (FOR THE PARKING LOT), DESIGNED TO INFILTRATE THE 100 YEAR STORM. NEW LIGHTING IS PROPOSED FOR THE PARKING AND DISPLAY AREAS AND THE SITE WILL BE FINISHED WITH NEW SIGNAGE, STRIPING AND LANDSCAPING.

HOURS OF OPERATIONS

THE PROPOSED FACILITY WILL OPERATE YEAR ROUND, MONDAY THROUGH FRIDAY 9:00 AM TO 8:00 PM AND SATURDAY 9:00 AM TO 7:00 PM. THE FACILITY WILL BE CLOSED ON SUNDAYS.

ZONE REQUIREMENTS

THE SUBJECT PROPERTIES ARE LOCATED IN MOUNT OLIVE TOWNSHIP IN THE C-2 COMMERCIAL ZONE AND ARE SUBJECT TO THE FOLLOWING:

LOT	REQUIRED	EXISTING LOT 7	EXISTING LOT 8	EXISTING LOT 9	EXISTING LOT 10
MINIMUM LOT AREA	2 AC.	9.960 AC.	0.369 AC.*	0.429 AC.*	1.506 AC.*
MINIMUM LOT WIDTH @ SETBACK	200 FT.	451.33 FT. (RT. 46)/ 290.09 FT. (SAND. RD.)	89.17 FT. (RT. 46)*	120.71 FT. (RT. 46)*	283.69 FT.
MINIMUM LOT DEPTH	250 FT.	N/A	180.50 FT.*	N/A	229.21 FT.*
MAXIMUM LOT COVERAGE	60%	29.75%	56.50%	1.98%	40.95%
PRINCIPAL BUILDING:	REQUIRED	EXISTING	EXISTING	EXISTING	EXISTING
MAXIMUM BUILDING COVERAGE	20%	3.92%	N/A	N/A	N/A
MINIMUM FRONT YARD SETBACK	90 FT.	220.0 FT. (RT. 46)/ 636.4 FT. (SAND. RD.)	N/A	N/A	N/A
MINIMUM SIDE YARD SETBACK	60 FT.	122.3 FT.(L)/93.7 FT.(R)	N/A	N/A	N/A
MINIMUM REAR YARD SETBACK	50 FT.	N/A	N/A	N/A	N/A
MAXIMUM FLOOR AREA RATIO	.30	.04	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	30 FT.	21.08 FT.	N/A	N/A	N/A
LOT	REQUIRED	PROPOSED REMAINDER LOT 7 (MOTION CHEVROLET)	PROPOSED NEW LOT 10 (NEW MOTION KIA)		
MINIMUM LOT AREA	2 AC.	9.646 AC.	2.573 AC.		
MINIMUM LOT WIDTH @ SETBACK	200 FT.	451.33 FT. (RT. 46)/ 290.09 FT. (SAND. RD.)	205.86 FT. (RT. 46)/ 455.94 (HARRIS LN.)		
MINIMUM LOT DEPTH	250 FT.	N/A	N/A		
MAXIMUM LOT COVERAGE	60%	29.51%	58.71%		
PRINCIPAL BUILDING:	PROPOSED	PROPOSED	PROPOSED		
MAXIMUM BUILDING COVERAGE	20%	4.05%	17.04%		
MINIMUM FRONT YARD SETBACK	90 FT.	220.0 FT. (RT. 46)/ 636.4 FT. (SAND. RD.)	135.6 FT. (RT. 46)/ 53.2 FT. (HARRIS LN.)*		
MINIMUM SIDE YARD SETBACK	60 FT.	122.3 FT.(L)/93.7 FT.(R)	53.0 FT.		
MINIMUM REAR YARD SETBACK	50 FT.	N/A	N/A		
MAXIMUM FLOOR AREA RATIO	.30	.04	.17		
MAXIMUM BUILDING HEIGHT	30 FT.	21.08 FT.	29.98 FT.		

* EXISTING NON-CONFORMING CONDITION
* PROPOSED VARIANCE

VARIANCES REQUESTED

PRINCIPAL BUILDING (LOT 10):	REQUIRED	PROPOSED
MINIMUM FRONT YARD SETBACK	90 FT.	53.2 FT. (HARRIS LN.)
MINIMUM SIDE YARD SETBACK	60 FT.	53.0 FT.

NJ HIGHLANDS ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE NJ HIGHLANDS PRESERVATION AREA. THE PROPOSED IMPROVEMENTS WILL QUALIFY FOR A HIGHLANDS EXEMPTION (EXEMPTION #4), AS SHOWN ON SHEET 14.

WAIVERS REQUESTED

ENVIRONMENTAL IMPACT STATEMENT (EXISTING BUSINESS)

SHEET 1 OF 14

COVER SHEET

FOR:

LOTS 7, 8, 9 & 10 BLOCK 8200

"MOTION KIA"

3 HARRIS LANE

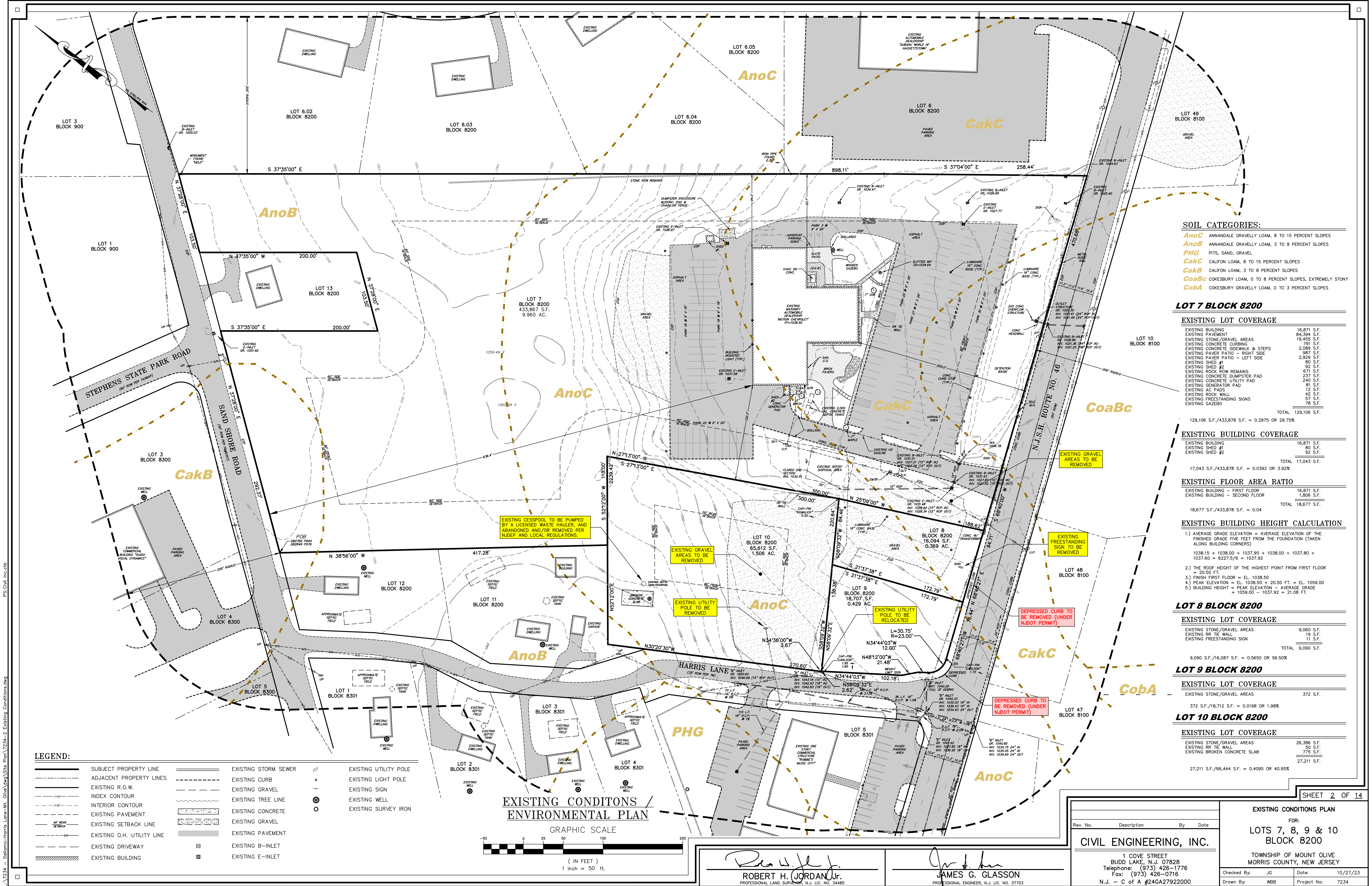
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG	Date: 10/27/23
Drawn By: WEBB	Project No: 7234

CIVIL ENGINEERING, INC.

1 COVE STREET
BUDD LAKE, N.J. 07828
Telephone: (973) 426-1776
Fax: (973) 426-0716
N.J. - C of A #24GA27922000

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703



SOIL CATEGORIES:

AnoC	ANNANDALE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
AnoB	ANNANDALE GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES
PHG	PITS, SAND, GRAVEL
CakC	CALIFON LOAM, 8 TO 15 PERCENT SLOPES
CakB	CALIFON LOAM, 3 TO 8 PERCENT SLOPES
CoaBc	COKEBURY LOAM, 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
CobA	COKEBURY GRAVELLY LOAM, 0 TO 3 PERCENT SLOPES

LOT 7 BLOCK 8200

EXISTING LOT COVERAGE	
EXISTING BUILDING	16,871 S.F.
EXISTING PAVEMENT	84,394 S.F.
EXISTING STONE/GRAVEL AREAS	19,455 S.F.
EXISTING CONCRETE CURBING	791 S.F.
EXISTING CONCRETE SIDEWALK & STEPS	2,089 S.F.
EXISTING PAVEMENT PATIO - RIGHT SIDE	987 S.F.
EXISTING PAVEMENT PATIO - LEFT SIDE	2,929 S.F.
EXISTING SHED #1	80 S.F.
EXISTING SHED #2	92 S.F.
EXISTING ROCK ROW REMAINS	671 S.F.
EXISTING CONCRETE DUMPSITE PAD	237 S.F.
EXISTING CONCRETE UTILITY PAD	240 S.F.
EXISTING GENERATOR PAD	91 S.F.
EXISTING AC PADS	12 S.F.
EXISTING ROCK WALL	42 S.F.
EXISTING FREESTANDING SIGNS	57 S.F.
EXISTING GAZEBO	78 S.F.
TOTAL	128,106 S.F.

129,106 S.F./433,878 S.F. = 0.2975 OR 29.75%

EXISTING BUILDING COVERAGE

EXISTING BUILDING	16,871 S.F.
EXISTING SHED #1	80 S.F.
EXISTING SHED #2	92 S.F.
TOTAL	17,043 S.F.

17,043 S.F./433,878 S.F. = 0.0392 OR 3.92%

EXISTING FLOOR AREA RATIO

EXISTING BUILDING - FIRST FLOOR	16,871 S.F.
EXISTING BUILDING - SECOND FLOOR	1,806 S.F.
TOTAL	18,677 S.F.

18,677 S.F./433,878 S.F. = 0.04

EXISTING BUILDING HEIGHT CALCULATION

1.) AVERAGE GRADE ELEVATION = AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION (TAKEN ALONG BUILDING CORNERS)	
1038.15 + 1038.00 + 1037.95 + 1038.00 + 1037.80 + 1037.60 = 6227.50	6227.50 / 6 = 1037.92
2.) THE ROOF HEIGHT OF THE HIGHEST POINT FROM FIRST FLOOR = 20.50 FT.	
3.) FINISH FIRST FLOOR = EL. 1038.50	
4.) PEAK ELEVATION = EL. 1038.50 + 20.50 FT. = EL. 1059.00	
5.) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE = 1059.00 - 1037.92 = 21.08 FT.	

LOT 8 BLOCK 8200

EXISTING LOT COVERAGE	
EXISTING STONE/GRAVEL AREAS	9,060 S.F.
EXISTING RR TIE WALL	19 S.F.
EXISTING FREESTANDING SIGN	11 S.F.
TOTAL	9,090 S.F.

9,090 S.F./16,087 S.F. = 0.5650 OR 56.50%

LOT 9 BLOCK 8200

EXISTING LOT COVERAGE	
EXISTING STONE/GRAVEL AREAS	372 S.F.
TOTAL	372 S.F.

372 S.F./18,712 S.F. = 0.0198 OR 1.98%

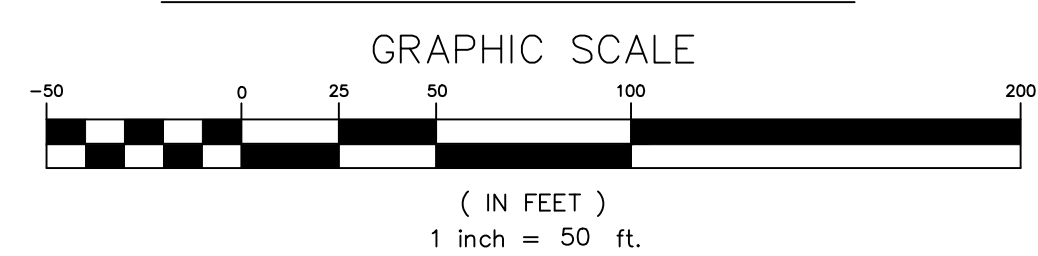
LOT 10 BLOCK 8200

EXISTING LOT COVERAGE	
EXISTING STONE/GRAVEL AREAS	26,386 S.F.
EXISTING RR TIE WALL	50 S.F.
EXISTING BROKEN CONCRETE SLAB	775 S.F.
TOTAL	27,211 S.F.

27,211 S.F./66,444 S.F. = 0.4095 OR 40.95%

LEGEND:

--- SUBJECT PROPERTY LINE	--- EXISTING STORM SEWER	--- EXISTING UTILITY POLE
--- ADJACENT PROPERTY LINES	--- EXISTING CURB	--- EXISTING LIGHT POLE
--- EXISTING R.O.W.	--- EXISTING GRAVEL	--- EXISTING SIGN
--- INDEX CONTOUR	--- EXISTING TREE LINE	--- EXISTING WELL
--- INTERIOR CONTOUR	--- EXISTING CONCRETE	--- EXISTING SURVEY IRON
--- EXISTING PAVEMENT	--- EXISTING GRAVEL	
--- EXISTING SETBACK LINE	--- EXISTING PAVEMENT	
--- EXISTING O.H. UTILITY LINE	--- EXISTING B-INLET	
--- EXISTING DRIVEWAY	--- EXISTING E-INLET	
--- EXISTING BUILDING		



ROBERT H. JORDAN, Jr.
PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 34485

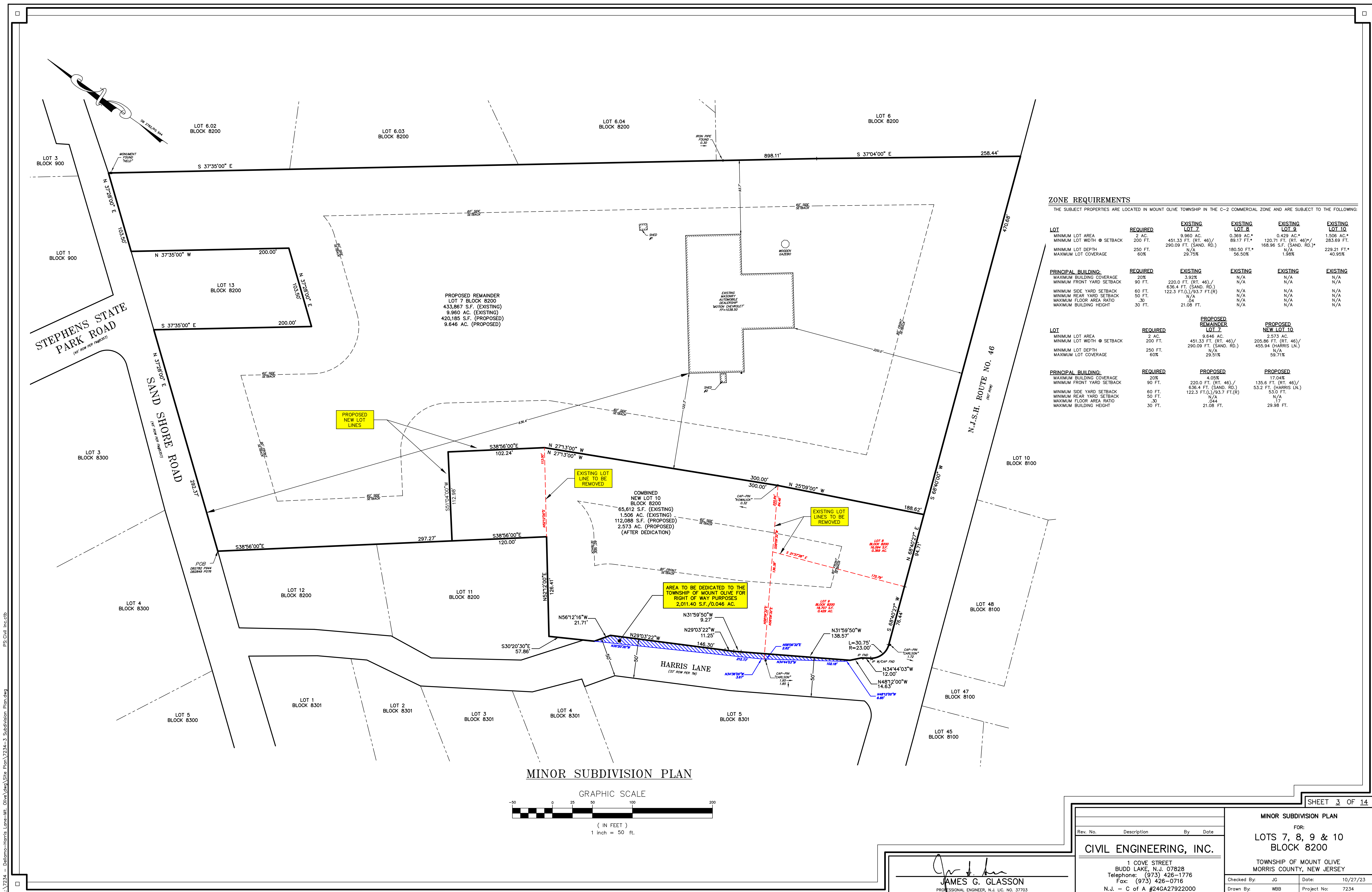
JAMES G. GLASSON
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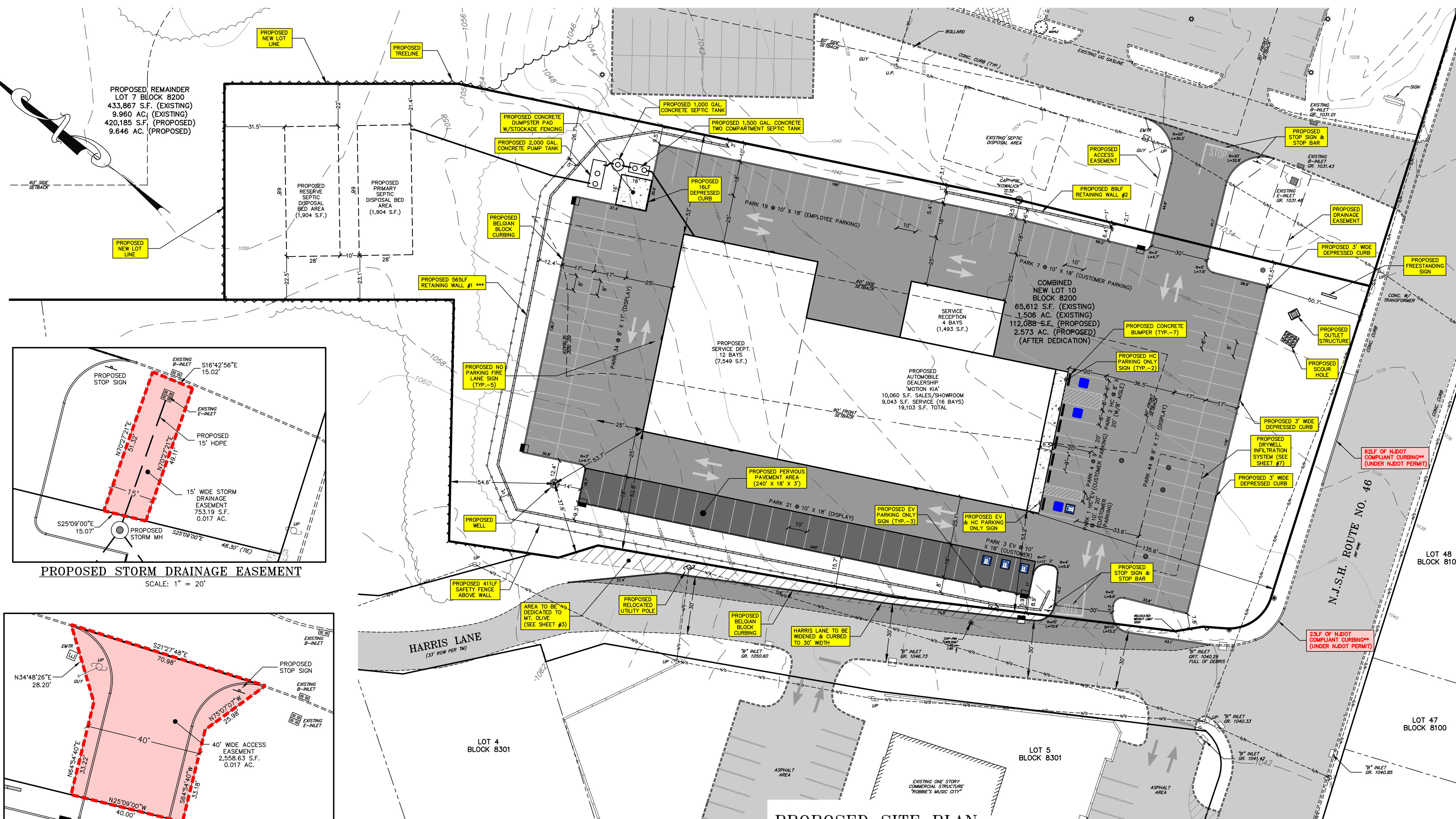
Rev. No.	Description	By	Date

CIVIL ENGINEERING, INC.

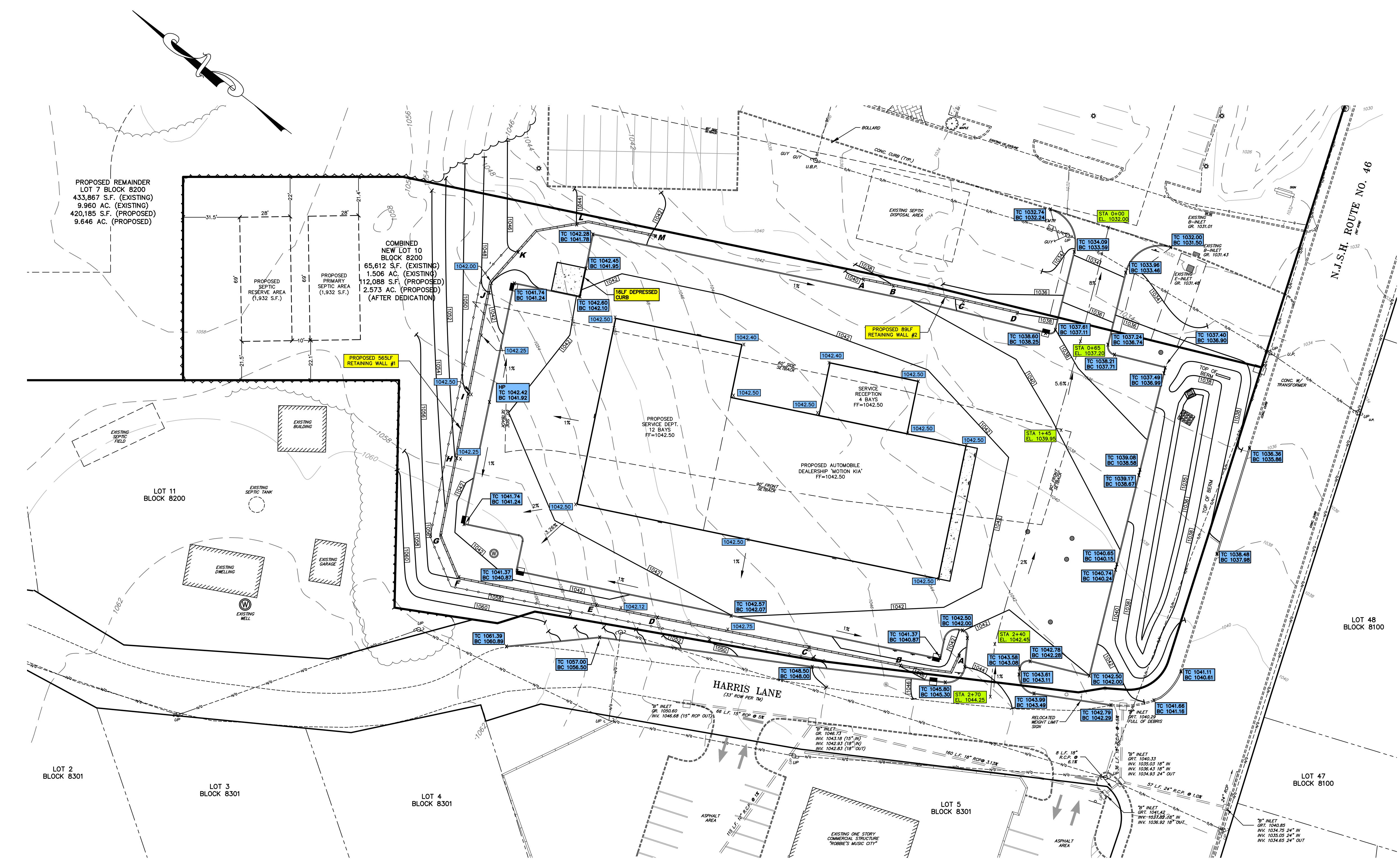
1 COVE STREET
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Telephone: (973) 426-1776
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N.J. - C of A #24GA27922000

EXISTING CONDITIONS PLAN	
FOR: LOTS 7, 8, 9 & 10 BLOCK 8200	
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	
Checked By: JG	Date: 10/27/23
Drawn By: WBB	Project No: 7234

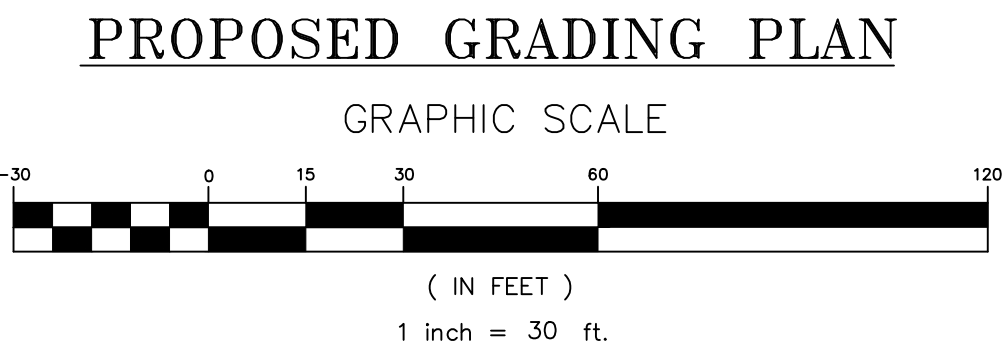




U:\2334 - Deloma-Harris Lane-Mt. Olive\eng\Site Plan\2334-5 Grading Plan.dwg PS:Chil Inc.ctb



LEGEND:					
	SUBJECT PROPERTY LINE (OUTBOUND)		EXISTING GAS LINE		EXISTING SIGN
	ADJACENT PROPERTY LINES		EXISTING CURB		PROPOSED SIGN
	EXISTING R.O.W.		PROPOSED CURB		EXISTING B-INLET
	INDEX CONTOUR		EXISTING TREE LINE		PROPOSED B-INLET
	INTERIOR CONTOUR		PROPOSED TREE LINE		EXISTING A-INLET
	EXISTING PAVEMENT		PROPOSED FENCE		EXISTING E-INLET
	EXISTING SETBACK LINE		EXISTING PAVEMENT		EXISTING WELL
	EXISTING OVERHEAD UTILITY LINE		PROPOSED PAVEMENT		EXISTING SURVEY IRON
	EXISTING BUILDING		EXISTING CONCRETE		EXISTING UTILITY POLE
	PROPOSED BUILDING		PROPOSED CONCRETE		EXISTING LIGHT POLE



BUILDING HEIGHT CALCULATION

1.) AVERAGE GRADE ELEVATION = AVERAGE ELEVATION OF THE FINISHED GRADE FIVE FEET FROM THE FOUNDATION (TAKEN ALONG BUILDING CORNERS)

$(1042.34 + 1042.39 + 1042.31 + 1042.48 + 1042.48 + 1042.27 + 1042.18 + 1042.42 + 1042.31 + 1042.34)/10 = 1042.35$

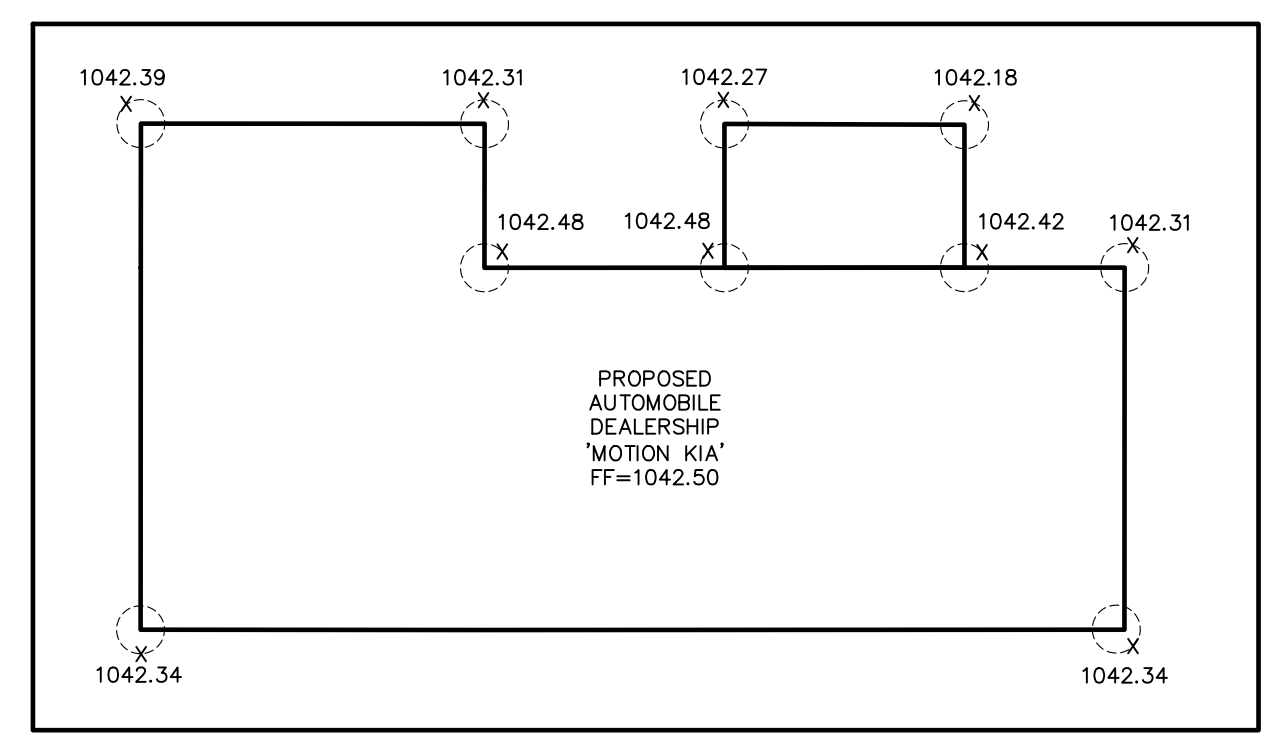
2.) FIRST FLOOR ELEVATION = 1042.50

3.) FIRST FLOOR TO MAXIMUM ROOF PEAK = 29.83 FT.

4.) PEAK ELEVATION = 1042.50 + 29.83 = 1072.33

5.) BUILDING HEIGHT = PEAK ELEVATION - AVERAGE GRADE

$= 1072.33 - 1042.35 = 29.98 \text{ FT.}$



RETAINING WALL GRADES

PROPOSED RETAINING WALL '1'			565LF
POINT No.	TOP OF WALL	BOTTOM OF WALL	
A	TW 1044.00	BW 1043.00	
B	TW 1046.00	BW 1042.50	
C	TW 1048.00	BW 1042.25	
D	TW 1052.00	BW 1042.25	
E	TW 1056.00	BW 1042.50	
F	TW 1056.00	BW 1043.00	
G	TW 1054.00	BW 1042.50	
H	TW 1052.00	BW 1042.25	
I	TW 1050.00	BW 1042.50	
J	TW 1048.00	BW 1042.00	
K	TW 1046.00	BW 1042.10	
L	TW 1044.00	BW 1042.40	
M	TW 1042.00	BW 1041.50	

PROPOSED RETAINING WALL '2'			89LF
POINT No.	TOP OF WALL	BOTTOM OF WALL	
A	TW 1040.00	BW 1039.00	
B	TW 1040.00	BW 1038.00	
C	TW 1040.00	BW 1038.00	
D	TW 1038.00	BW 1037.00	

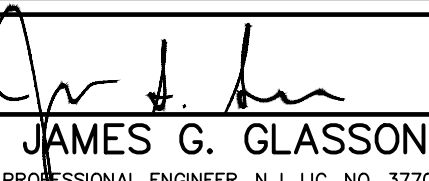
RETAINING WALL NOTE

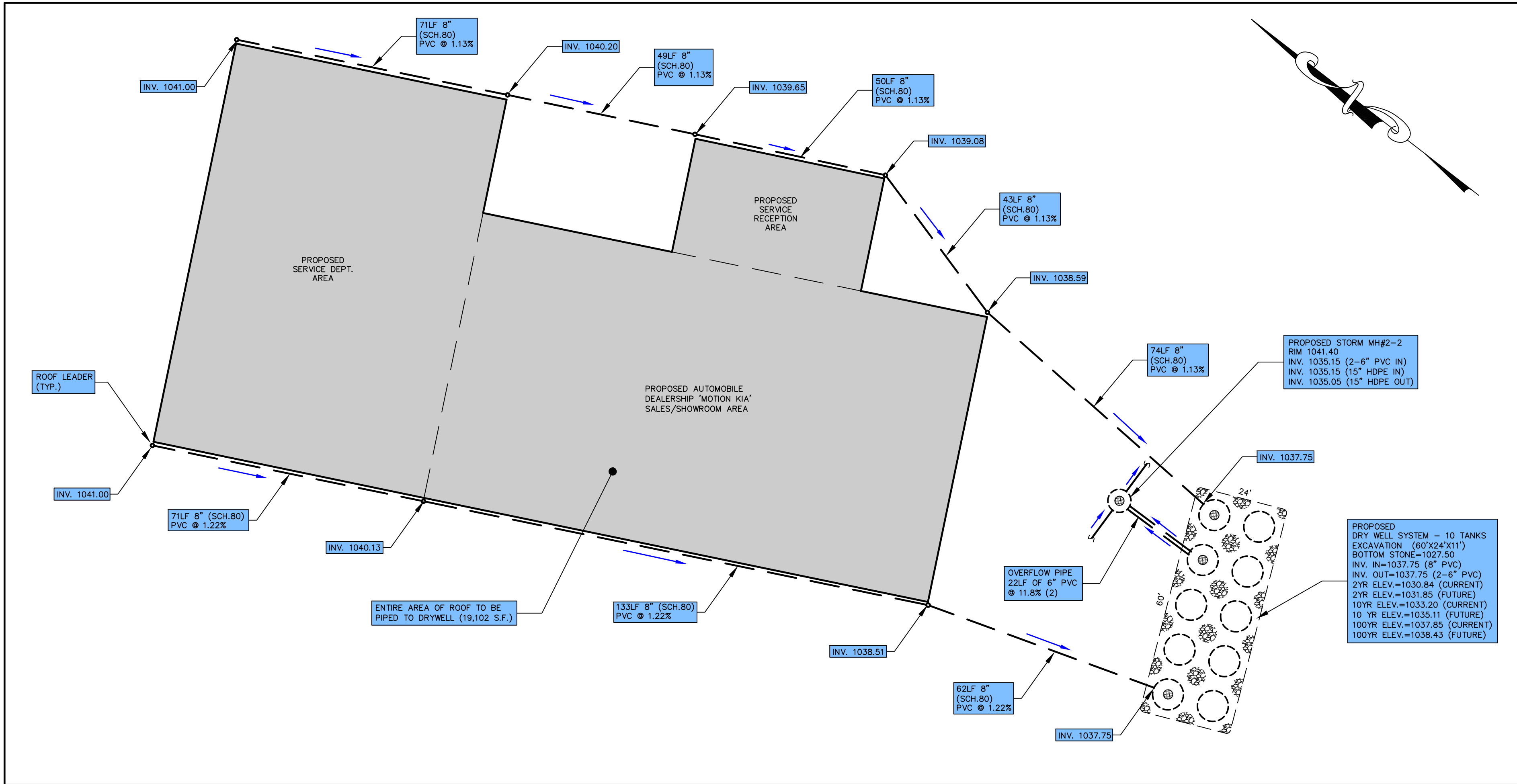
DETAILS AND STRUCTURAL CALCULATIONS FOR PROPOSED RETAINING WALL #1 TO BE PROVIDED BY OTHERS. WALL PLANS TO BE SUBMITTED TO TOWNSHIP BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

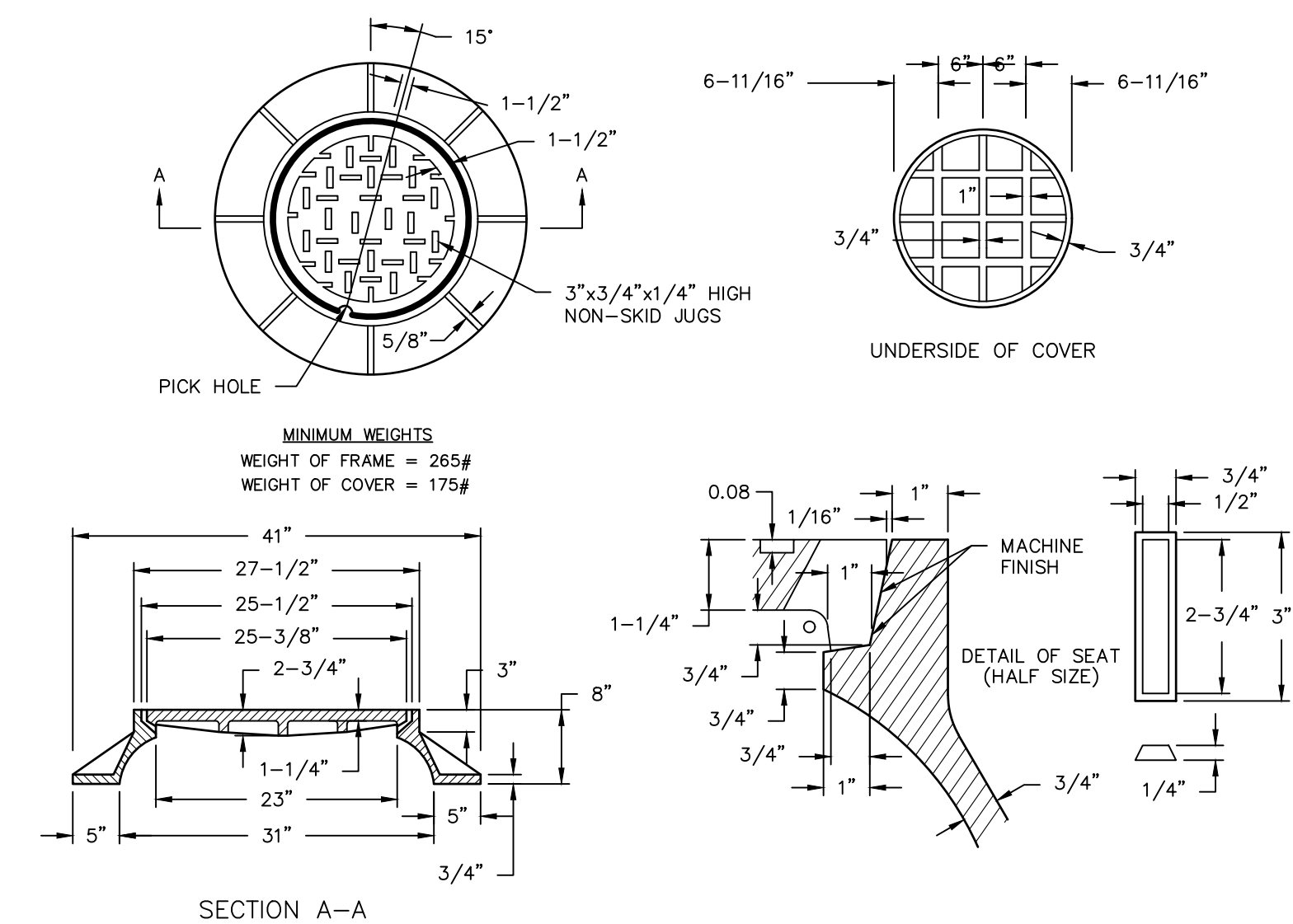
Rev. No. Description By Date			
CIVIL ENGINEERING, INC.			
1 COVE STREET BUDD LAKE, N.J. 07828 Telephone: (973) 426-1776 Fax: (973) 426-0716 N.J. - C of A #24GA27922000			

GRADING PLAN	
FOR: NEW LOT 10 BLOCK 8200 "MOTION KIA"	
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY	
Checked By: JG	Date: 10/27/23
Drawn By: WBB	Project No: 7234





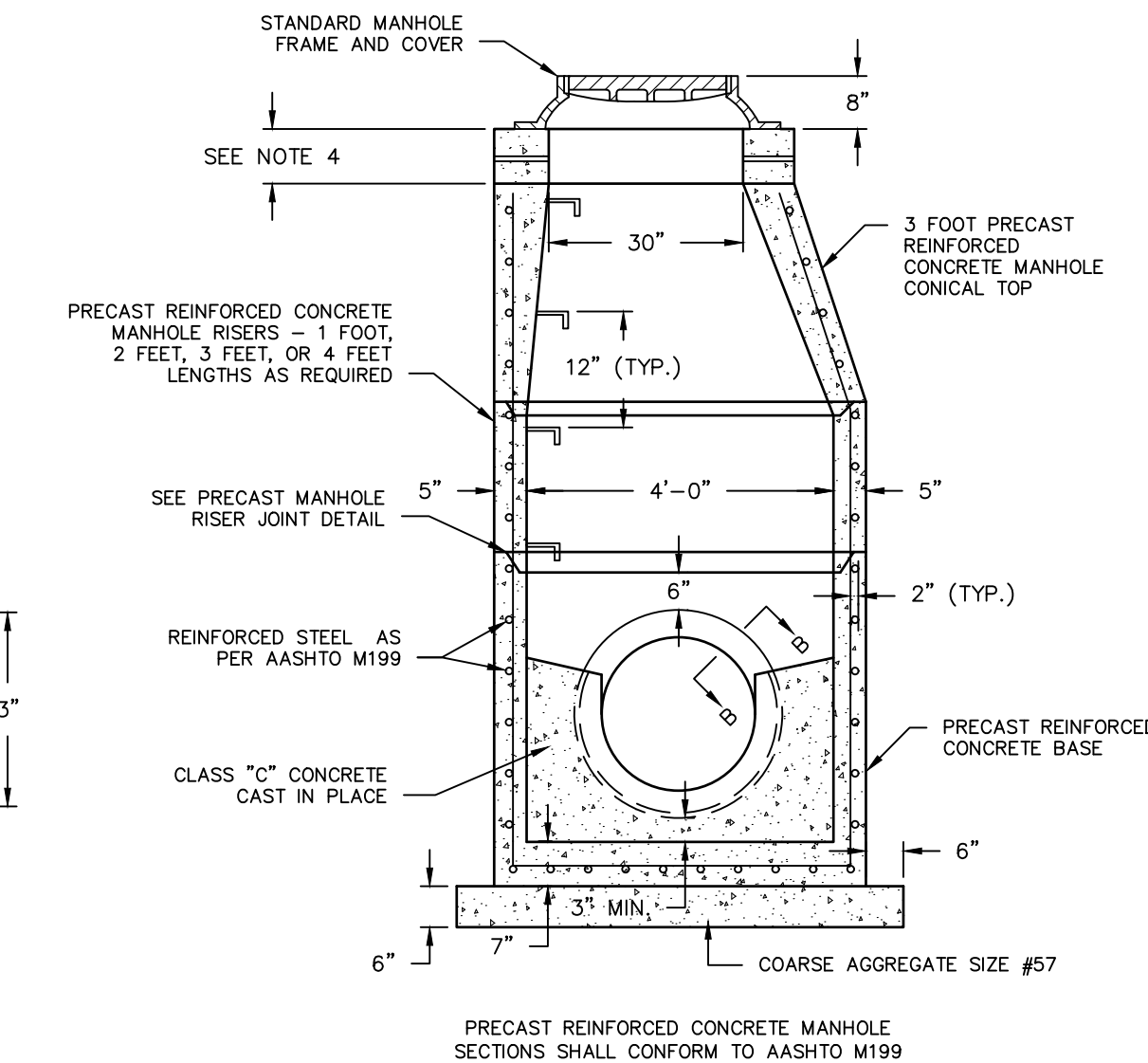
ROOF LEADER DIAGRAM DETAIL
SCALE: 1" = 20'



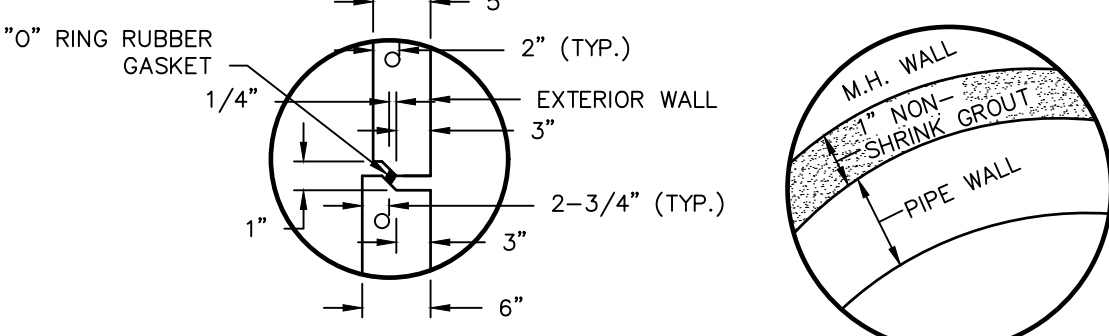
STANDARD MANHOLE FRAME AND COVER
(N.T.S.)

GENERAL NOTES

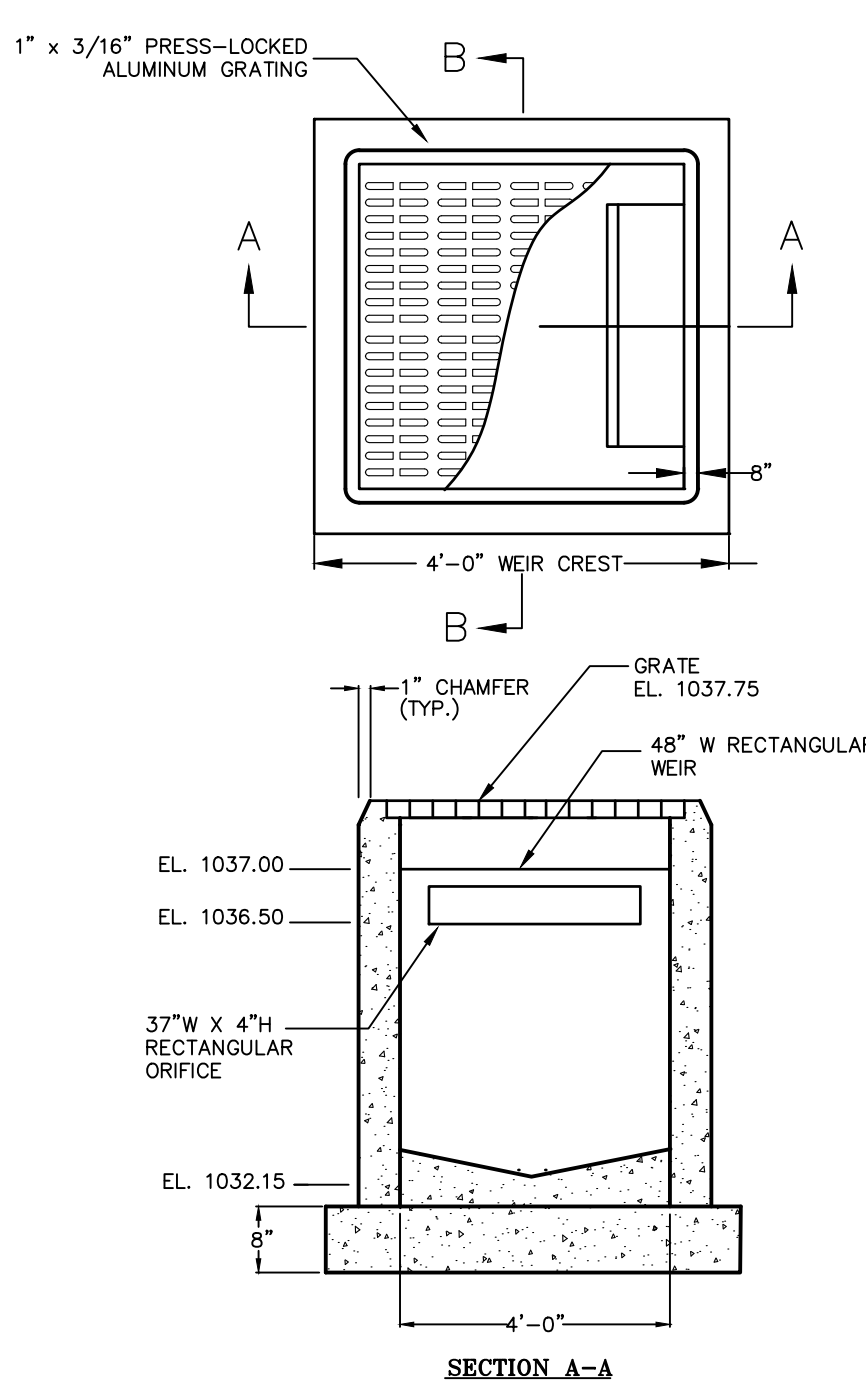
- MANHOLES MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK, OR PRECAST CONCRETE.
- WHEN THE DEPTH OF A MANHOLE EXCEEDS 10 FEET AS MEASURED FROM TOP OF COVER TO INVERT, THE WALLS OF BRICK, CONCRETE, OR CONCRETE BLOCK BELOW A DEPTH OF 8 FEET SHALL BE 12 INCHES THICK. THE OVERALL HORIZONTAL DIMENSIONS SHALL BE INCREASED 12 INCHES AND THE DEPTH OF THE FOUNDATION INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED THE HORIZONTAL DIMENSION AND DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED. THE THICKNESS OF PRECAST CONCRETE MANHOLE WALLS DOES NOT HAVE TO BE INCREASED IF THE DEPTH OF THE MANHOLE EXCEEDS 10 FEET.
- CASTINGS OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK OR CONCRETE BLOCK, AS REQUIRED, 12 INCHES MAXIMUM.
- AS AN ALTERNATE TO THE STANDARD MANHOLE FRAME AND COVER, A 39 INCH DIAMETER FRAME WITH 4 INCH FLANGE MAY BE FURNISHED WITH ALL OTHER DIMENSIONS AND WEIGHTS REMAINING THE SAME.
- IN A BRICK, CONCRETE, OR CONCRETE BLOCK MANHOLE, THE INVERT SHALL BE CONSTRUCTED IN TWO STAGES.
- AS AN ALTERNATIVE, COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS MAY BE FURNISHED IN PRECAST MANHOLES AND INLETS.
- STANDARD MANHOLE FRAME AND COVER SHOWN IN CD-603-8.1 SHALL BE DESIGNED FOR THE TRUCK LIVE LOAD (HS-20 TRUCK WHEEL LOAD) AS ADOPTED FOR NJDOT BRIDGES. IF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS ARE USED THEN THE DESIGN SHALL CONFORM TO THE AASHTO LRFD HL-93 ANTELLULAR LIVE LOADING OR THE NJDOT PERMIT VEHICLE, WHICHEVER GOVERNS.



PRECAST CONCRETE MANHOLE
(N.T.S.)



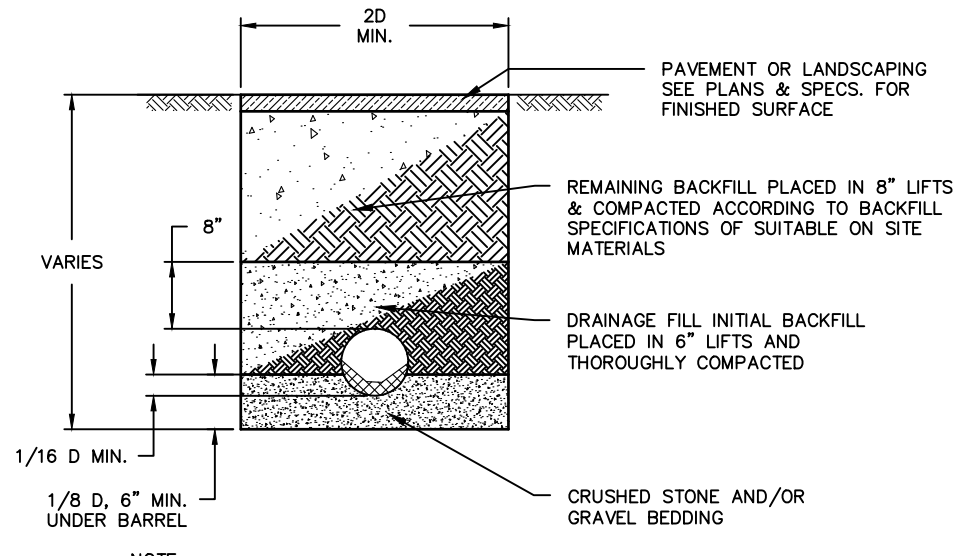
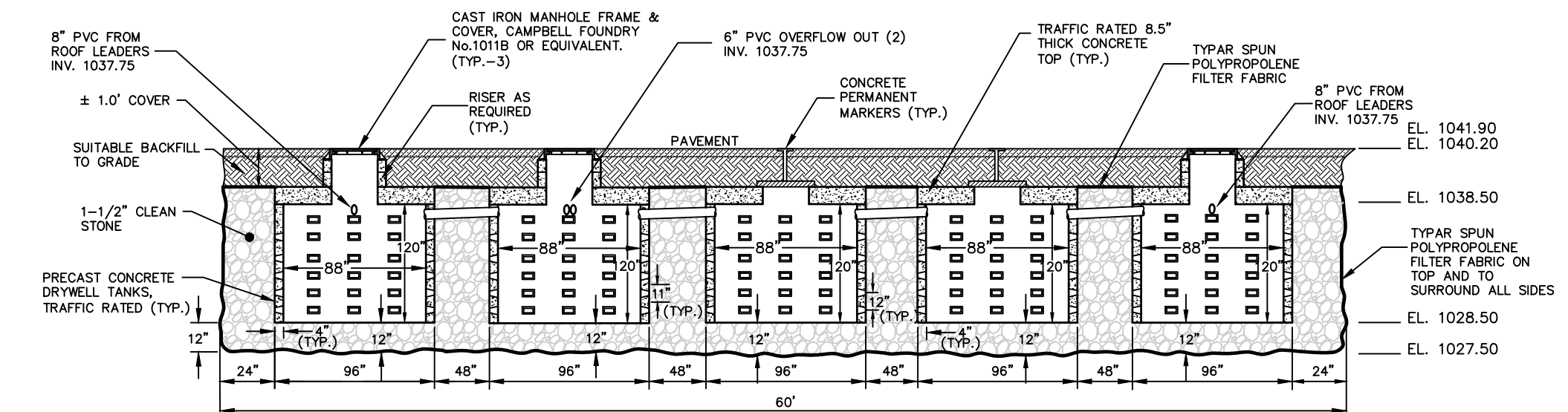
PRECAST MANHOLE RISER JOINT
(N.T.S.)



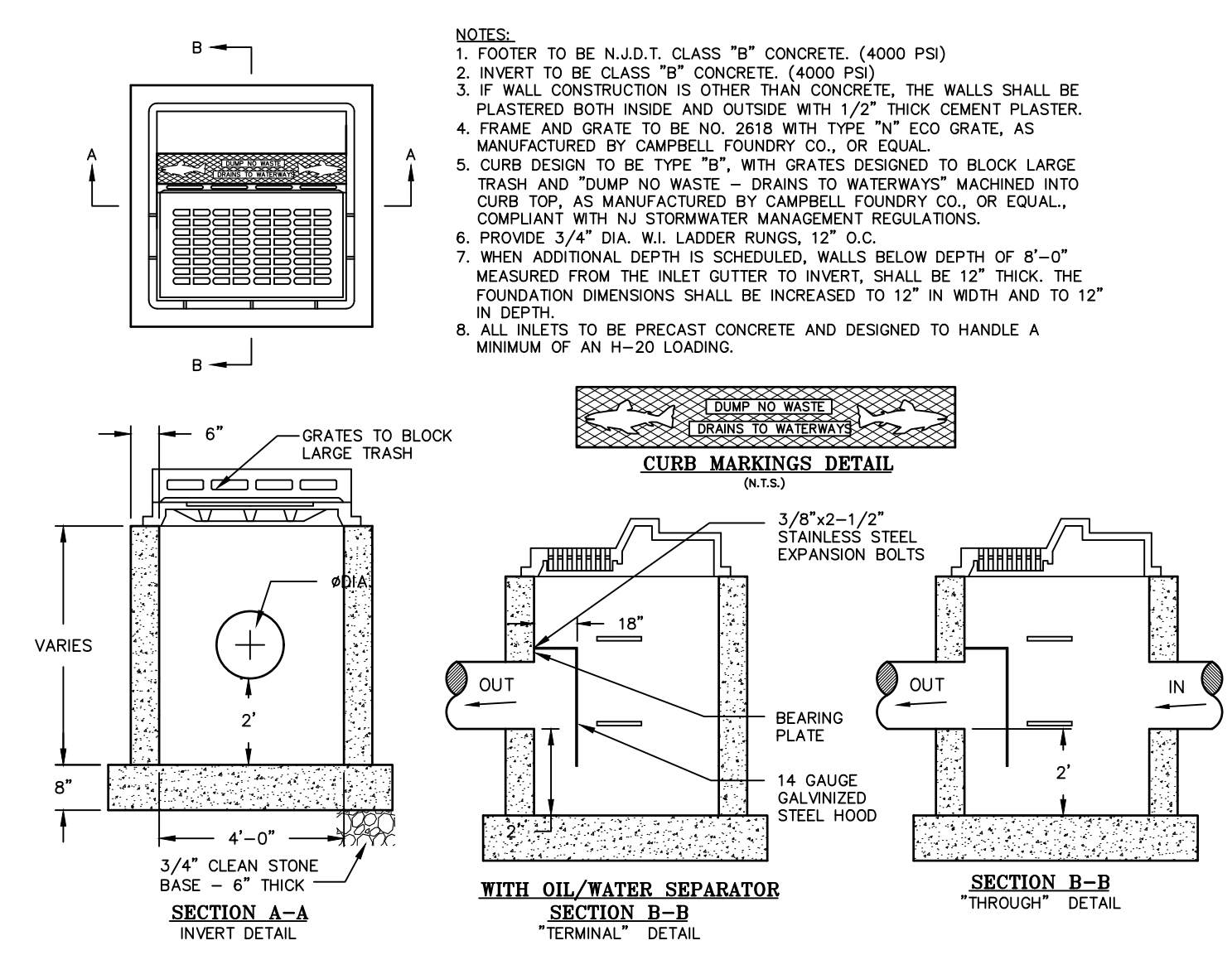
DETENTION BASIN OUTLET STRUCTURE
(N.T.S.)

- GENERAL NOTES:**
- FOOTING TO BE N.J.D.T. CLASS "B" CONCRETE.
 - INVERT TO BE CLASS "B" CONCRETE.
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
 - PROVIDE 3/4" DIA. W.I. LADDER RUNGS, 12" O.C.
 - ALL CONCRETE TO BE AIR-ENTRAINED
 - CLASS B CONCRETE (4500 PSI) SHALL BE UTILIZED IF THE STRUCTURE IS PRECAST.

SCOUR HOLE DETAIL
(N.T.S.)



TYPICAL PIPE BEDDING DETAIL
(N.T.S.)



TYPE "B" INLET DETAIL
(N.T.S.)

JAMES G. GLASSON
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Fax: (973) 426-0716
N.J. - C of A #24GA27922000

STORM DRAINAGE INFILTRATION SYSTEM & DETAILS PLAN			
FOR:			
NEW LOT 10 BLOCK 8200 "MOTION KIA"			
TOWNSHIP OF MOUNT OLIVE MORRIS COUNTY, NEW JERSEY			
Checked By: JG	Date: 10/27/23		
Drawn By: WBB	Project No: 7234		

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE STATE OF MISSISSIPPI. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE MAINTAINED AND MONITORED UNTIL EROSION AND SEDIMENT CONTROL PRACTICES ARE NO LONGER REQUIRED AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

ALL EXPOSED AREAS SHALL BE EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON FORTHRIGHTS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR HAY TO PREVENT EROSION. TEMPORARY SEEDING SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 1.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WEED CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING TO PREVENT EROSION. SEE NOTE 1.

TEMPORARY DIVERSION BERM ARE TO BE INSTALLED ON ALL CLEARED ROADSIDES AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.

ALL EROSION AND SEDIMENT CONTROL TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER," SPECIFIED RATES AND LOCATIONS SHALL BE AS ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.

ALL SITE SHAFTS AT ALL LOCATIONS SHALL BE PROTECTED SUCH THAT THE STABILIZER MAT IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FENCES, AND SEDIMENT BASINS) WILL BE MAINTAINED AND MONITORED UNTIL PERMANENT VEGETATION IS ESTABLISHED.

STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERTY EXTENDED AT THE TOE OF THE STOCKPILE.

A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD, SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL FOR CHART AND DIMENSIONS.

ALL EROSION AND SEDIMENT CONTROL TREATED WITH A SUITABLE SUSSIDE UPON ESTABLISHMENT OF FINAL GRADE EVALUATIONS.

PAVED ROADSWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL EROSION AND SEDIMENT CONTROL TREATED WITH A SUITABLE SUSSIDE UPON ESTABLISHMENT OF FINAL GRADE EVALUATIONS.

ALL DRAINAGE OPERATIONS MUST DISCHARGE DRAINAGE INTO A SEDIMENT FENCE AREA. A FILLER OR COMPOUND OF A FABRIC OR APPROVED MATERIAL, SEE THE DRAINAGE DETAIL.

ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. THE CLEANING SHALL BE COMPLETED WITHIN 24 HOURS OF THE REDUCTION OF CAPACITY.

DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEMAND TO PREVENT EROSION AND SEDIMENTATION. THE APPLICANT WILL END WHEN COMPLETED WORK IS APPROVED BY THE MISSISSIPPI COUNTY SOIL CONSERVATION DISTRICT.

ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN, OR THOSE TREES WITHIN THE DISTURBANCE LIMIT THAT ARE NOT TO BE REMOVED, SHALL BE PROTECTED. ARE BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.

THE MISSISSIPPI COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE EROSION AND SEDIMENTATION.

THE MISSISSIPPI COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY INITIAL DISTURBANCE, AND A PRE-CONSTRUCTION MEETING HELD.

VI. EROSION AND SEDIMENT CONTROL PROTECTION

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL./ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) – SPRAY ON POLYACRYLAMIDE (PAM) – DRY SPREAD	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS, MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE – TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING – SOIL IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRELS – SOIL BARS ARE USED TO PROTECT FENCES, CROWN FENCES, GRADE WALLS, BALES OF HAY, AND SIMILAR MATERIAL. CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE – SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED FEEDERS. IT SHOULD BE APPLIED TO THE MOST BLOWN AREAS BUT NOT CAUSE POLLUTION OF PLANT DAMAGE. USED ON STEEP SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

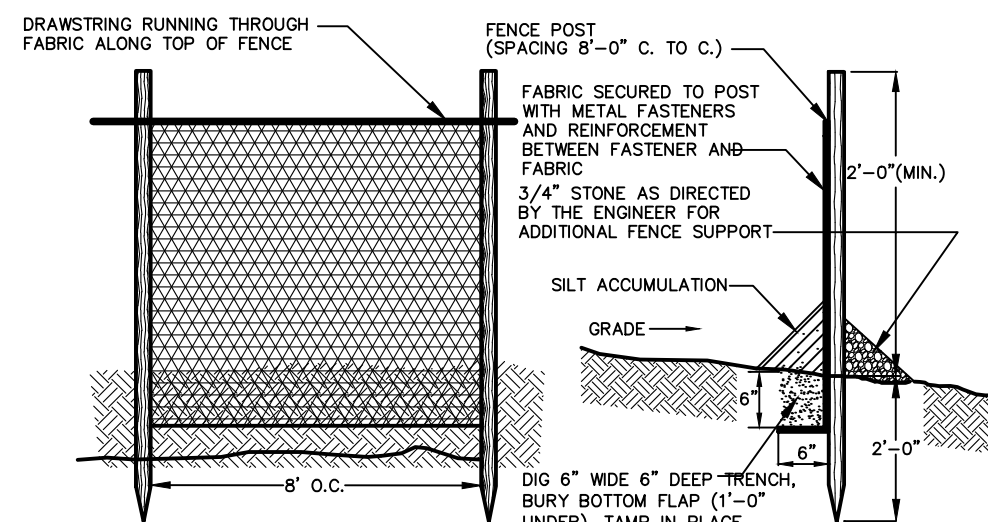
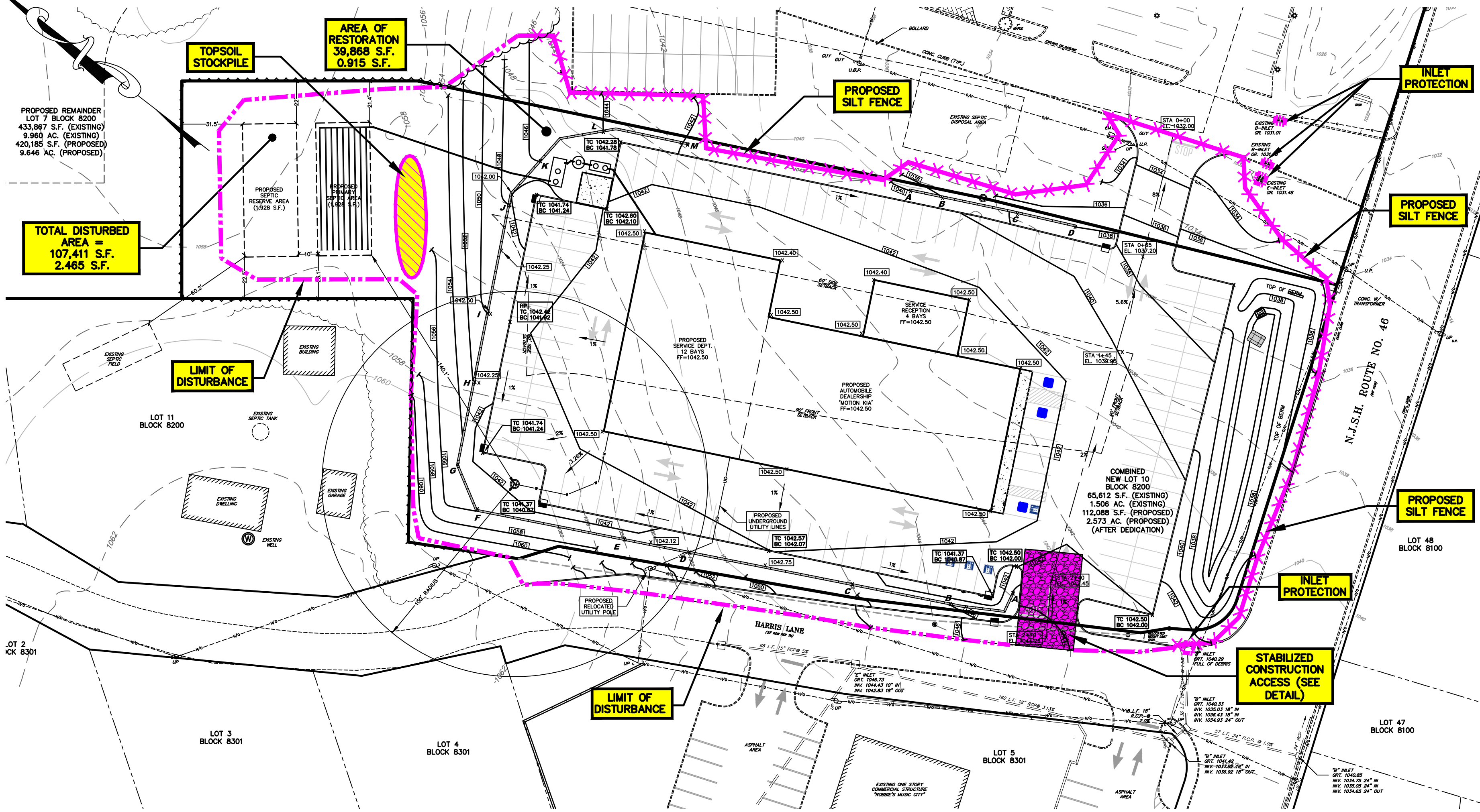
STONE – COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



- NOTES:**
- 1) BOX TREES WITHIN 25 FT. OF A BUILDING SITE TO PREVENT MECHANICAL INJURY: FENCING BARRIER SHOULD BE INSTALLED AT THE DRIP LINE OF A TREE OR BEYOND.
 - 2) BOARDS WILL NOT BE NAILED TO TREES DURING CONSTRUCTION.
 - 3) FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES.
 - 4) ALL DAMAGED OR EXPOSED FEEDER ROOTS SHOULD BE DAMAGED BARK REMOVED IMMEDIATELY AND NO EXPOSURE OF FEEDER ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO BE CLEAN AND FREE OF ALL DAMAGE.
 - 5) HEALING ROOTS EXPOSED DURING HOT WEATHER SHALL BE IMMEDIATELY COVERED WITH MULCH. TREE INJURY CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A FORESTER OR CERTIFIED TREE EXPERT.
 - 6) TREE LIMB REMOVAL, WHEN NECESSARY WILL BE DONE TO AS NATURAL GROWTH PATTERN TO REMOVE THE BRANCH COLLAR AS CLOSE AS POSSIBLE TO THE BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. BRANCHES SHOULD BE REMOVED FROM THE TRUNK. BRANCHES MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR, REMOVAL OF A "CROTCH" SHOULD BE MADE TO PREVENT BRANCHES FROM STAYING TO AVOID FUTURE SPLITTING DAMAGE.
 - 7) TREE PROTECTION (SEE DETAIL) TO BE USED AROUND ALL TREES TO REMAIN WITHIN LIMIT OF DISTURBANCE.



SCALE: 1"=2000'



- NOTES:
1. FENCE POSTS SHALL BE SPACED @ 8' O.C. OR CLOSER. THE FENCE SHALL EXTEND AT LEAST 2 FT. INTO THE GROUND AND EXTEND AT LEAST 2 FT. ABOVE THE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER OF 4 INCHES.
 2. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE USED INSTEAD OF POST AND RAIL FENCE TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRICES IS LIMITED AND HEAVY SEQUENT LOADING IS EXPECTED.
 3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP INTO THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A RING OR CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, CROMETAS, WASHERS, ETC.) PLACED BETWEEN THE FASTER AND THE POST. THE FABRIC SHALL BE CAPABLE OF RESIST TENSILE LOADS FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FABRIC FOR ADDED STRENGTH.

RETAINING WALL GRADES

PROPOSED RETAINING WALL '1' -		565'5"
POINT No.	TOP OF WALL	BOTTOM OF WALL
A	TW 1044.00	BW 1043.00
B	TW 1046.00	BW 1042.50
C	TW 1048.00	BW 1042.25
D	TW 1052.00	BW 1042.25
E	TW 1056.00	BW 1042.50
F	TW 1056.00	BW 1043.00
G	TW 1054.00	BW 1042.50
H	TW 1052.00	BW 1042.25
I	TW 1050.00	BW 1042.50
J	TW 1048.00	BW 1042.00
K	TW 1046.00	BW 1042.10
L	TW 1044.00	BW 1042.40
M	TW 1042.00	BW 1041.50

PROPOSED RETAINING WALL '2' - 89LF		
POINT No.	TOP OF WALL	BOTTOM OF WALL
A	TW 1040.00	BW 1039.00
B	TW 1040.00	BW 1038.00
C	TW 1040.00	BW 1038.00
D	TW 1038.00	BW 1037.00

DESCRIPTION		TIME FRAMES IN DAYS
1	INSTALL FABRIC FILTER FENCES, AND WHEEL CLEARING APRON	7
2	REMOVE AREAS OF GRAVEL AND EXISTING R/R THE WALL	7
3	STRIP AND STOCKPILE TOPSOIL, SEED WITH TEMPORARY SEEDING	2
4	ROUGH GRADING DRIVEWAY & DRAINAGE	10
5	CONSTRUCTION OF DWELLING	240
6	FINE GRADE AND BASE COURSE FOR DRIVEWAY	5
7	INSTALL UTILITIES	5
8	SCARIFY/TILL SUBSOIL TO A DEPTH OF 6"	2
9	SLOPE STABILIZATION-PERMANENT SEEDING	5
10	COMPLETE PROJECT-LANDSCAPING	5
11	REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES	2
TOTAL		± 295

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

CONSTRUCTION ENTRANCE

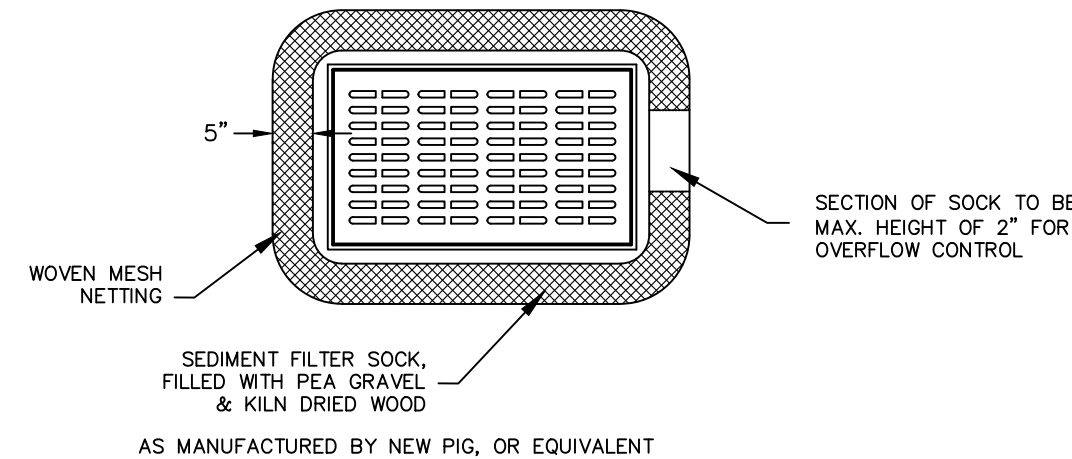
LIMIT OF DISTURBANCE

SILT FENCE

TOPSOIL STOCKPILE

PROPOSED SPOT GRADE

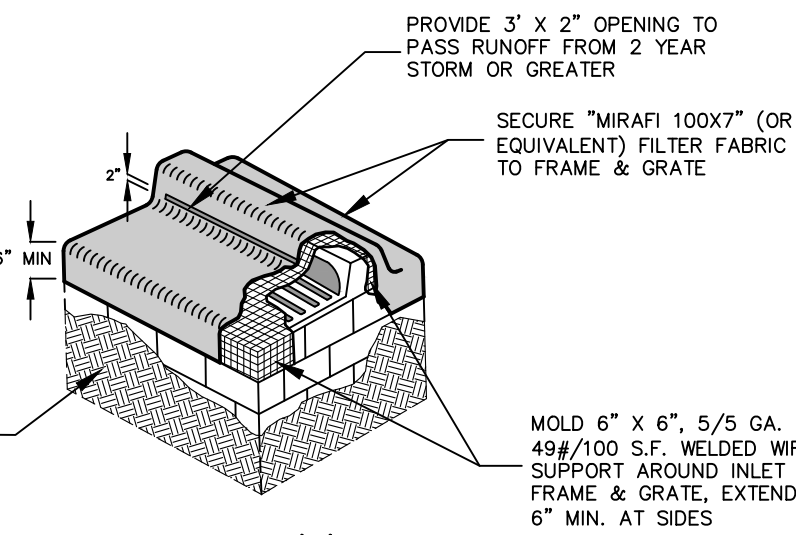
INLET FILTER



NOTE: TWO TRAFFIC CONES TO BE PLACED ON EACH SIDE OF INLE

TYPES 'A' & 'F'

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



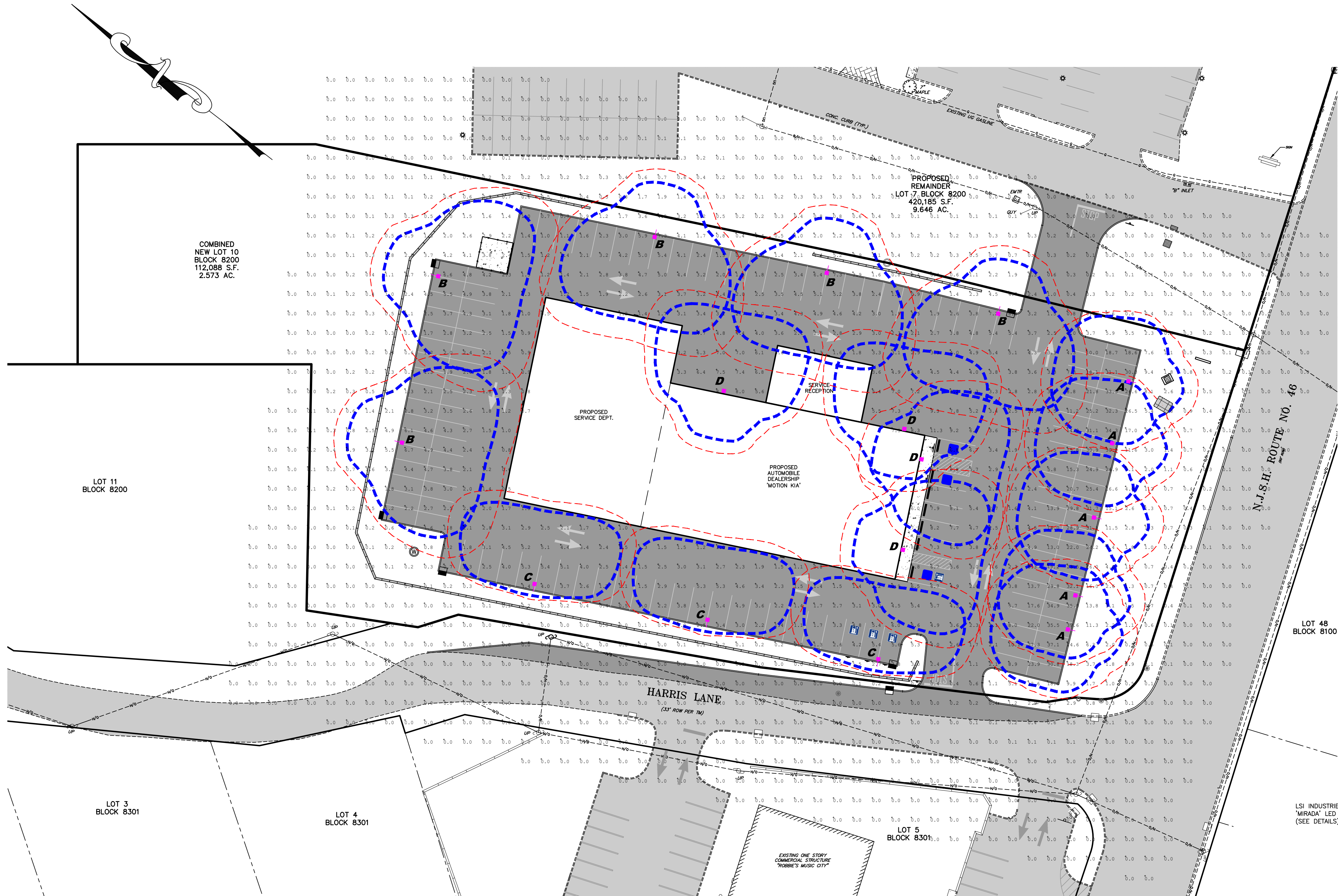
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC.
3. INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

				SOIL EROSION & SEDIMENT CONTROL PLAN	
				FOR:	
				NEW LOT 10 BLOCK 8200	
				"MOTION KIA"	
CIVIL ENGINEERING, INC.				TOWNSHIP OF MOUNT OLIVE	
1 COVE STREET				MORRIS COUNTY, NEW JERSEY	
BUDD LAKE, N.J. 07828					
Telephone: (973) 426-1776					
Fax: (973) 426-0716					
N.J. - C of A #24GA27922000					
Checked By:		JG	Date:	10/27/23	
Drawn By:		WEBB	Project No:	7234	

FOR SOIL EROSION PURPOSES ONLY

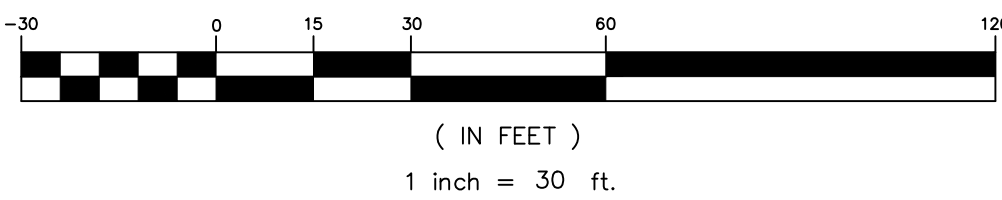
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 3770

PS Civil Inc.ctb
U:\234 - Deloma-Harris Lane-Mt. Olive\eng\Site Plan\234-9 Lighting Plan.dwg
10/27/23



PROPOSED LIGHTING PLAN

GRAPHIC SCALE



LIGHTING NOTES:

- 1.) ALL SITE LIGHTING (WITH THE EXCEPTION OF MINIMUM ILLUMINATION REQUIRED FOR SECURITY PURPOSES) SHALL BE TIMECLOCK OPERATED BASED UPON BUSINESS HOURS AND/OR SUNRISE & SUNSET.
- 2.) ALL LIGHTING FIXTURES & LIGHTING CALCULATIONS GENERATED BY DIVERSIFIED NEW JERSEY. FOR ADDITIONAL SUPPORT AND ORDERING INFO, CONTACT MATTHEW KENNY, DIVERSIFIED NEW JERSEY, 55 LANE ROAD, SUITE 360, FAIRFIELD, NJ 07004. CELL: 973-885-1205, EMAIL: MKENNY@DWNJ.COM

LUMINAIRE SCHEDULE

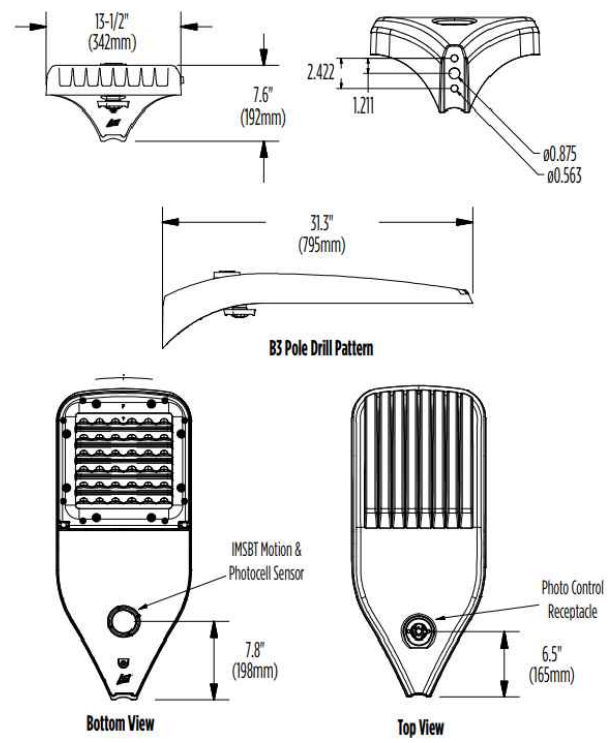
SYMBOL	QTY	ARRANGEMENT	LETTER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	CCT	LLF	TOTAL WATTS	DELIVERED LUMENS	MOUNTING HEIGHT
5	5	SINGLE	A	SINGLE POLE MOUNTED AREA LIGHT, AUTOMOTIVE TYPE DISTRIBUTION	LSI INDUSTRIES, INC.	MRM-LED-36L-SL-AM-40-70CRI-M16	4000	0.900	288	38916	18
5	5	SINGLE	B	SINGLE POLE MOUNTED AREA LIGHT, TYPE 4 DISTRIBUTION	LSI INDUSTRIES, INC.	MRM-LED-18L-SL-FT-40-70CRI-M16	4000	0.900	135	19324	18
3	3	SINGLE	C	SINGLE POLE MOUNTED AREA LIGHT, TYPE 4 DISTRIBUTION WITH INTERNAL LOCATOR	LSI INDUSTRIES, INC.	MRM-LED-18L-SL-FT-40-70CRI-IL-M16	4000	0.900	135	12405	18
4	4	SINGLE	D	WALL MOUNTED AREA LIGHT, TYPE 4 DISTRIBUTION	LSI INDUSTRIES, INC.	XWM-FT-LED-18L-40-M16	4000	0.900	135	19279	18

LIGHT TRACE LEGEND

- PROPOSED 0.5 FOOTCANDLE LIGHT TRACE
- PROPOSED 0.1 FOOTCANDLE LIGHT TRACE



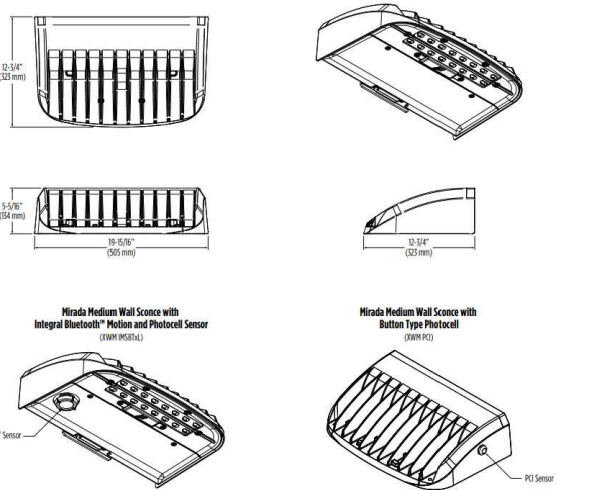
MIRADA MEDIUM AREA LIGHT FIXTURE
(N.T.S.)



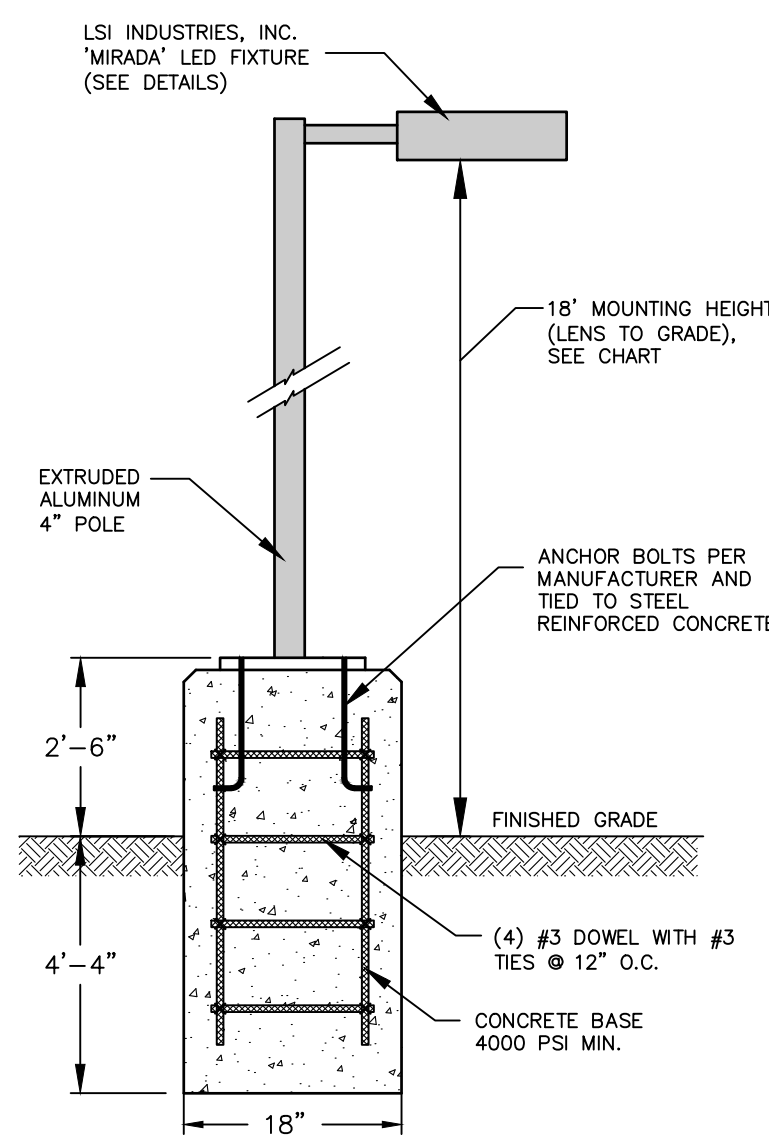
MIRADA MEDIUM FIXTURE DIMENSIONS
(N.T.S.)



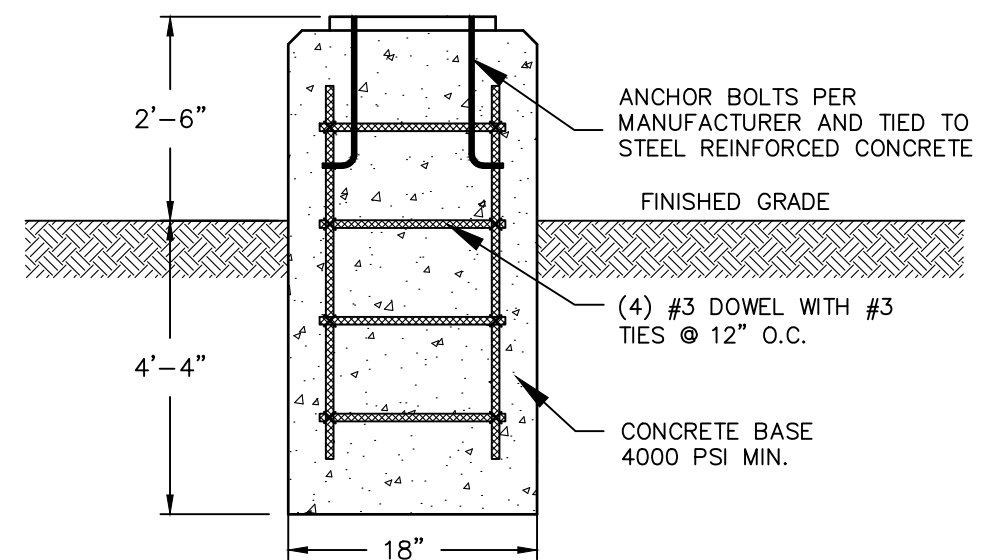
MIRADA MEDIUM WALL SCONCE FIXTURE
(N.T.S.)



MIRADA MEDIUM WALL SCONCE DIMENSIONS
(N.T.S.)



POLE MOUNTING BASE
(N.T.S.)



POLE MOUNTING BASE
(N.T.S.)

JAMES G. GLASSON
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N.J. - C of A #24GA27922000

PROPOSED LIGHTING PLAN

FOR:
NEW LOT 10 BLOCK 8200
"MOTION KIA"

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

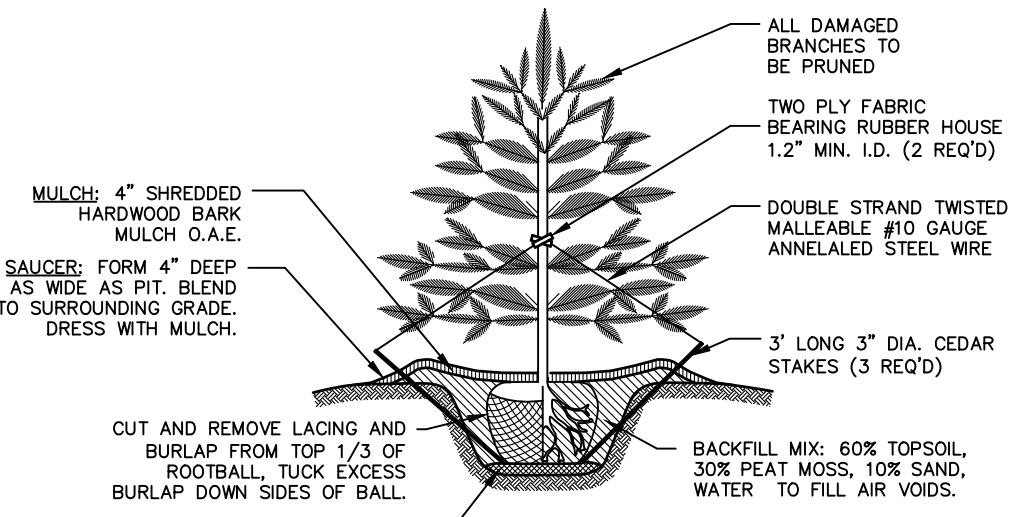
Checked By: JG	Date: 10/27/23
Drawn By: WBB	Project No: 7234

SHEET 9 OF 14

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	CONTAINER	COMMENTS
	JC	JUNIPEROUS CHINENSIS 'PARSONII'	PARSON'S JUNIPER	33	2'-3'	3 GAL.	EVERGREEN
	JU	JUNIPEROUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	30	12"-18"	3 GAL.	EVERGREEN
	IC	ILEX CRENATA 'HELLER'	HELLER'S JAPANESE HOLLY	123	2'-3'	B&B	EVERGREEN
	CL	X CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	26	6'-7'	B&B	EVERGREEN
	AR	ACER RUBRUM 'RED SUNSET'	RED MAPLE	6	6'-7'	B&B	DECIDUOUS
	-	PROPOSED GRASS					
	-	PROPOSED MULCH BED					

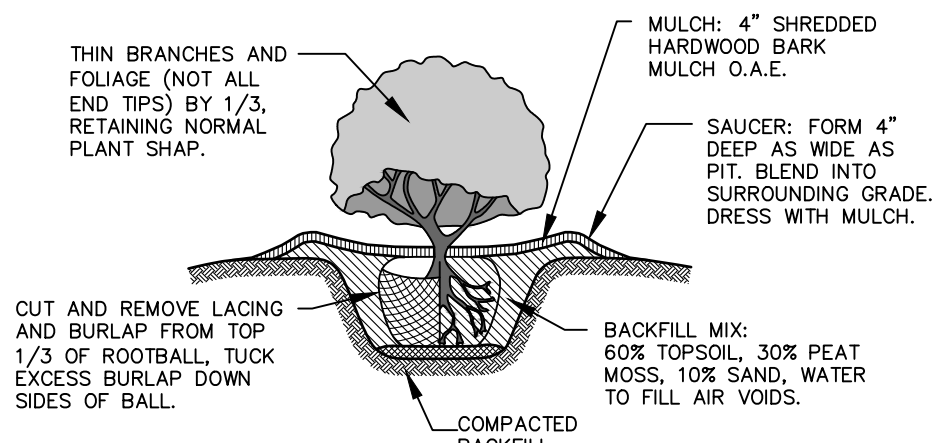
LANDSCAPING NOTES:

- ALL BEDS (OUTLINED) TO BE PLANTED WITH HARDWOOD MULCH.
- ALL PLANT MATERIALS, PLANTING PRACTICES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" PROMULGATED BY THE AMERICAN ASSOCIATION OF NURSEYMAN STANDARDS.
- TREE STAKES AND WIRES SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF INSTALLATION.
- LAWN AREAS SHALL BE SEEDED AND MULCHED.



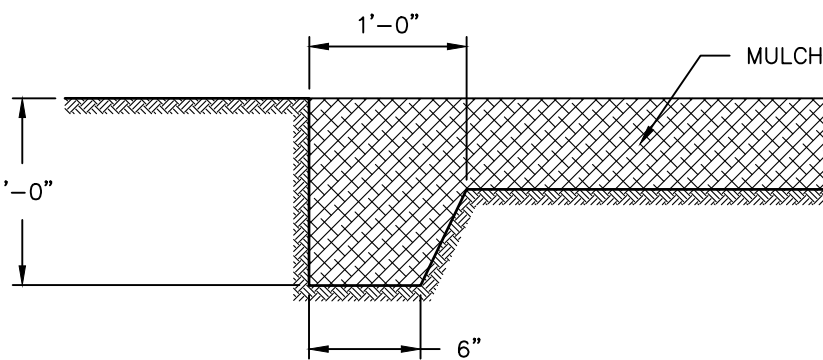
CONIFER/DECIDUOUS TREE PLANTING

(N.T.S.)



TYPICAL SHRUB PLANTING

(N.T.S.)



MULCH PLANT BED EDGE

(N.T.S.)

PROPOSED LANDSCAPING PLAN

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

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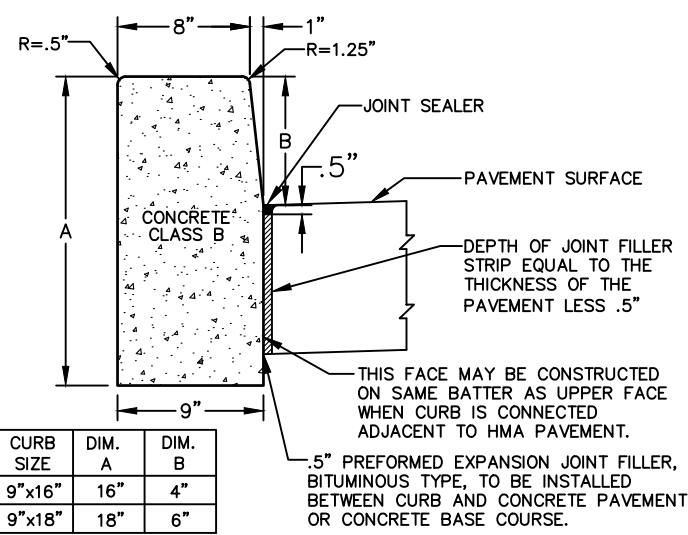
PROPOSED LANDSCAPING PLAN

FOR:
NEW LOT 10 BLOCK 8200
"MOTION KIA"

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

Checked By: JG Date: 10/27/23
Drawn By: WBB Project No: 7234

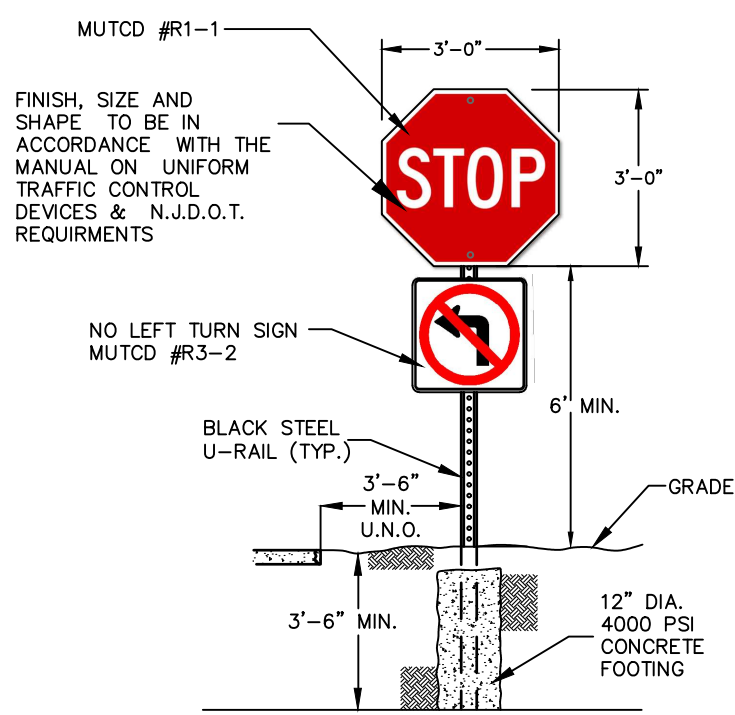
NJDOT DETAILS



- NOTES:
1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 2. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.
 3. ALL CURBING TO BE CONSTRUCTED USING THE FACE FORM METHOD.

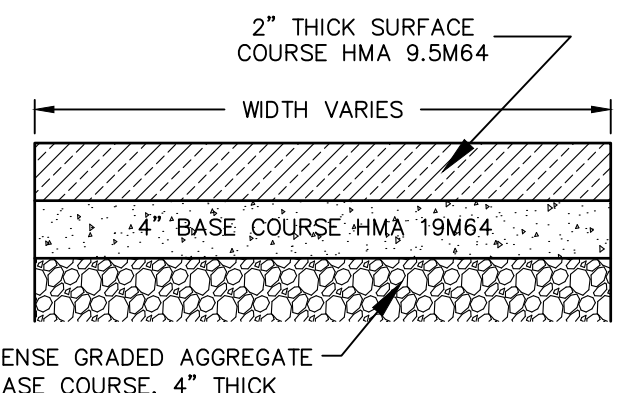
WHITE CONCRETE VERTICAL CURB (WITHIN NJDOT R.O.W.)

NOTE:
ALL CURB AND PAVEMENT WITHIN RIGHT OF WAY TO CONFORM TO ABOVE NJDOT SPECIFICATIONS. IF EXISTING ON-SITE CURBING HAS A CURB FACE WHICH DIFFERS FROM 4", A 10' TRANSITION MUST BE PROVIDED BETWEEN THE DIFFERENT TYPES OF CURBING. THE TRANSITION MUST TAKE PLACE ENTIRELY ON-SITE.



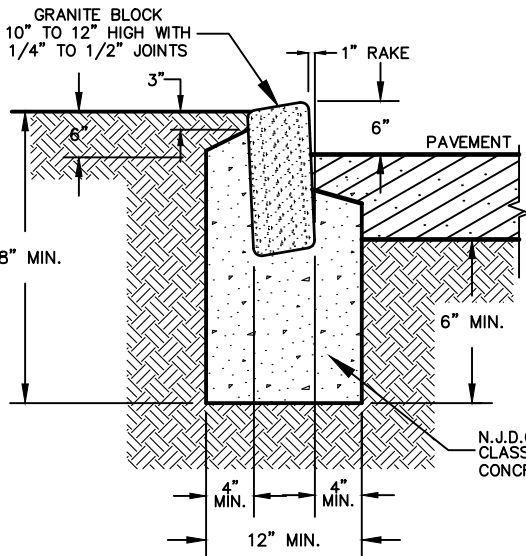
STOP SIGN DETAIL

(N.T.S.)



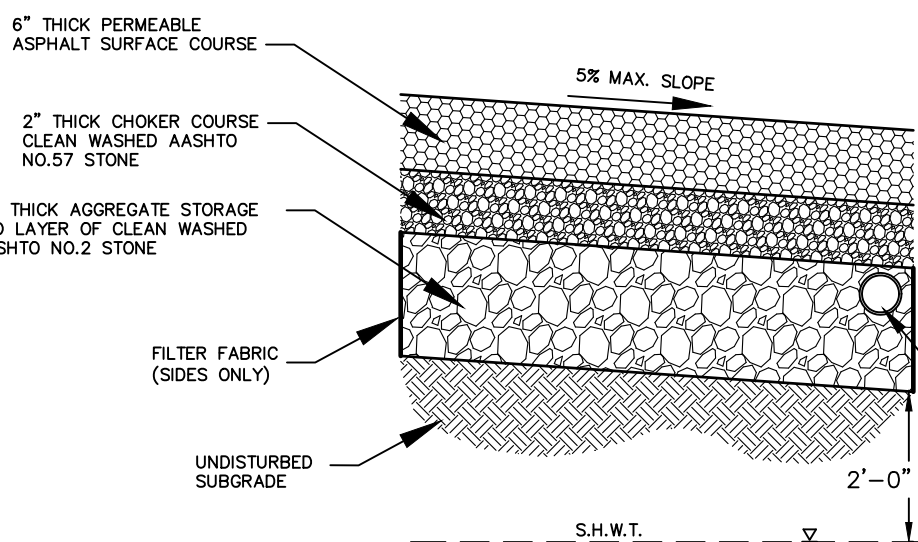
PAVEMENT DETAIL

(TO BE USED IN AISLES / AREAS OF HEAVY TRAFFIC)
(N.T.S.)



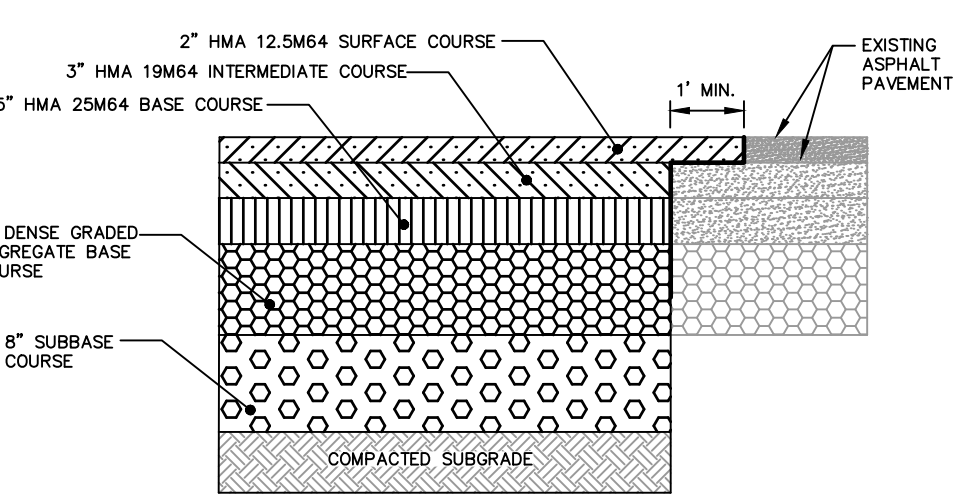
BELGIAN BLOCK CURB DETAIL

(N.T.S.)



PERMEABLE PAVEMENT DETAIL

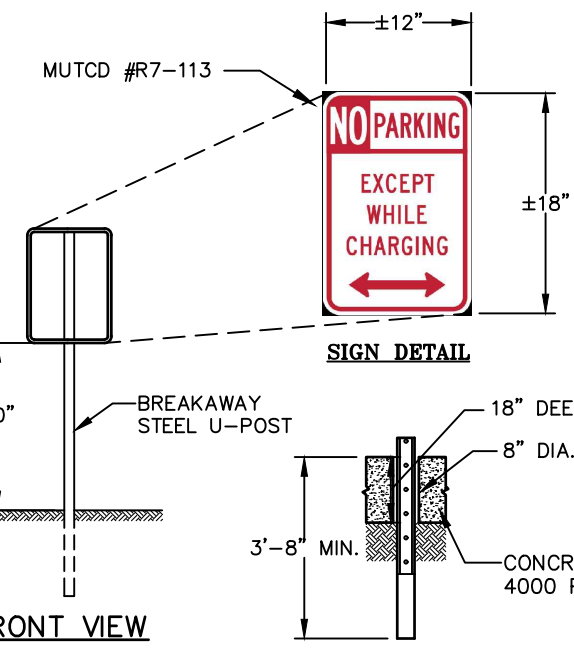
(N.T.S.)



1. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUBBASE OR BORROW EXCAVATION.
2. DENSE GRADED AGGREGATE BASE COURSE AND SUBBASE SHOULD EXTEND A MINIMUM OF 3" BEYOND THE OUTER EDGE OF THE PROPOSED CURB.
3. SAWCUT AND APPLY POLYMERIZED JOINT ADHESIVE TO THE VERTICAL FACE OF THE EXISTING PAVEMENT PRIOR TO PAVING.
4. THE LOCATIONS EXHIBITING MODERATE TO HIGH SEVERITY CRACKING, PATCHING AND POTHOLES SHOULD BE REPAIRED (BEFORE MILLING) IN ACCORDANCE WITH ITEM NO. 401021M OF NJ DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
5. IF PAVEMENT CONSTRUCTION WILL ENDOUR AN EXISTING TRAVEL LANE, THEN RESURFACE THE FULL WIDTH OF THAT TRAVEL LANE.
6. IF CONCRETE IS ENCOUNTERED DURING CONSTRUCTION, SAWCUT AND PERFORM HMA REPAIR FOR THE MINIMUM WIDTH OF 2.0 FEET. DO NOT REPLACE CONCRETE PAVEMENT IN KIND.

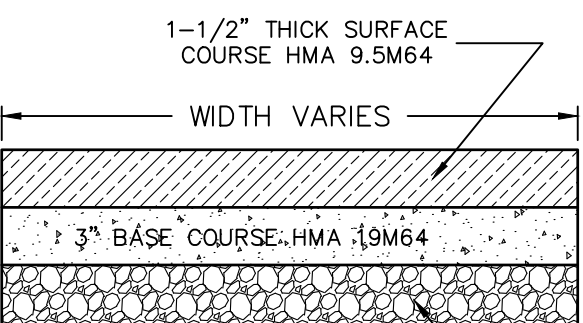
HMA PAVEMENT REPAIR DETAIL

(N.J.S.H. RT. 46 RIGHT OF WAY)
(N.T.S.)



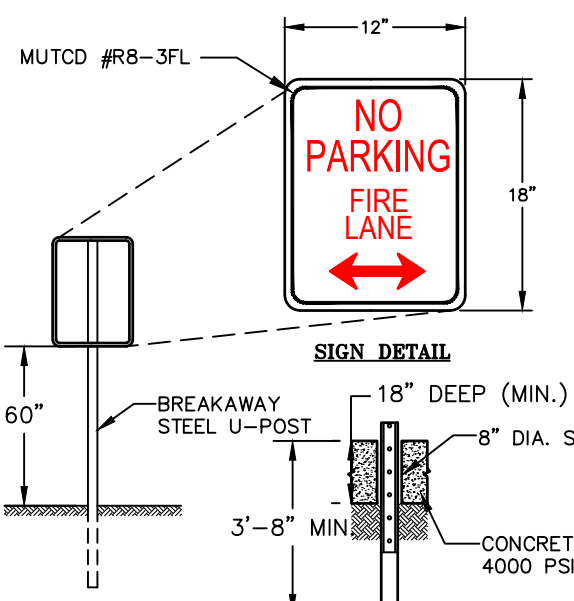
EV PARKING SIGN

(N.T.S.)



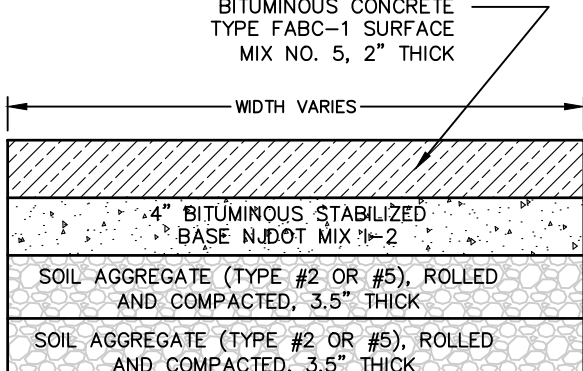
PAVEMENT DETAIL

(FOR PARKING AREAS)
(N.T.S.)



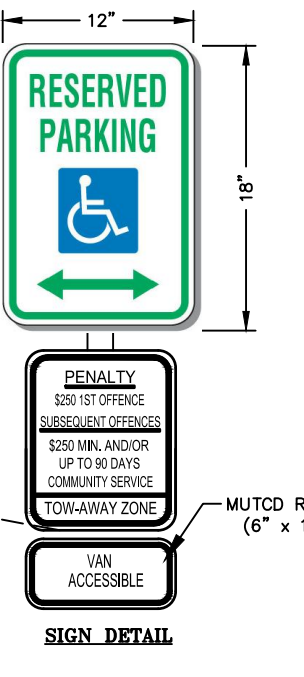
FIRE LANE SIGN

(BUILDING MOUNTING OPTIONAL)
(N.T.S.)



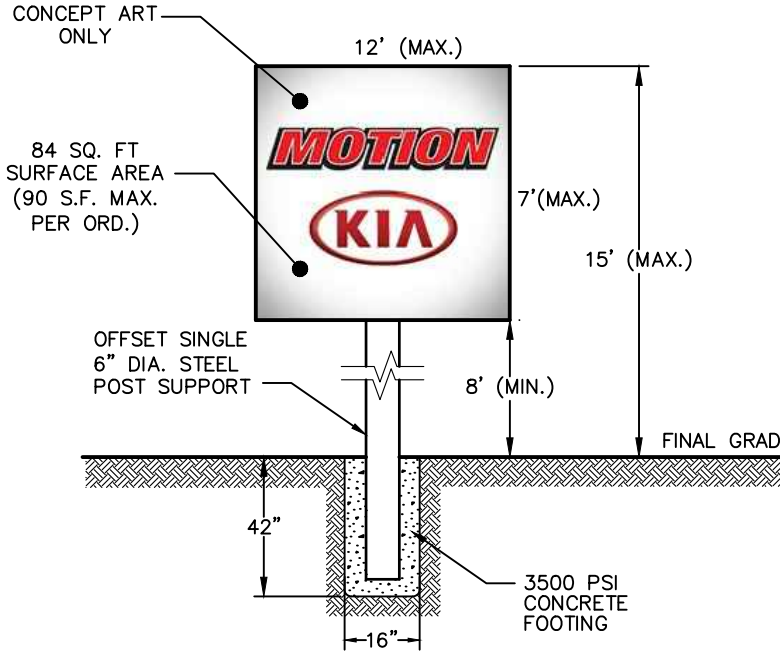
ROAD PAVEMENT DETAIL

(N.T.S.)



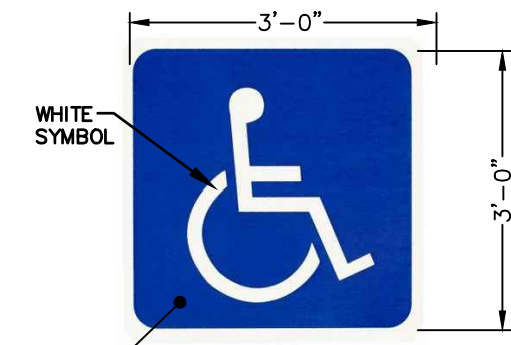
HANDICAPPED SIGN

(MUTCD R7-8)
(N.T.S.)



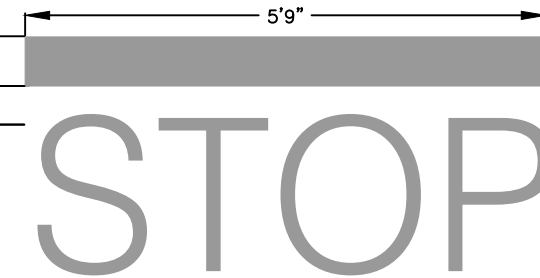
FREE STANDING SIGN DETAIL

(ZONING PERMIT TO BE OBTAINED PRIOR TO INSTALLATION)
C-2 ZONE - FREE STANDING SIGN FACE ALLOWED - 90 S.F.
PROPOSED - 84 S.F.
(FOR BUILDING MOUNTED SIGNS, PLEASE SEE DETAILS AND CALCULATIONS ON PLANS BY ARCHITECT, UNDER SEPARATE COVER)
(N.T.S.)



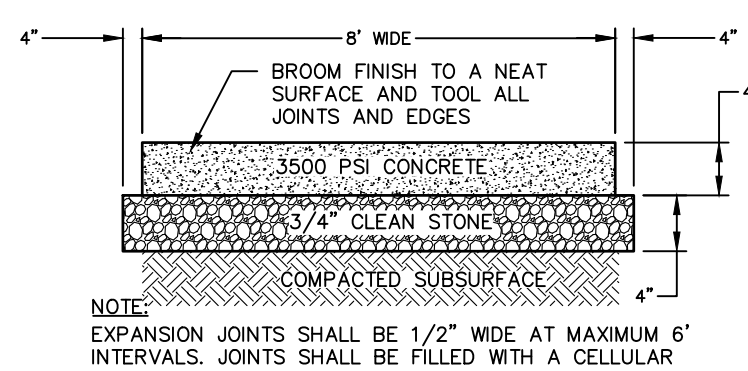
HANDICAPPED MARKING

(N.T.S.)



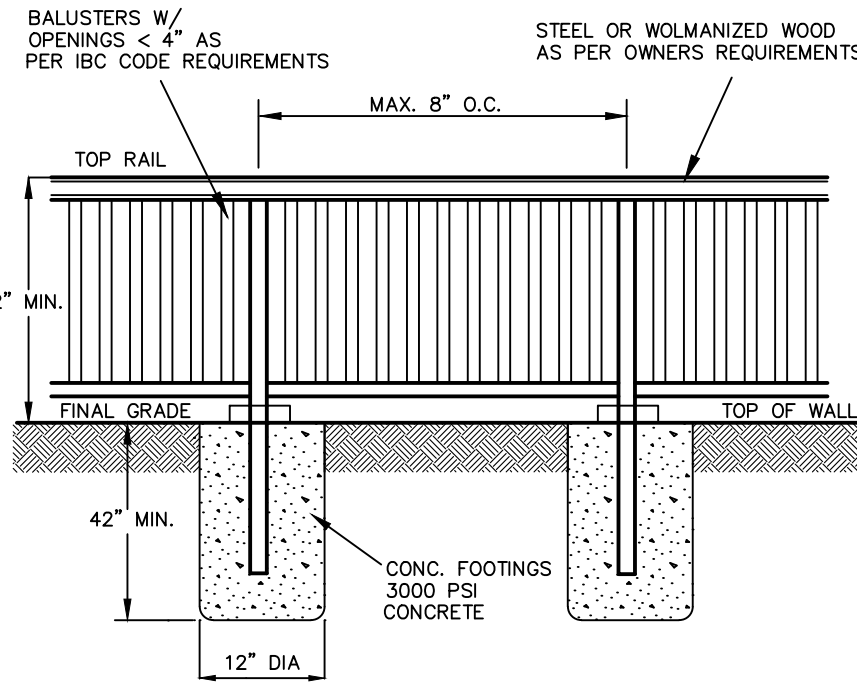
STOP BAR DETAIL

(N.T.S.)



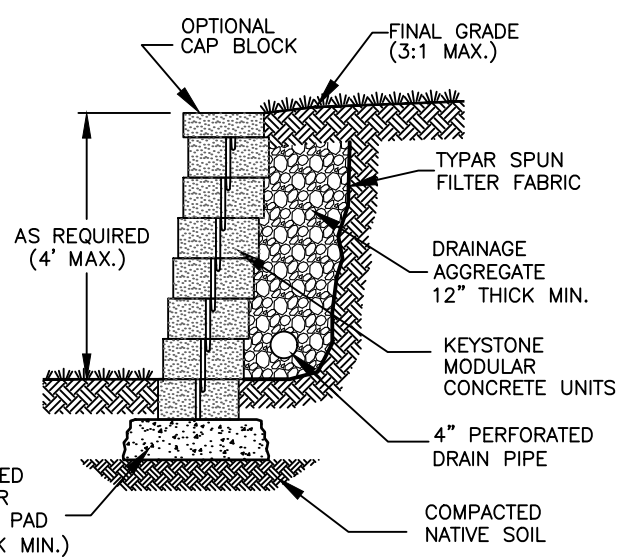
CONCRETE SIDEWALK DETAIL

(N.T.S.)



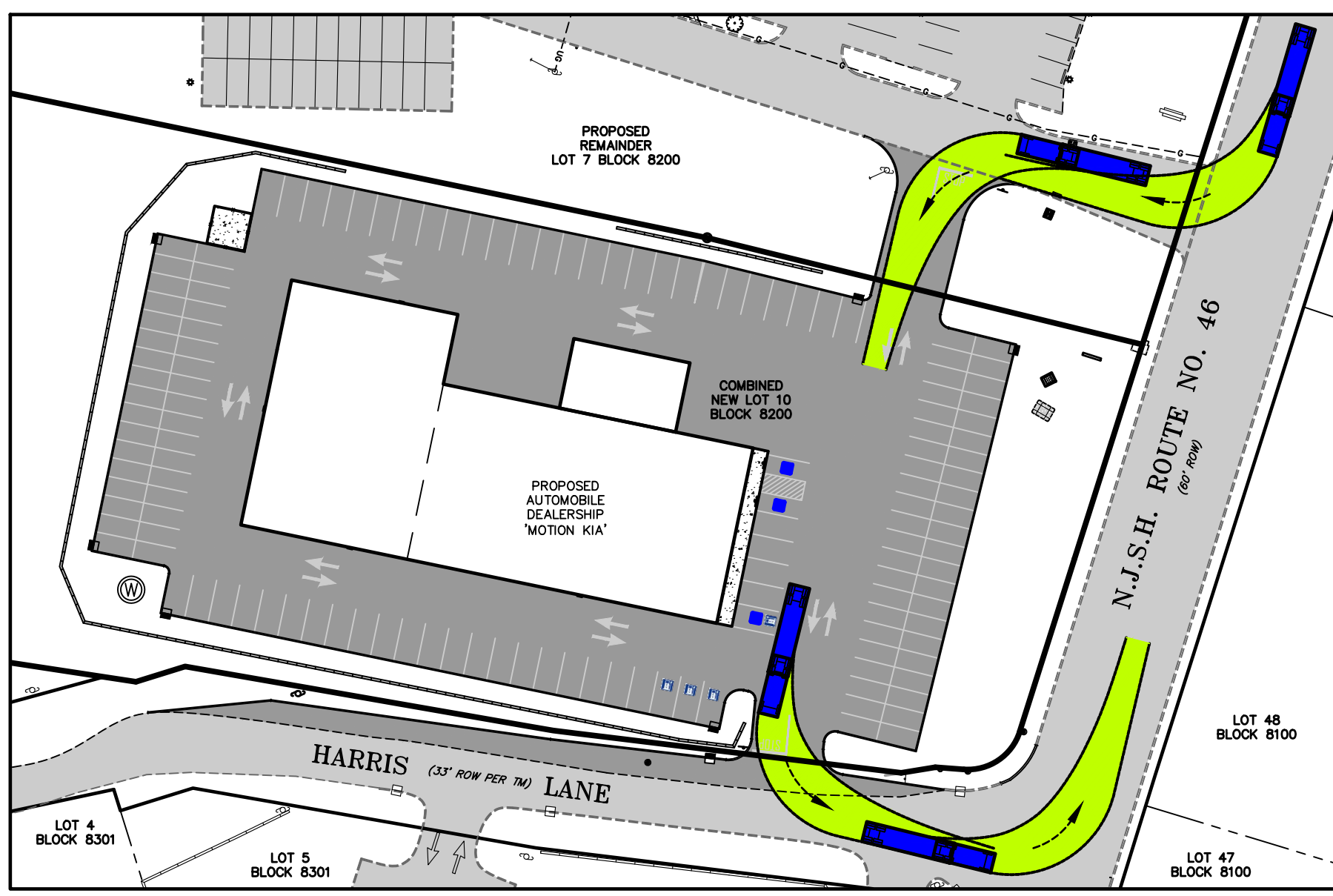
SAFETY RAILING DETAIL

(N.T.S.)



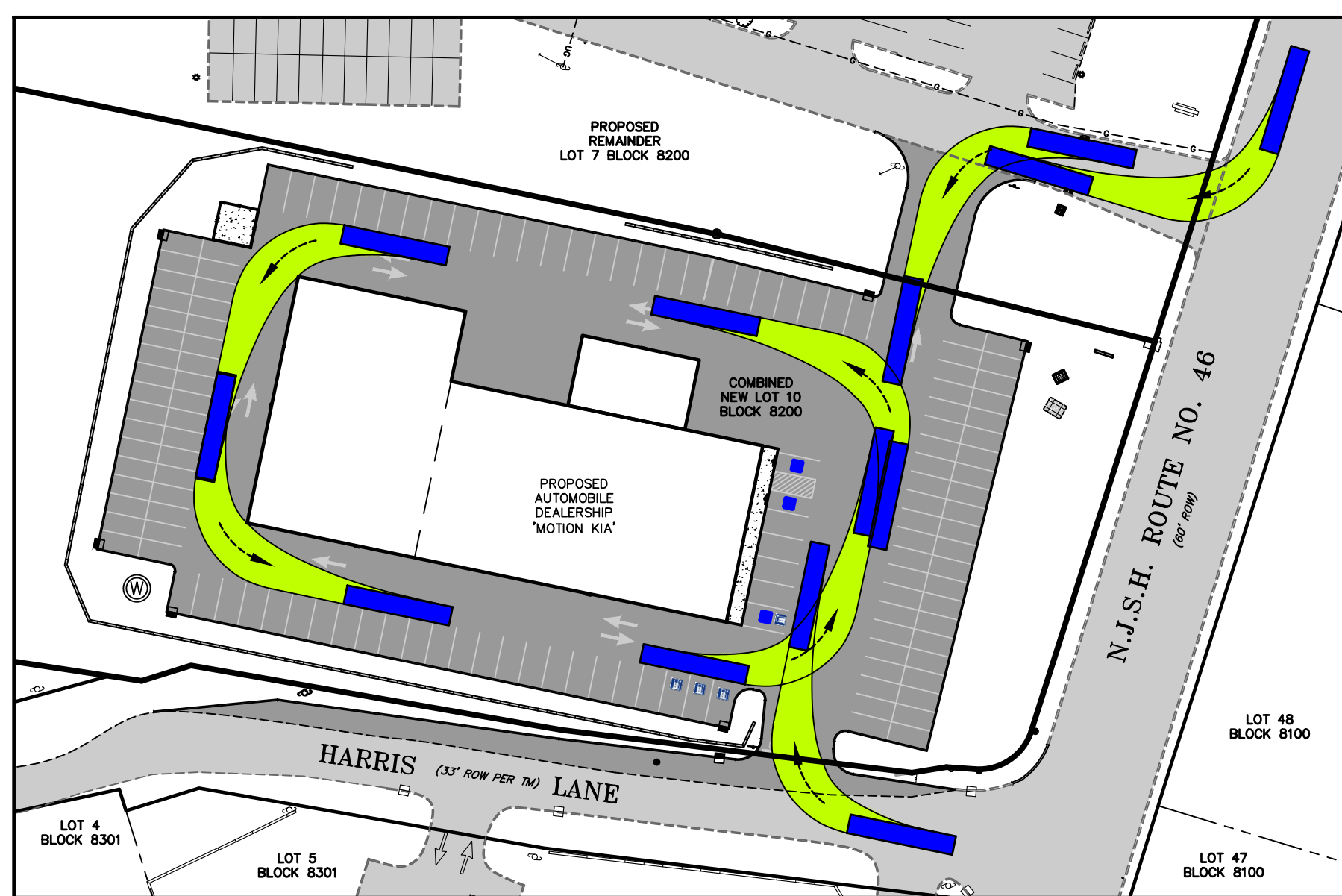
TYPICAL PAVER BLOCK RETAINING WALL

(FOR ALL WALLS 4' HIGH OR LESS)
(N.T.S.)



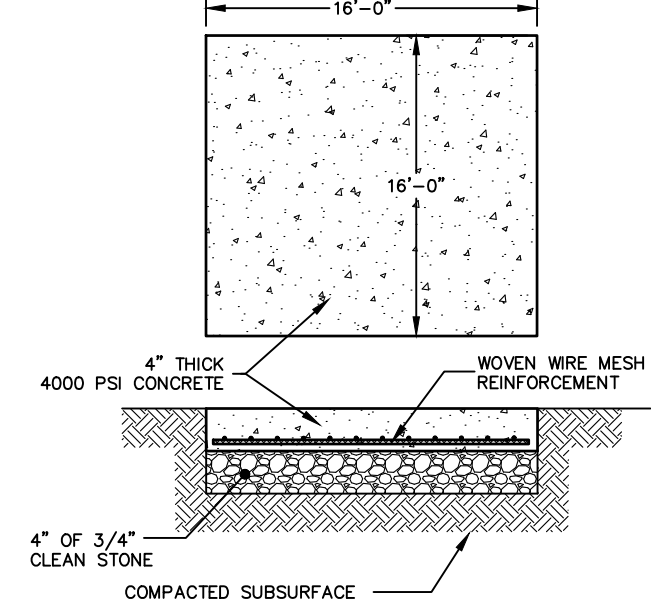
WB-50 TURNING RADIUS

SCALE: 1" = 60'



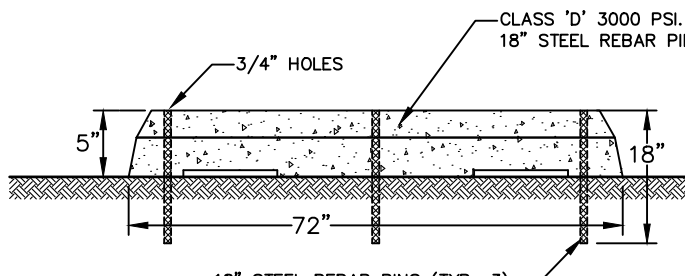
WB-40 TURNING RADIUS

SCALE: 1" = 60'



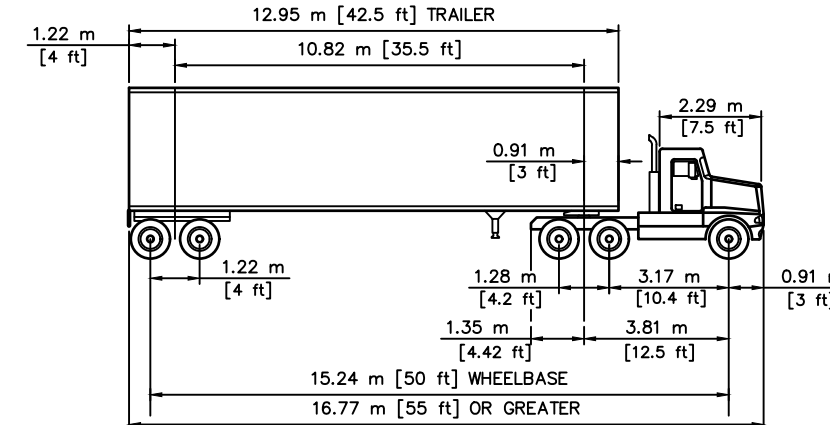
CONCRETE PAD FOR REFUSE AREA ENCLOSURE

(N.T.S.)



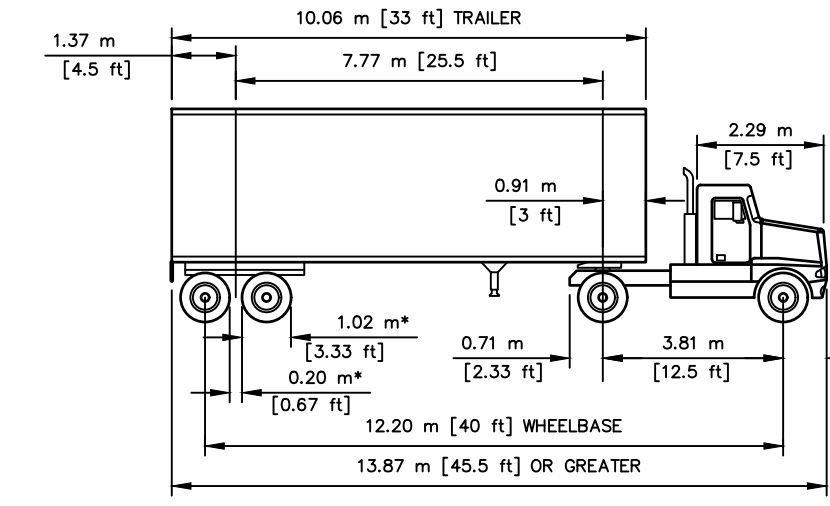
CURB BUMPER DETAIL

(N.T.S.)



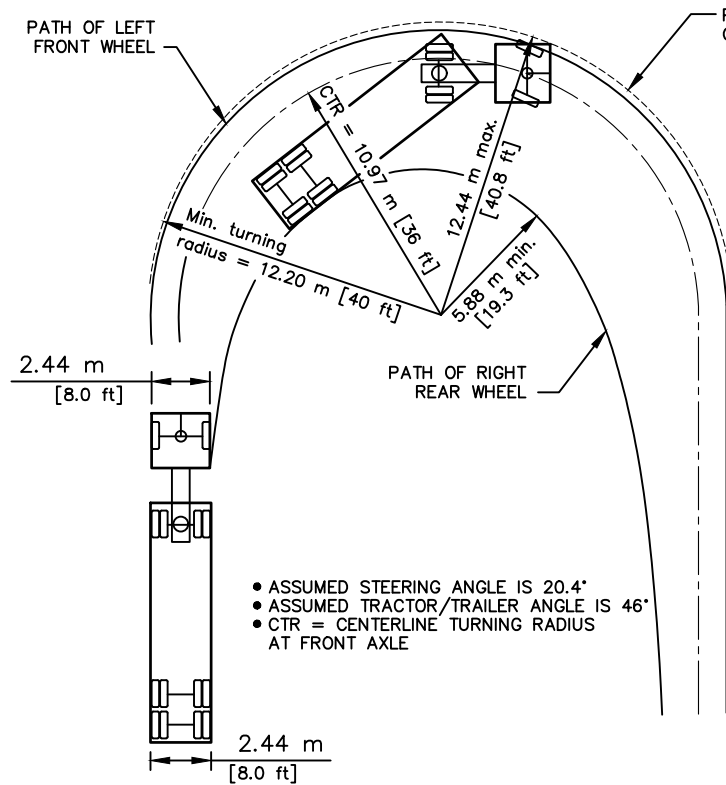
WB 50 TRUCK TURNING RADIUS DETAIL

(N.T.S.)



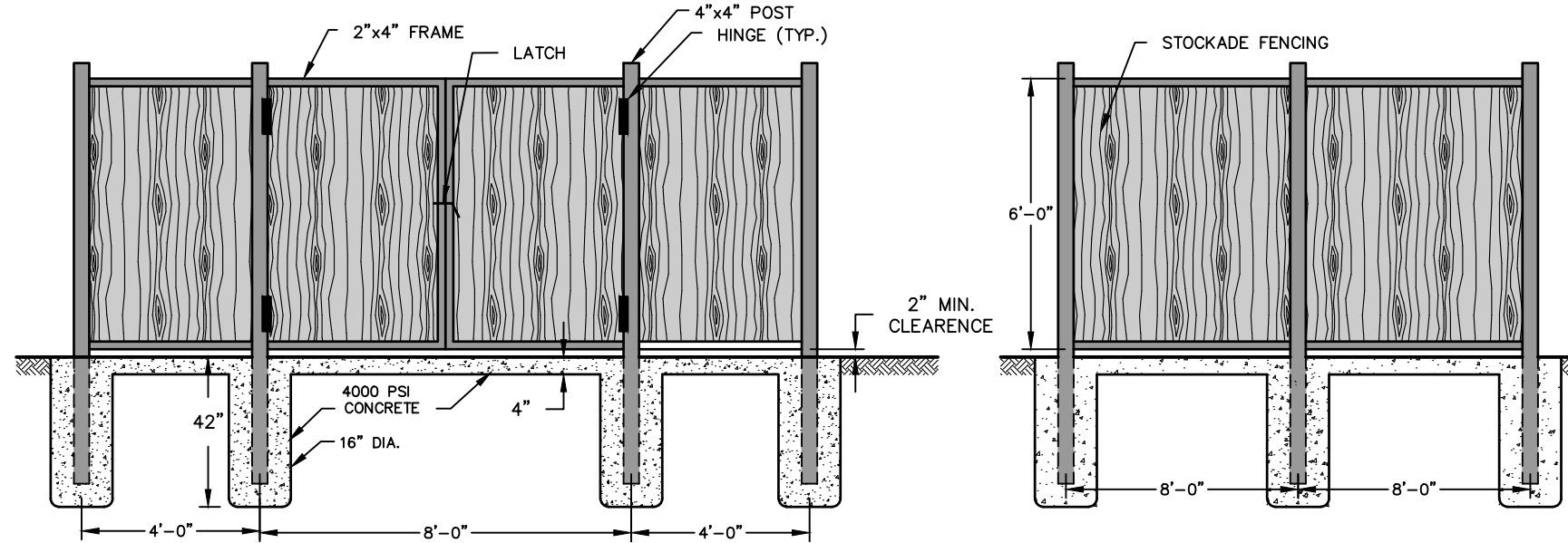
WB 40 TRUCK TURNING RADIUS DETAIL

(N.T.S.)



TRASH ENCLOSURE DETAIL

(N.T.S.)



(N.T.S.)

SHEET 11 OF 14

CONSTRUCTION DETAILS

FOR:

NEW LOT 10 BLOCK 8200
"MOTION KIA"

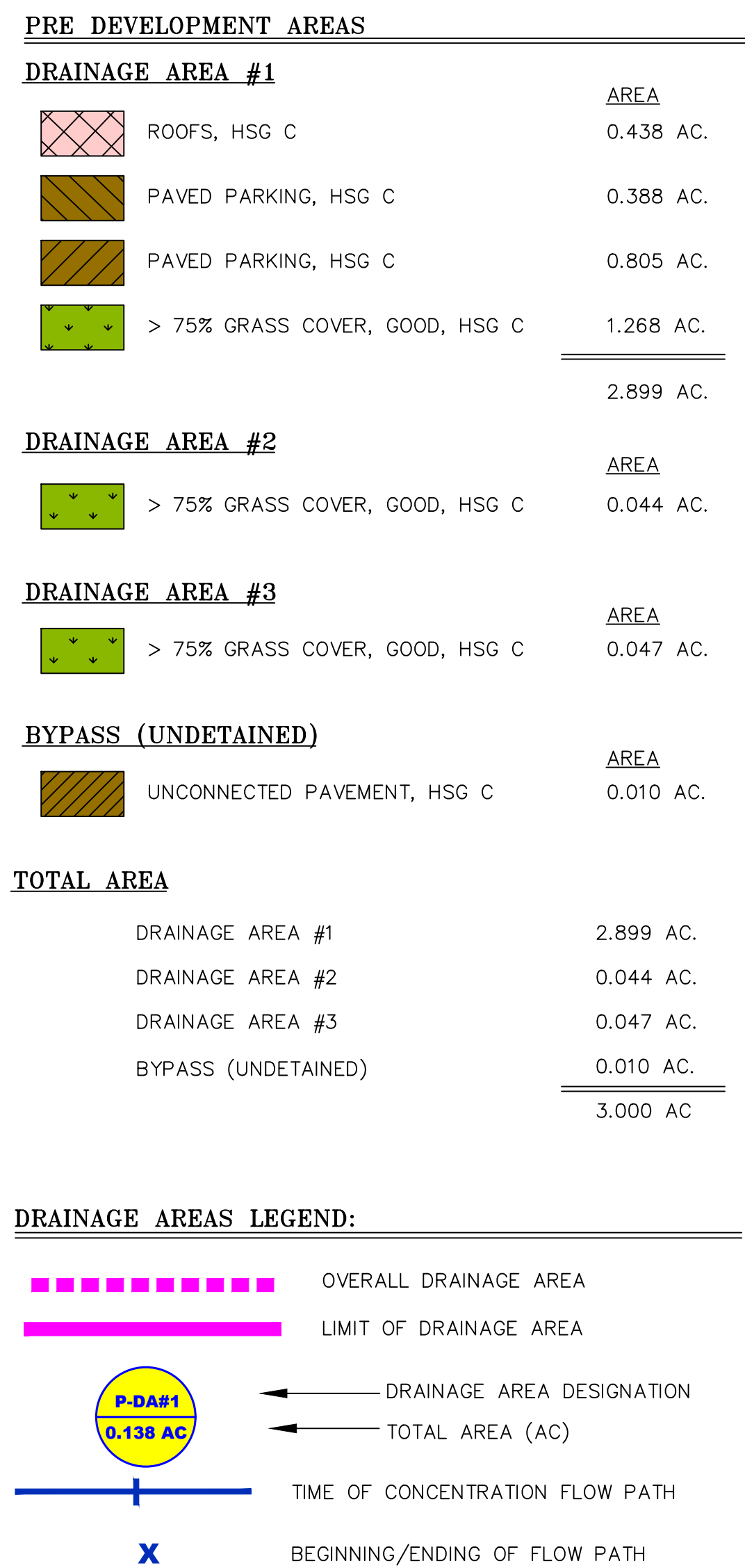
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

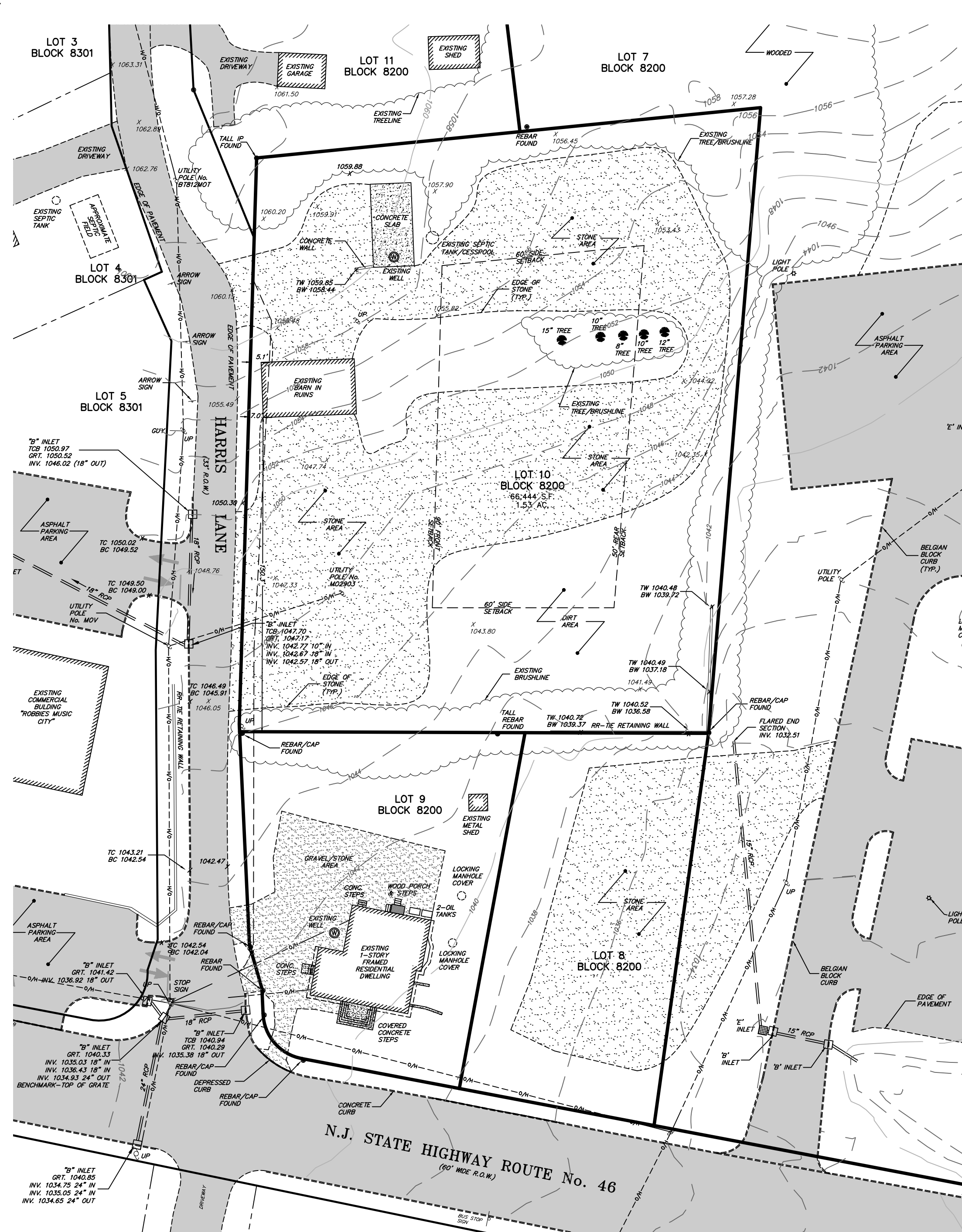
CIVIL ENGINEERING, INC.

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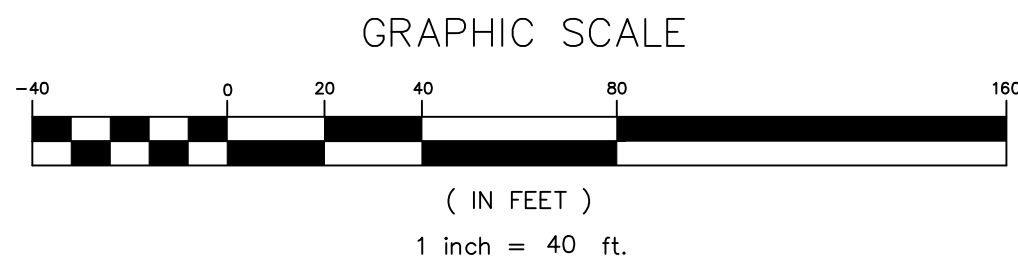
JAMES G. GLASSON
PROFESSIONAL ENGINEER, N.J. LIC. NO. 37703

Checked By: JG Date: 10/27/23
Drawn By: WBB Project No: 7234





EXISTING CONDITIONS (2004)* FOR LOTS 7, 8, 9, 10 BLOCK 8200



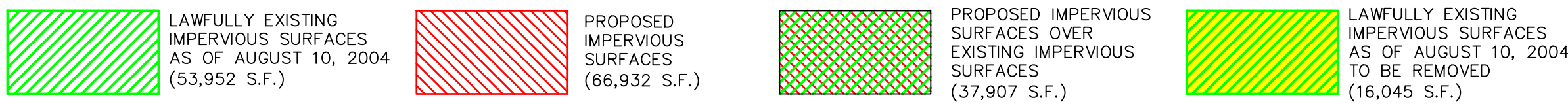
EXISTING IMPERVIOUS LOT COVERAGE - LOT 8	
EXISTING GRAVEL AREA	9,523 S.F.
EXISTING IMPERVIOUS LOT COVERAGE - LOT 9	
EXISTING DWELLING (W/OVERHANG)	2,248 S.F.
EXISTING GRAVEL AREAS	5,037 S.F.
EXISTING CONCRETE FRONT STEPS (FACING RT. 46)	113 S.F.
EXISTING CONCRETE STEPS (FACING HARRIS LANE)	21 S.F.
EXISTING CONCRETE REAR STEPS	12 S.F.
EXISTING WOODEN LANDING AND STAIRS (2)	43 S.F.
EXISTING OIL TANKS	30 S.F.
EXISTING METAL SHED	72 S.F.
EXISTING CONCRETE RETAINING WALLS	23 S.F.
EXISTING METAL SEPTIC TANK LIDS	25 S.F.
TOTAL	7,624 S.F.

EXISTING IMPERVIOUS LOT COVERAGE - LOT 10	
EXISTING BARN	1,175 S.F.
EXISTING CONCRETE SLAB (PREVIOUS DWELLING)	775 S.F.
EXISTING GRAVEL AREA	34,710 S.F.
EXISTING CONCRETE WALL	9 S.F.
EXISTING RR TIE WALL	136 S.F.
TOTAL	36,805 S.F.
COMBINED TOTAL IMPERVIOUS COVERAGE (2004)	
LOT 8 BLOCK 8200	9,523 S.F.
LOT 9 BLOCK 8200	7,624 S.F.
LOT 10 BLOCK 8200	36,805 S.F.
TOTAL	53,952 S.F.

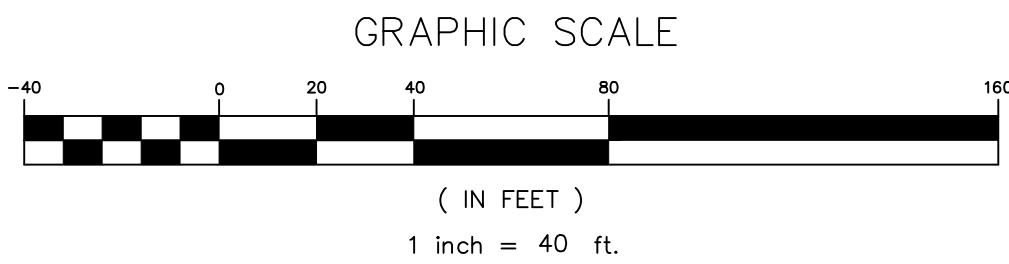
NOTE

*EXISTING CONDITIONS SHOWN FOR LOTS 8 & 9 BLOCK 8200 AS PER PREVIOUSLY APPROVED 'HIGHLANDS EXEMPTION PLAN FOR LOT 9 BLOCK 8200' AS PREPARED BY CIVIL ENGINEERING INC., JAMES G. GLASSON, NJPE 37703, DATED 1/15/10. EXISTING CONDITIONS FOR LOT 10 BLOCK 8200 PER PREVIOUSLY APPROVED SITE PLAN FOR LOT 10 BLOCK 8200, SHEET 14, HIGHLANDS CONFORMANCE PLAN, PREPARED BY CIVIL ENGINEERING INC., JAMES G. GLASSON, NJPE #37703, DATED 3/13/15, LAST REVISED 12/1/15.

LEGEND



HIGHLANDS OVERLAY PLAN FOR NEW LOT 10



EXISTING SURFACES TO BE REMOVED

EXISTING IMPERVIOUS SURFACES REMOVED = 16,045 S.F.

PROPOSED NEW IMPERVIOUS SURFACES

PROPOSED IMPERVIOUS SURFACES - EXISTING IMPERVIOUS SURFACES = PROPOSED NEW IMPERVIOUS SURFACES

66,932 S.F. - 53,952 S.F. = 12,980 S.F.

NEW JERSEY HIGHLANDS WATER PROTECTION & PLANNING ACT

THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE LAND PROTECTED BY THE HIGHLANDS PRESERVATION ACT. TO QUALIFY FOR EXEMPTION #4 FROM THE HIGHLANDS ACT, THE IMPROVED IMPERVIOUS COVERAGE FOOTPRINT MUST BE "WITHIN 125 PERCENT OF THE FOOTPRINT OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES ON THE SITE, PROVIDED THAT THE RECONSTRUCTION DOES NOT INCREASE THE LAWFULLY EXISTING IMPERVIOUS SURFACE BY ONE-QUARTER ACRE OR MORE."

PROPOSED IMPERVIOUS SURFACES ≤ 1.25
LAWFULLY EXISTING IMPERVIOUS SURFACE

THE SECOND CRITERION APPLIES TO THE NET INCREASE IN IMPERVIOUS SURFACE COMPARED TO THAT WHICH EXISTED LAWFULLY ON AUGUST 10, 2004. THE MAXIMUM AMOUNT OF ADDED IMPERVIOUS SURFACES IS ONE QUARTER ACRE OR 10,890 S.F. THEREFORE, THE PROPOSED IMPERVIOUS SURFACES TOTAL MINUS THE LAWFULLY EXISTING IMPERVIOUS SURFACES MUST BE LESS THAN 0.25 ACRE. CREDIT WILL BE GIVEN FOR ANY LAWFULLY EXISTING IMPERVIOUS SURFACES THAT ARE REMOVED AT TIME OF CONSTRUCTION. THIS TOTAL WILL BE SUBTRACTED FROM THE PROPOSED NEW IMPERVIOUS SURFACE. THIS IS EXPRESSED IN THE FOLLOWING EQUATION:

(PROPOSED NEW IMPERVIOUS SURFACE - ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE) < 0.25 ACRE

IN SUMMARY, FOR A PROJECT TO RECEIVE AN EXEMPTION UNDER N.J.A.C. 7:38-2.3(a)4, BOTH CRITERIA (AS DETAILED ABOVE) MUST BE SATISFIED. CREDIT FOR THE REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACES WILL BE FACTORED INTO CRITERIA #2, BUT WILL NOT BE APPLICABLE TO CRITERIA #1.

CRITERIA #1

PROPOSED IMPERVIOUS SURFACES
LAWFULLY EXISTING IMPERVIOUS SURFACE
66,932 S.F.
53,952 S.F. = 1.240

THEREFORE, THE PROPOSED IMPERVIOUS SURFACES IS WITHIN 124.0% OF THE LAWFULLY EXISTING IMPERVIOUS SURFACES AND MEETS CRITERIA #1 FOR HIGHLANDS EXEMPTION.

CRITERIA #2

(PROPOSED NEW IMPERVIOUS SURFACES - ANY REMOVAL OF LAWFULLY EXISTING IMPERVIOUS SURFACE) < 0.25 ACRE

12,980 S.F. - 16,045 S.F. = 0 S.F.

THEREFORE, THE NET INCREASE IN IMPERVIOUS SURFACES IS 0 S.F. OR 0.0 ACRE AND MEETS CRITERIA #2 FOR BEING LESS THAN 0.25 ACRE.

IN CONCLUSION, IT HAS BEEN SHOWN THAT THE PROPOSED IMPROVEMENTS TO THE SUBJECT PROPERTY HAVE MET BOTH CRITERIA FOR HIGHLANDS EXEMPTION #4 UNDER N.J.A.C. 7:38-2.3(a)4

HIGHLANDS CONFORMANCE PLAN

FOR:

LOTS 7, 8, 9 & 10
BLOCK 8200

TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

CIVIL ENGINEERING, INC.

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