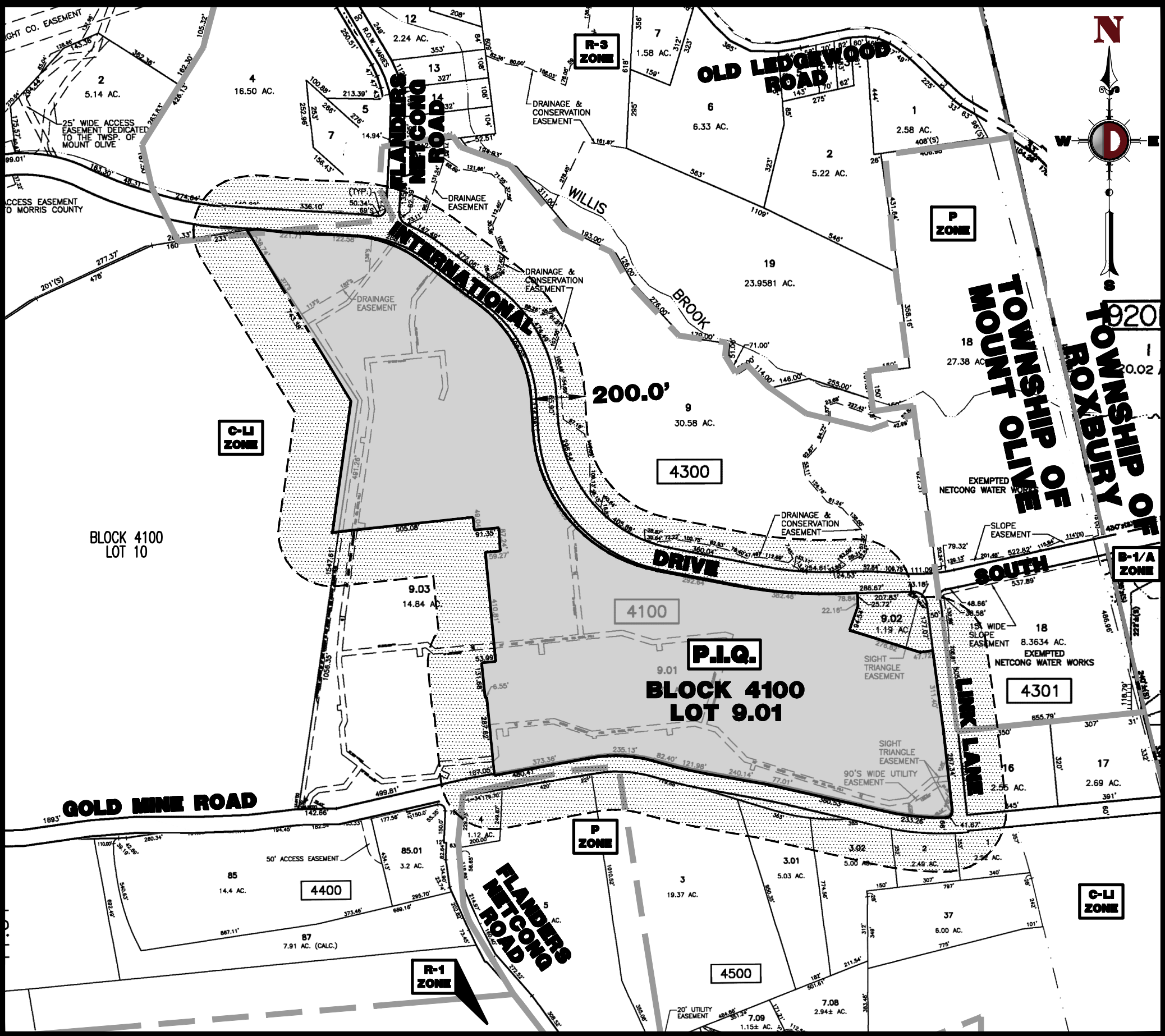


AMENDED SITE PLAN
FOR
PEARLAND RJR, LLC
PROPOSED PYLON SIGN

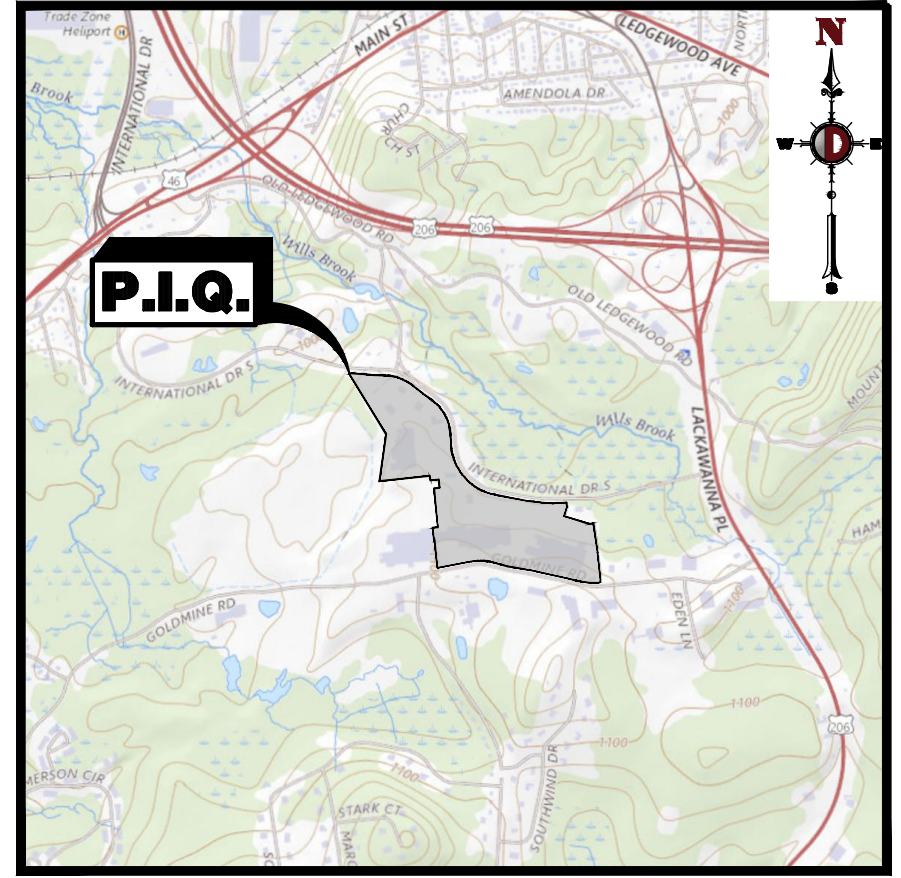
BLOCK 4100, LOT 9.01; TAX MAP SHEET #43 - LATEST REV. DATED 06-2007
10-50 INTERNATIONAL DRIVE SOUTH
TOWNSHIP OF MOUNT OLIVE
MORRIS COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

Table with 3 columns: BLOCK, LOT, and PROPERTY OWNER. It lists various property owners in the Township of Mount Olive, including current owners and those to be notified.



AREA MAP
1" = 400'



KEY MAP
1" = 2000'

Drawing Index table with 2 columns: Drawing Name and Sheet Number. It lists the Cover Sheet, Aerial Map, Sign Location Plan, and Sign Details.

PLANNING BOARD APPROVAL

Approval form for the Planning Board of Township of Mount Olive, Morris County, New Jersey. It includes fields for Chairman, Secretary, and Board Engineer, each with a signature line and date.

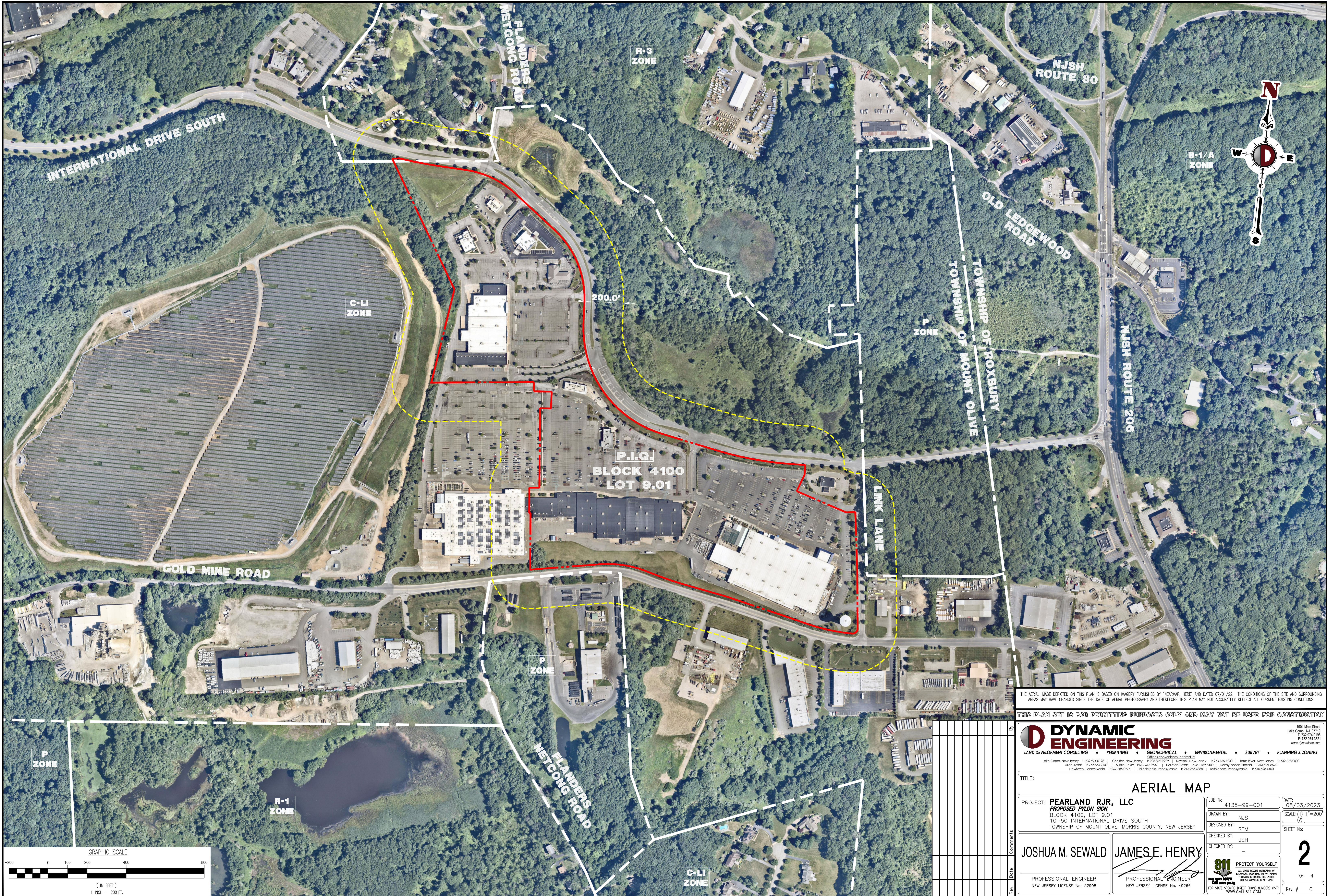
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

Dynamic Engineering logo and contact information. It includes the company name, address, phone numbers, and website. It also features a 'Protect Yourself' section with a warning about the plan set being for permitting purposes only.

Vertical text on the left margin: Plotted: 08/03/23 - 10:05 AM, By: fcdolmeida, Product Ver: 24.2a (LMS Tech), File: P:\CEPC PROJECTS\4135 Black Lion Investment Group\99-001 Mount Olive Dwg\Exhibits (Misc)\Sign Location Plan (2023-04-28)\0413599001SK0.DWG, ---> 01 COVER SHEET

Plotted: 08/03/23 - 10:05 AM, By: jcdelmida, Product Ver: 24.2a (LMS Tech)
File: P:\VEPC PROJECTS\4135 Block Lion Investment Group\99-001 Mount Olive Dwg\Exhibits (Misc)\Sign Location Plan (2023-04-28)\0413599001SAO.dwg, ----> 02 AERIAL MAP

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THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY FURNISHED BY "NEARMAP, HERE" AND DATED 07/01/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

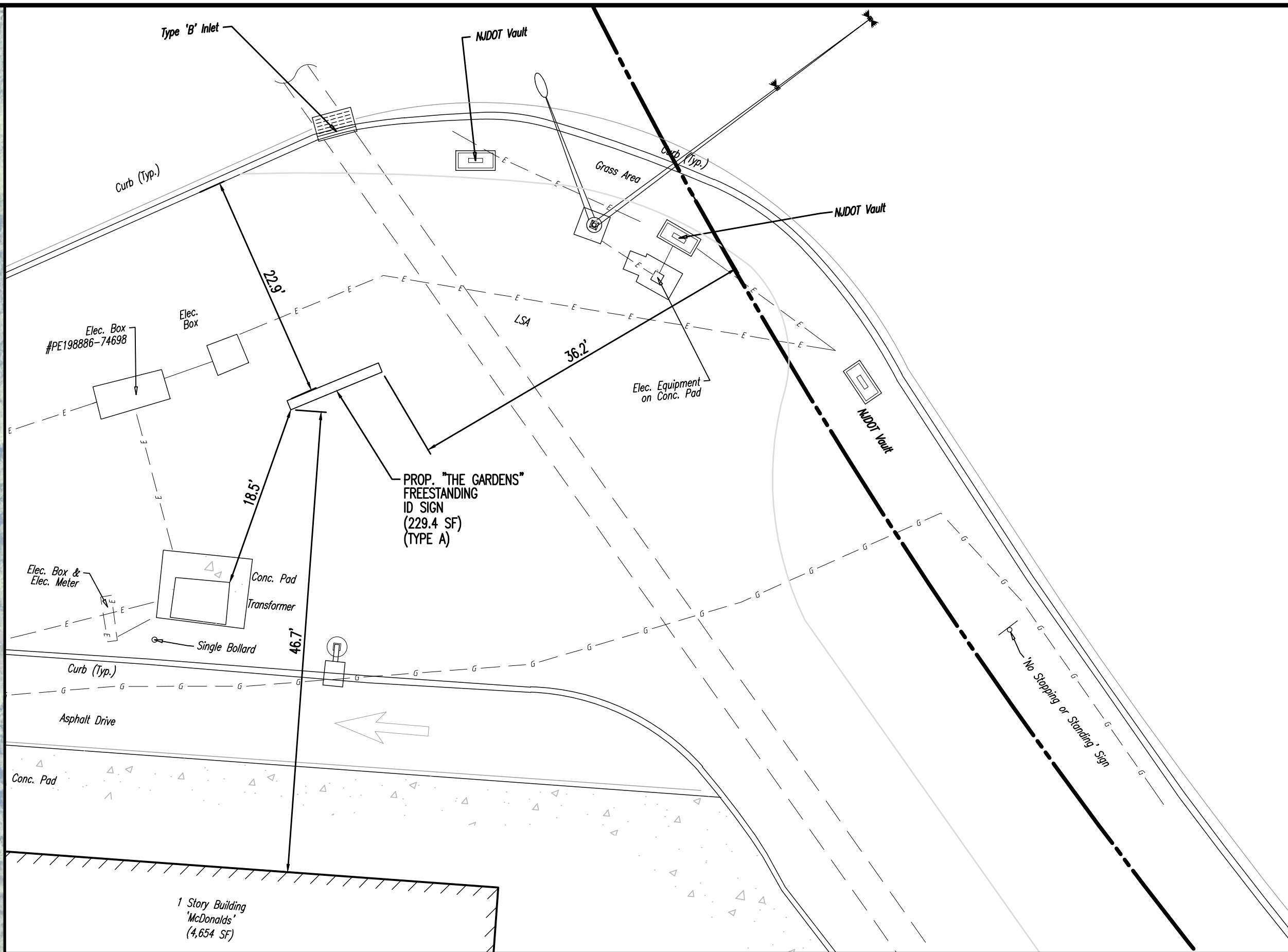
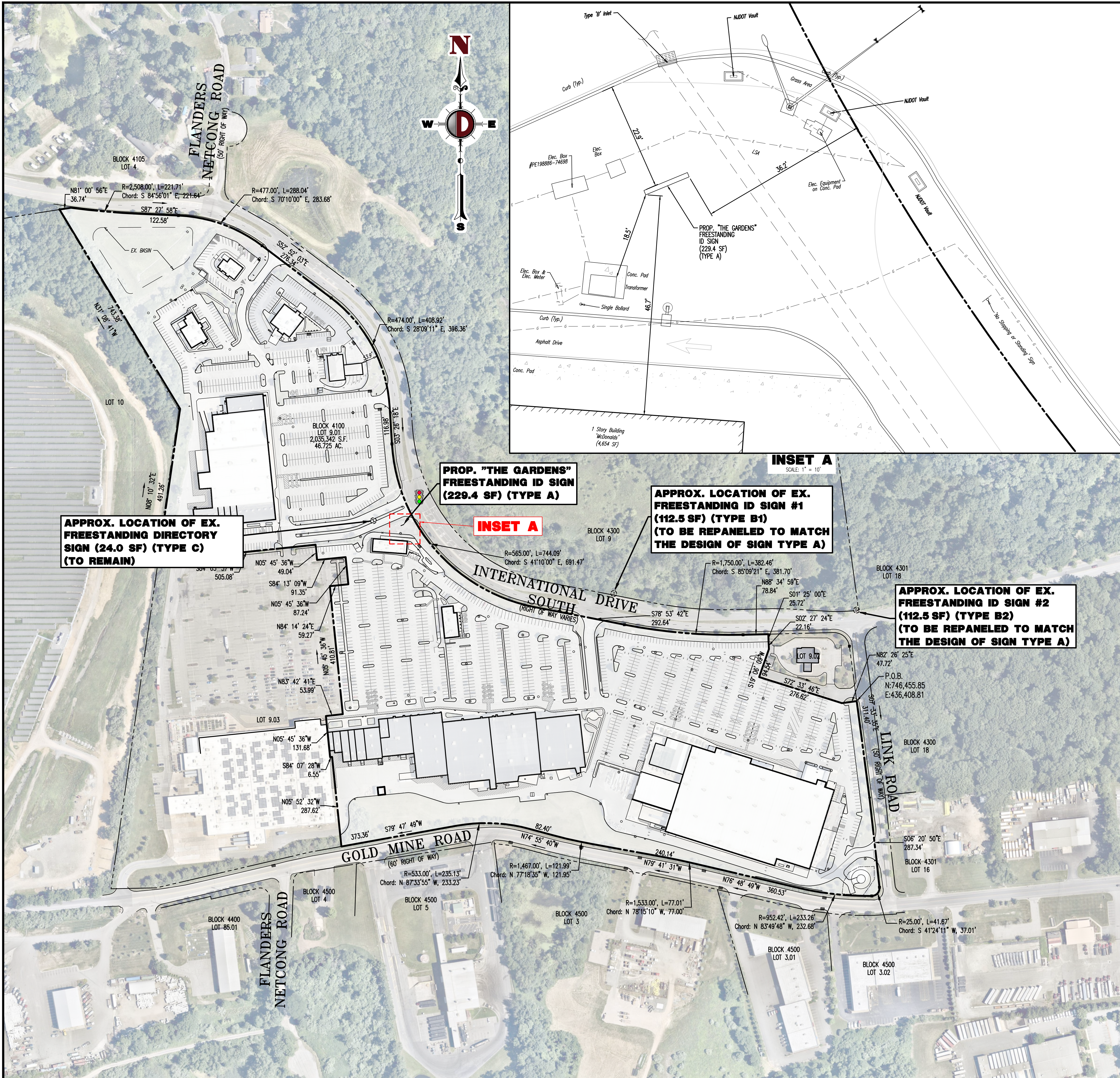
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Lake Como, NJ 07719
T: 732.974.0198
F: 732.974.3521
www.dynamicdec.com

TITLE: AERIAL MAP	
PROJECT: PEARLAND RJR, LLC PROPOSED PYLON SIGN BLOCK 4100, LOT 9.01 10-50 INTERNATIONAL DRIVE SOUTH TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY	JOB No: 4135-99-001 DRAWN BY: NJS DESIGNED BY: STM CHECKED BY: JEH
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52908	JAMES E. HENRY PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 49266
ALL STATES REQUIRE REGISTRATION OF CONSULTING ENGINEERS OR ARCHITECTS BEFORE THEY CAN OFFICIALLY PREPARE OR SEAL THE SERVICE DRAWINGS OF ANY PROJECT FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	
DATE: 08/03/2023 SCALE: (H) 1"=200' (V) SHEET No: 2 OF 4 Rev. # 0	

Plotted: 08/08/23 - 12:14 PM, By: cboyd, Product Ver: 24.2a (LMS Tech)
File: P:\VEPC PROJECTS\4135 Block Lion Investment Group\99-001 Mount Olive Dwg\Exhibits (Misc)\Sign Location Plan (2023-04-28)\0413599001SOS.DWG, ---> 03 SIGN LOCATION PLAN



INSET A

SCALE: 1" = 10'

PROP. "THE GARDENS"
FREESTANDING ID SIGN
(229.4 SF) (TYPE A)

INSET A

APPROX. LOCATION OF EX.
FREESTANDING ID SIGN #1
(112.5 SF) (TYPE B1)
(TO BE REPAIRED TO MATCH
THE DESIGN OF SIGN TYPE A)

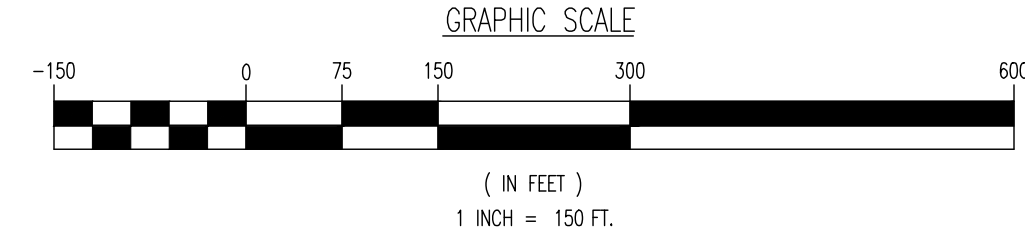
APPROX. LOCATION OF EX.
FREESTANDING ID SIGN #2
(112.5 SF) (TYPE B2)
(TO BE REPAIRED TO MATCH
THE DESIGN OF SIGN TYPE A)

GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
PARTIAL TOPOGRAPHIC SURVEY: DYNAMIC SURVEY, LLC, DATED: 09/08/2022, LAST REV: 10/6/2022
BOUNDARY SURVEY: BOUNDARY SURVEY, LLC, JOB NO: 0122182, DATED: 07/11/2022, LAST REV: 09/28/2022
NEARMAPS AERIAL PHOTO CAPTURED 7/1/2022
- APPLICANT/OWNER: PEARLAND RJR, LLC, 20 INTERNATIONAL DRIVE SOUTH, FLANDERS, NEW JERSEY 0783
- PARCEL DATA: 10-50 INTERNATIONAL DRIVE SOUTH, BLOCK 4100, LOT 9.01, TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NJ
- ZONE: C-1 (COMMERCIAL/LIGHT INDUSTRIAL ZONE)
- EXISTING USE: SHOPPING CENTER
"A GROUP OF AT LEAST SIX COMMERCIAL ESTABLISHMENTS WHICH PROVIDE FOR THE SALE OF THE DAILY LIVING NEEDS SUCH AS FOOD AND DRUGS, AS WELL AS PERSONAL SERVICES SUCH AS APPAREL AND FURNITURE, BANKING, PROFESSIONAL SERVICES AND RECREATION." (\$550-5)
RETAIL (PERMITTED USE) (\$550-103.C(1)(E))
FAST-FOOD RESTAURANT WITH DRIVE THRU IF PART OF A RETAIL CENTER CONTAINING AT LEAST 200,000 SF (PERMITTED USE) (\$550-103.C(1)(I))
RESTAURANT (PERMITTED USE) (\$550-103.C(1)(H))
- SCHEDULE OF ZONING REQUIREMENTS (\$550 ATTACHMENT 4)

ZONE REQUIREMENT	C-1 ZONE	EXISTING
MINIMUM LOT AREA	5 AC	2,035,320 SF (46.7 AC)
MINIMUM LOT WIDTH	250 FT	> 250 FT
MINIMUM LOT DEPTH	250 FT	3,200 ± FT
MINIMUM FRONT YARD SETBACK (INTERNATIONAL DRIVE SOUTH)	100 FT	53.9 FT (WELLS FARROW)
MINIMUM REAR YARD SETBACK	50 FT	N/A
MINIMUM SIDE YARD SETBACK	50 FT	0 FT
MAXIMUM BUILDING HEIGHT	45 FT	19.33 FT
MAXIMUM BUILDING COVERAGE	N/A	18.6% (378,071 ± SF)
MAXIMUM IMPERVIOUS COVERAGE	60%	77.1% (1,569,684 SF)
MIN. GROUND FLOOR AREA	0.4	0.19 (378,071 ± SF)

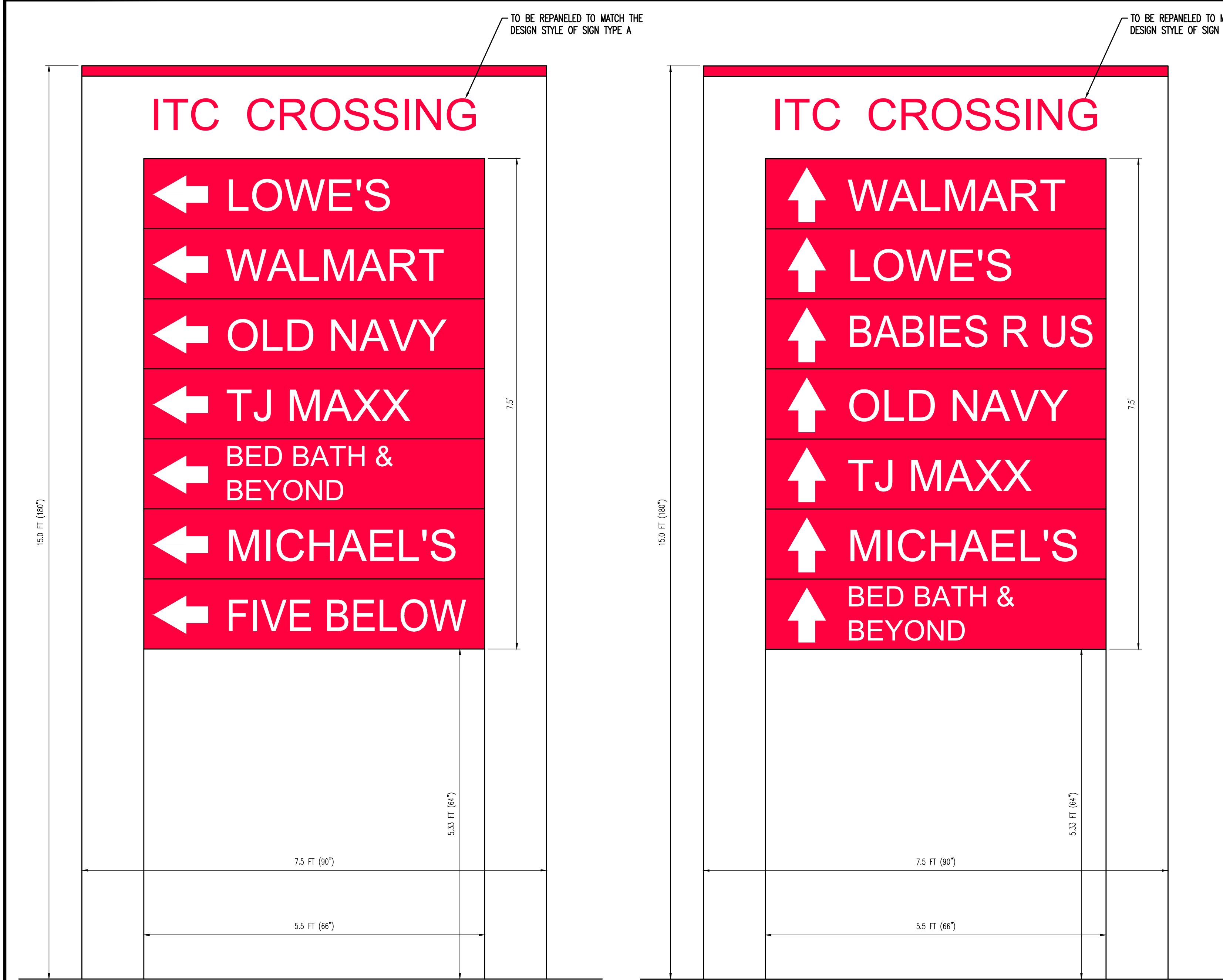
N/S: NO STANDARD N/A: NOT APPLICABLE (V): VARIANCE (E): EXISTING NON-CONFORMANCE
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE OVER ANY OTHERS ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DEPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND SHIELDING REQUIRED DURING CONSTRUCTION IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GCL). ALL CONTRACTORS MUST HAVE THEIR POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY MANNER CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS. THE REVIEW OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE DESIGN OR THE PROJECT. THE REVIEW OF THE PROJECT SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE FIRST STEP FOR RESOLVING DISPUTES BETWEEN THE PARTIES TO ALL SUCH AGREEMENTS.
- THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREIN, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT WORK DONE THEREBY AND FOR PENALTIES ASSESSED WITH WORK DONE THEREBY AND ALL CONSEQUENCES OF PLANTING DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACKS SHALL BE ACCOUNTED FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED DRIVEWAY, DRIVEWAY ROUTE MUST COMPLY WITH N.J.A.C. 52:27-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



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TITLE: SIGN LOCATION PLAN			
PROJECT: PEARLAND RJR, LLC PROPOSED Pylon SIGN BLOCK 4100, LOT 9.01 10-50 INTERNATIONAL DRIVE SOUTH TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY		JOB No: 4135-99-001 DRAWN BY: NJS DESIGNED BY: STM CHECKED BY: JEH CHECKED BY: -	DATE: 08/03/2023 SCALE: (H) 1"=150' (V) SHEET No: 3 OF 4 Rev. # 0
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 49298		JAMES E. HENRY PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 49266	

Plotted: 08/08/23 - 12:14 PM, By: dbyod, Product Ver: 24.2a, (LMS Tech)
File: P:\DEPC PROJECTS\4135 Block Lion Investment Group\99-001 Mount Olive Dwg\Exhibits (Misc)\Sign Location Plan (2023-04-28)\0413599001SD0.dwg, ----> 04 SIGN DETAILS



EXISTING FREESTANDING ID SIGN (TYPE B1)
NOT TO SCALE
(TO REMAIN)

EXISTING FREESTANDING ID SIGN (TYPE B2)
NOT TO SCALE
(TO REMAIN)

SIGNAGE CHART - SHOPPING CENTER

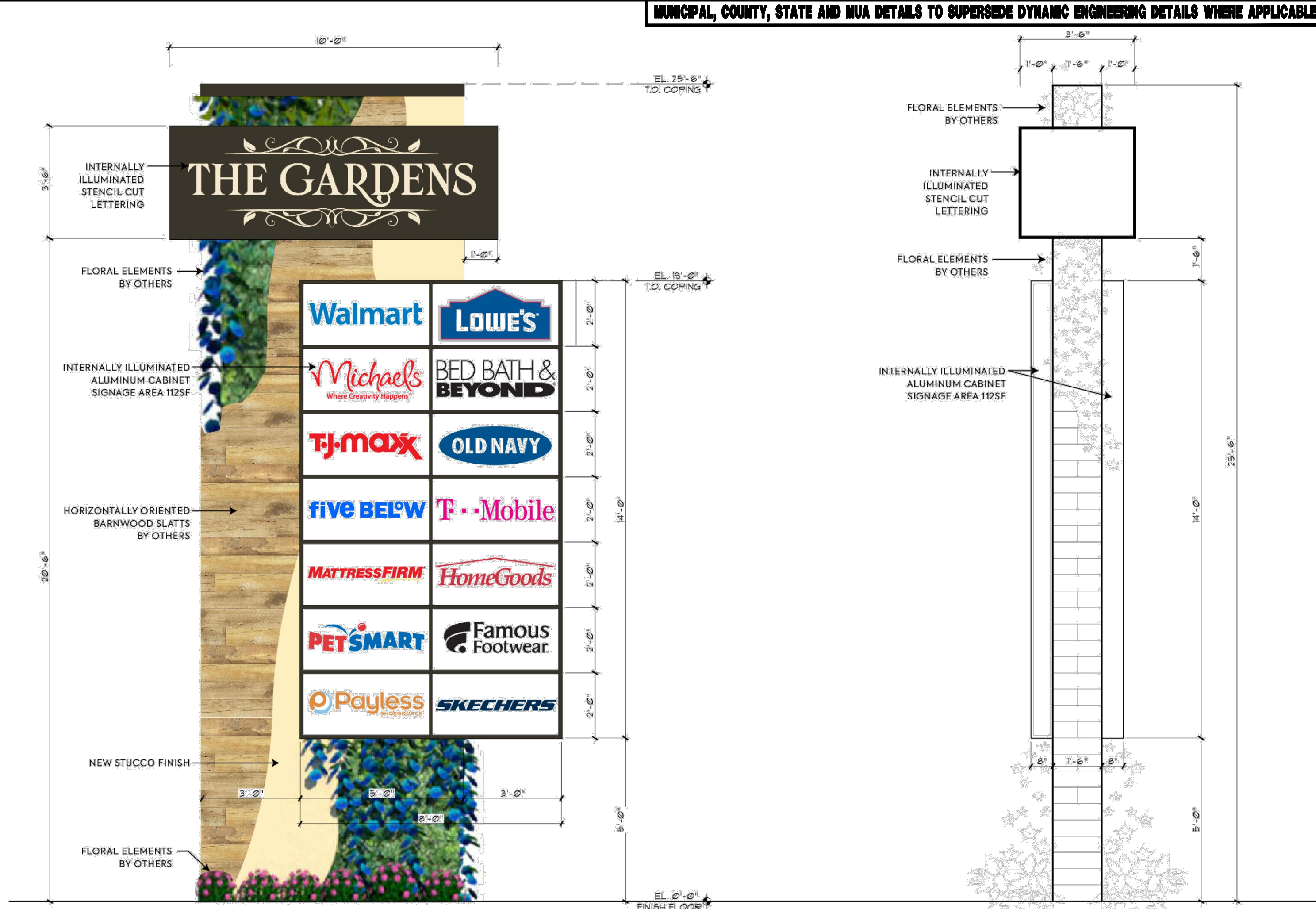
SIGN	REQUIREMENTS	EXISTING	PROPOSED
FREESTANDING (SHOPPING CENTER) [1]	NUMBER OF SIGNS: TWO (2) SIGN AREA: 300 SF MAXIMUM SIGN HEIGHT: 30 FT MINIMUM SIGN SETBACK: 50 FT [3]	NUMBER OF SIGNS: THREE (3) [2] SIGN AREA: 24.0 SF EX. FREESTANDING DIRECTORY SIGN 112.5 SF EX. FREESTANDING ID SIGN 2 112.5 SF SIGN HEIGHT: 6.0 FT EX. FREESTANDING DIRECTORY SIGN 15.0 FT EX. FREESTANDING ID SIGN 2 15.0 FT SIGN SETBACK: 117.2 FT EX. FREESTANDING DIRECTORY SIGN N/A EX. FREESTANDING ID SIGN 2 N/A	NUMBER OF SIGNS: ONE (1) SIGN AREA: 229.4 SF PROP. "THE GARDENS" FREESTANDING SIGN SIGN HEIGHT: 25.5 FT PROP. "THE GARDENS" FREESTANDING SIGN SIGN SETBACK: 36.2 FT (V) PROP. "THE GARDENS" FREESTANDING SIGN

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

[1] IN LARGE-SCALE COMPREHENSIVELY PLANNED RETAIL/COMMERCIAL DEVELOPMENTS IN THE C-U DISTRICT WHICH INCLUDE A RETAIL CENTER, TWO FREESTANDING MAIN PYLONS AND TWO CINEMA MARQUEES, EITHER FREESTANDING OR IN COMBINATION WITH THE MAIN PYLONS, SHALL BE PERMITTED WITHIN THE SETBACK AREAS OF THE DISTRICT IN ADDITION TO THE OTHER SIGNS PERMITTED IN THIS SECTION. EACH OF SUCH PYLONS AND MARQUEES SHALL NOT EXCEED A HEIGHT OF 30 FEET AND 300 SQUARE FEET IN SIGN FACE AREA PER SIDE. FREESTANDING SIGNS SHALL BE SITUATED OUTSIDE OF ANY SIGHT TRIANGLE AT STREET INTERSECTIONS AND ACCESS DRIVES AND SHALL MAINTAIN A MINIMUM DISTANCE OF 50 FEET FROM ANY STREET. THE PLANNING BOARD MAY WAIVE ALL REQUIREMENTS REGARDING SIGNS EXCEPT THOSE FOR MAIN PYLONS AND CINEMA MARQUEES AND APPROVE A UNIFIED SIGN PLAN IF SUBMITTED AT THE TIME OF PRELIMINARY SITE PLAN REVIEW. A UNIFIED SIGN PLAN MUST INCLUDE THE GENERAL TYPE, MATERIAL, METHOD OF ILLUMINATION (IF ANY), APPROXIMATE LOCATION AND COLOR SCHEME FOR ALL SIGNS RELATED TO THE RETAIL DEVELOPMENT. (§50-95.D(2)(E))

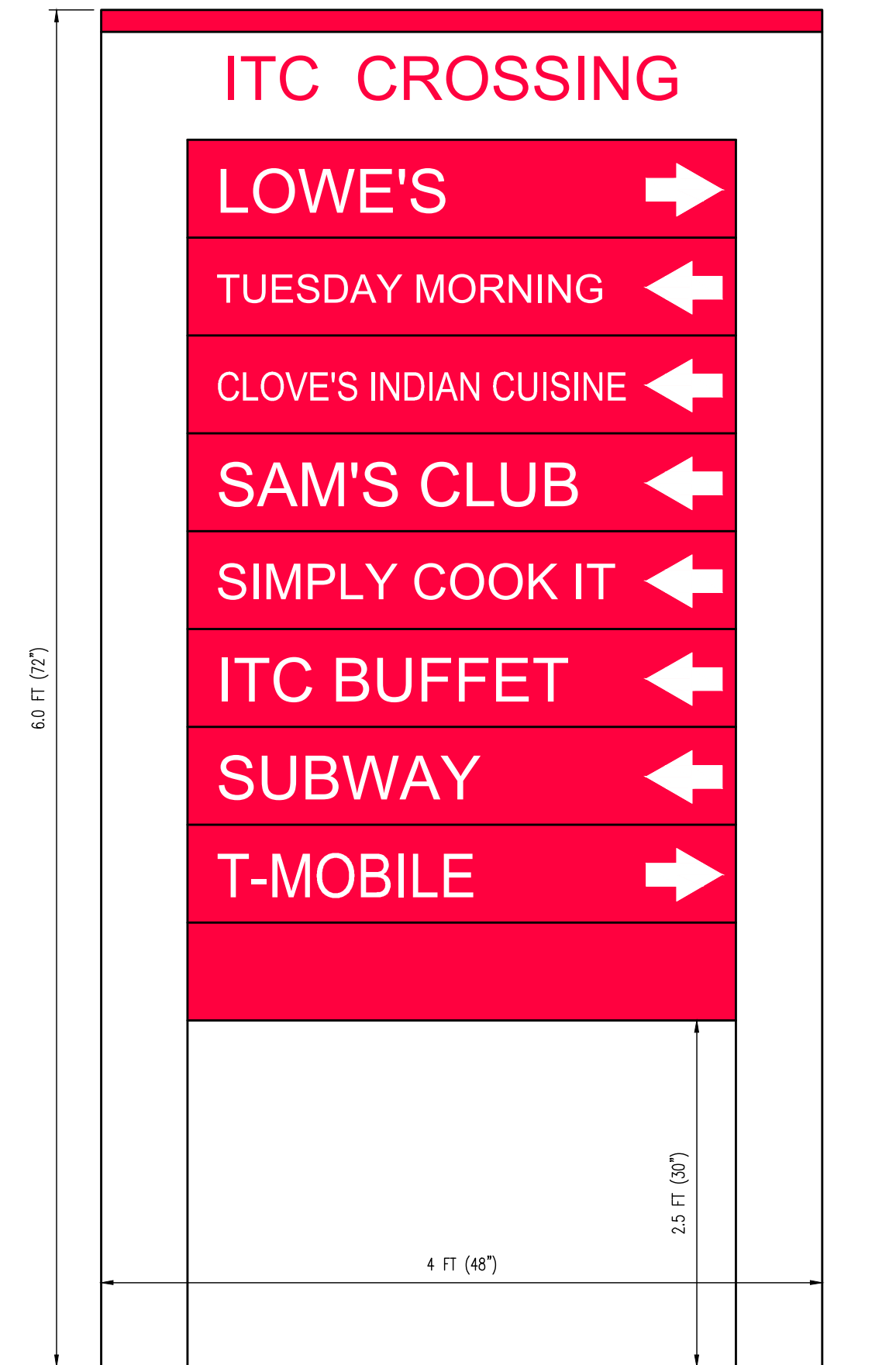
[2] EXISTING FREESTANDING SIGNS WERE PREVIOUSLY APPROVED BY MOUNT OLIVE PLANNING BOARD RESOLUTION NO. 99-09 FOR AMENDED UNIFIED SIGN PLAN. MEMORIALIZED SEPTEMBER 7, 2000.

[3] NO SIGN SHALL BE LOCATED WITHIN A SIGHT TRIANGLE. (§50-95.B(2)(A)(1)) & (§50-95.B(2)(D)(1))



PROPOSED "THE GARDENS" FREESTANDING ID SIGN (TYPE A)

NOT TO SCALE
NOTE: FOUNDATION DESIGNED BY OTHERS



EXISTING FREESTANDING DIRECTORY SIGN (TYPE C)
NOT TO SCALE
(TO REMAIN)

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F: 732.974.3521
www.dynamiceng.com

TITLE: **SIGN DETAILS**

PROJECT: **PEARLAND, RJR, LLC**
PROPOSED PYLON SIGN
BLOCK 4100, LOT 9.01
10-50 INTERNATIONAL DRIVE SOUTH
TOWNSHIP OF MOUNT OLIVE, MORRIS COUNTY, NEW JERSEY

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52908

JAMES E. HENRY
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 49266

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